



**TOWN OF DAVIDSON  
DESIGN REVIEW BOARD  
216 South Main Street**

**January 18, 2017**

- 
- I. CALL TO ORDER**
  - II. SILENT ROLL CALL**
  - III. CHANGES TO THE AGENDA**
  - IV. REVIEW/APPROVAL OF THE MINUTES**
    - (a) Minutes from October 19, 2016
  - V. CONSENT ITEMS**
  - VI. NEW BUSINESS**
    - (a) New Member Introductions
    - (b) Orientation
    - (c) Fire Station #2
    - (d) 202 South Main Street
    - (e) Carnegie Mews Amenity Bldg
  - VII. OLD BUSINESS**
  - VIII. ADJOURN**



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**Agenda Title:** Minutes from October 19, 2016

**Summary:**

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**ATTACHMENTS:**

Description	Upload Date	Type
☐ Minutes from October 19, 2016	1/12/2017	Cover Memo

# Meeting Minutes

## Design Review Board

Town of Davidson, NC  
October 19, 2016

A meeting of the Town of Davidson *Design Review Board* was held in the Town Hall, Board Room, 216 S. Main St.

**Call to Order:** 7:04 p.m.

### Silent Roll Call and Determination of Quorum:

Members Present signified by ☒:

☒ Bob Lauer, Chair

☐ Bruce Barteldt

☒ Mike Kessler

☐ Ron Charbonneau

☒ John Burgess

☒ Tom Goodwin

☒ Stewart Gray

Town Staff Present: Chad Hall (Senior Planner)

Others in Attendance: Neill Fortune (Fortune Architects); Angie Lauer (ALB Architecture)

**Changes to the Agenda:** None.

### Review/Approval of the Minutes

A motion was made (MK) to approve meeting minutes of August 17, 2016 with a change to correct misplacement of language related to recusals. It was seconded (TG) and the motion was approved unanimously.

A motion was made to approve the meeting minutes of September 21, 2016 as drafted. A motion was made (MK) and seconded (TG) and the motion was approved unanimously.

**Consent Item:** None

### New Business:

#### 1. Davidson East Amenity Building

Located at 16809 Setter Point Lane within the Neighborhood Edge Planning Area  
Civic Use within Detached House Building Type  
Represented by Neill Fortune (Fortune Architects)

Chad Hall gave a brief introduction of the project, explaining that this neighborhood pool house is a civic use accommodated within a detached house building type. The proposed building is scaled at 1.5 stories as seen from the front (Setter Point Lane) and 2.5 as seen from Grundy's Way. The front is on an axial termini of Davidson East Drive. Associated uses on site include a playground area and mail kiosk.

Propose materials include stone and lap siding with a composite shingle roof. The front elevation incorporates a cross gable entry and two small shed dormers. The rear

elevation will feature an elevated porch overlooking the pool area. A color palette page was presented; colors are to be earth-tones.

Neill Fortune provided additional information and responded to board questions.

Questions/Comments from the Board:

- The rear dormer does not seem to be positioned correctly over the columns. Line brackets with columns. Columns spacing needs to be even, as shown on rear elevation drawing.
- Why is there a bracket in the ridge vent? Should be removed.
- Window type?
  - *NF: Windows - Clad, muntins between planes. Doors – not picked out yet; composite material with paint finish (non-stained)*
- Any downspouts? Or exterior lighting?
  - *NF: Downspouts - Yes, at corners. Lighting – maybe pair of sconces or downlighting.*
- HVAC location? Dumpster enclosure?
  - *NF: Roll-out trash on side; not decided on HVAC.*

Chad explained that some of the site issues will be studied further as a continuation of the Individual Building permit process.

A motion was made to approve the elevations with conditions (SG) and seconded (JB). The motion was approved unanimously. The conditions are:

1. Remove center bracket in dormer on rear elevation and at ridge vents. Adjust bracket on side elevation to match to break of roof line.
2. Consistent column spacing on rear elevation and dormer should align with columns.
3. Divided lights in windows need to be consistent.
4. HVAC to have landscaping to prohibit views from public right-of-way.

## **2. 315 Catawba Avenue Accessory Structures**

Located at 315 Catawba Avenue within the Village Infill Planning Area  
Accessory Structures (2), each over 650 square feet  
Represented by Angie Lauer (ALB Architecture)

Prior to reviewing this case, Bob Lauer was recused from the Board. The motion was made by SG and seconded by MK. The motion was approved.

Prior to reviewing this case, Tom Goodwin was selected as chair in the absence of co-chair. The motion was made by JB and seconded by MK. The motion was approved.

Chad Hall gave a brief introduction of the project; there are two accessory structures proposed on the property and each are listed as being of 650 square feet, requiring DRB approval. The two structures are a detached garage and a pool house.



The proposed detached garage features includes a workshop area, bathroom, storage and an external shower. The overall detached garage is listed at 867 square feet.

The proposed pool house is open on three sides, with the back wall featuring siding to compliment the other proposed buildings on the property. The open air pool house will include a dining area with a grill, a seating area fronting a stone fireplace and a stone bar. It is listed at 805 square feet.

Both buildings are designed to complement the principal dwelling. Materials include stone veneer, cement board siding (both horizontal lap and board and batten), asphalt shingles and 5v metal crimp roofing. Colors have not been indicated at this point.

Questions/Comments from the Board:

- There was some question as to whether or not the board should be looking at the relationships of each building to one another; staff conveyed those dimensions are established by the Ordinance and the purview of this review is of the vertical architectural elements.
- The overall reaction to the proposal was positive.

A motion was made to approve the application as submitted (SG) and seconded (JB). The motion was approved unanimously.

After reviewing this case, a motion was made (MK) and seconded (SG) to have Bob Lauer rejoin the Board. The motion was approved.

**Other Items:**

**1. Changes to Planning Ordinance in response to adopted Rural Area Plan**

Discussion of potential changes to the DPO related to the commercial node located at the intersection of Shearer Road with East Rocky River Road. Rural Area Plan (RAP) calls for a rural vernacular aesthetic for the buildings in this node. Discussion centered on images provided in adopted RAP. DRB felt that images were more about neo-traditional inspired interpretation instead of true rural vernacular architecture. Staff has provided certain suggestions; board felt those were appropriate in response to the images, through transparency could be reduced. Encouraged staff to explore alternatives that are more in keeping with NC rural commercial architecture.

**Adjourn:** A motion was made to adjourn (MK), seconded (SG), and approved unanimously. The meeting was adjourned at 8:33 pm.

**Approval of Minutes:**

Date: \_\_\_\_\_ By: \_\_\_\_\_

**Please note: This is a summary of the meeting and not to be considered a complete transcript.**



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**Agenda Title:** New Member Introductions

**Summary:** Introduce two new DRB members

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**Agenda Title:** Orientation

**Summary:** Training

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**Agenda  
Title:**

Fire Station #2

**Summary:**

Change of colors to roof and windows (no application; color samples will be shared at the meeting)

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**Agenda Title:** 202 South Main Street

**Summary:** Change of doors and exterior lighting

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**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
❏ 202 S Main St Application	1/11/2017	Cover Memo
❏ 202 S Main - Site	1/11/2017	Cover Memo
❏ 202 S Main - Proposals	1/11/2017	Cover Memo
❏ 202 S Main - Staff Analysis	1/11/2017	Cover Memo



## Certificate of Appropriateness

202 doors and lights

(Name of Project)

### Contact Information

#### Applicant's Information

Name: Jen Jentz

E-Mail: jen@thepickledpeach.com

Mailing Address: P.O. Box 2193

Davidson, NC 28036

Business Phone: 704.765.2190 Mobile Phone: 704.975.4285

#### Property Owner's Information

(If Different from Applicant)

Name: \_\_\_\_\_

E-Mail: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Business Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_

#### Architect's Information

Name of Firm: \_\_\_\_\_

Architect's Name: \_\_\_\_\_

E-Mail: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Business Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_



# Certificate of Appropriateness

202 doors and lights

(Name of Project)

## Project Description

Application Date: 1/3/2017

Project Location: 202 S. Main St.  
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s): \_\_\_\_\_

Planning Area: Village Center, Local Historic Overlay

Master or Conditional Plan: \_\_\_\_\_  
(Include any conditions of approval)

General Statement of Intent: We would like to change the exterior doors and light fixtures for all storefronts in the building.

### Project Details:

Project Type: ☐ new structure ☐ addition ☒ exterior alteration  
☐ sign ☐ vendor cart ☐ demolition

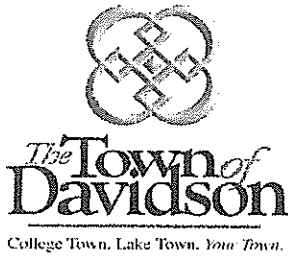
Building Type: one story, brick

Building Materials: doors/light fixtures - wood and glass

Colors: paint: iron mountain - Benjamin Moore

Architectural Features: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Existing Site Conditions: (include significant physical, environmental, and cultural features; significant and heritage trees, existing structures; and infrastructure and street layout)  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# Certificate of Appropriateness

202 doors and lights  
(Name of Project)

## Application Requirements

### Date Received

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☐

Application Fee per Town of Davidson Fee Schedule

☐

Contact Information

☐

Project Description  
(including General Statement of Intent)

☐

Statement of Compliance with Section 9 and Section 22

☐

Master Plan or Conditional Planning Area  
(including all documents, plans, maps, and conditions of approval)

☐

Environmental Inventory in accordance with Section 8.2  
(including adjacent properties and buildings)

☐

Color Photos  
(including existing and adjacent sites and building(s) taken from the perspective of the public streets adjacent to the site)

☐

Site Schematic Design in accordance with Section 8.8

☐

Building Schematic Design in accordance with Section 8.4

☐

Landscape Schematic Design in accordance with Section 8.6

☐

Building Perspective in accordance with Section 8.4 D

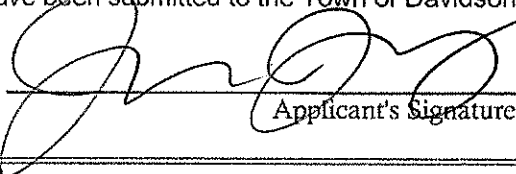
☐

Building Materials/Colors

☐

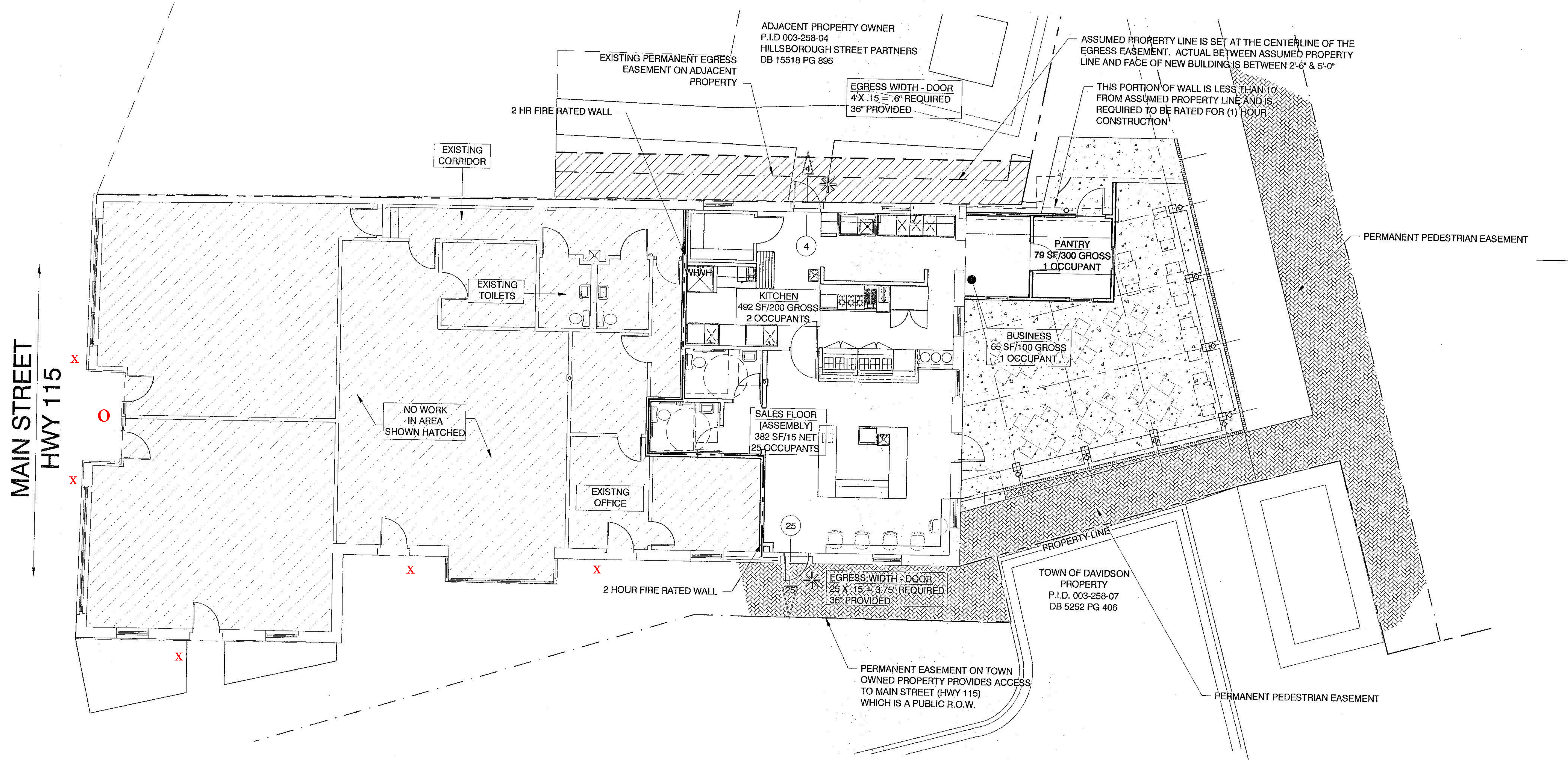
4-Sided Building Elevations and Color Front Elevations

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

  
Applicant's Signature

1/3/2017  
Date









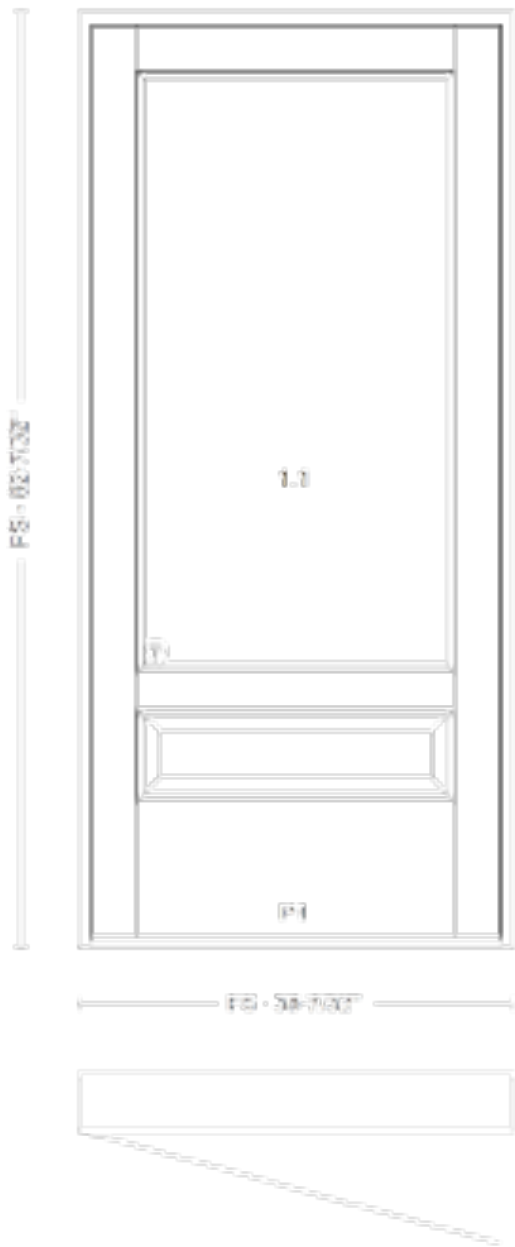
### Light Fixture #1

- 10 ¼" wide x 8 ¾" high x 6 ¼" wide canopy
- Metal construction
- oil-rubbed bronze finish
- semi-flushmount profile



### Light Fixture #2

- 6 ½" wide x 15" tall x 5" deep
- wood and aluminum construction
- dark weathered oak and oil rubbed bronze finish
- wall mounted fixture



Doors

WCD3068 (Assy 1)

Heritage Rectangle Commercial Swinging Door

\*\*\* Stiles & Rails \*\*\*

Unit 1.1: 4 5/8" Cross Rail at 24"

\*\*\* Unit \*\*\*

Unit 1.1: Wood Sash, Heritage, Outswing, Left  
Hinging, 1 Lite Over 1 Panel, Raised Panel, No  
Grooves, No raised moulding, 1 3/4" Panel, 1 3/4"  
Frame, Fixed Panel Construction

\*\*\* Glass \*\*\*

Unit 1.1: H-K LoE 270 Insulated Glass, Mill Finish  
Spacer, Glass Preserve without Neat Coating,  
Beveled Bead

Unit 1.1: Clear glass, Tempered Glass

\*\*\* Hardware-Accessories \*\*\*

Unit 1.1: No Lock - Display Bore  
Options, Bore 2 Holes : 2-1/8", 2-3/8"  
Backset, 5-1/2" on Center Distance,  
No Mortise, Strike Prep, 1" x 2-1/4"  
Dead Lock Strike Prep, 4" x 4" Ball  
Bearing Commercial Grade, Oil  
Rubbed Hinges, No Screen - No Prep

\*\*\* Species-Finish-Color \*\*\*

Unit 1.1: Pine, Primed Latex Ext.Sash,  
Primed Latex Exterior Frame, Primed  
Latex Interior , Beige Weatherstrip

\*\*\* Casing-Jambs-Trim \*\*\*

Unit 1.1: ADA-compliant w/ Thermal  
Break Door Sill, Dark Bronze Anodized  
Door Sill, No Casing, 6-5/16" Clips  
Installation Clips, 4-9/16" Jambs

Finish warranty is VOID with application of K-Kron2  
or Primed Latex on raised panel doors.

\* Indicates Increased Rough Opening













**Town of Davidson, NC**  
**Design Review Board: Staff Analysis**  
**Project Manager: Chad Hall**  
**January 11, 2017**

**Project:** Pickled Peach – Replace doors and exterior lighting  
**Location:** 202 South Main Street  
**Applicant:** Jen Jentz  
**Planning Area:** Village Center, Local Historic District: Contributing Resource

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A project is proposed at 202 South Main Street on the exterior of the Pickled Peach restaurant. The applicant proposes to add new doors and lights on each elevation.

A total of six doors are to be replaced. The proposed doors are to be  $\frac{3}{4}$  light, 1 panel doors which are to be painted with the same Iron Mountain color used elsewhere on the same building. All doors are proposed to be replaced.

Six lights are also proposed to be replaced. Five are rustic-inspired light fixtures measuring 6.5" wide, 5" deep and 15" tall (identified as light fixture #2 in submitted materials) and feature weathered oak and bronze finishes. The other light is to be approximately 10" in diameter and also has an oil-rubbed bronze finish. The five lights are located next to doors while the overhead circular light is to be placed over the two twin doors fronting Main Street (between Ben and Jerry's and Davidson Pilates).

The building is located within the Village Center Planning Area. This building is considered to be a storefront building. The building is a contributing structure in the Local Historic District. As such, the Historic Preservation Commission (HPC) may use its Design Guidelines to ensure that facades and their features meet the spirit and intent of the Davidson Planning Ordinance, even if all aspects do not necessarily meet the requirements for façades.

### **HISTORIC DISTRICT GUIDELINES:**

#### ***Windows and Doors***

1. *Retain and preserve windows and doors that contribute to the overall character and form of a historic building, including their functional and decorative features and details.*
4. *Replace in kind any portion of a window or door that is damaged or deteriorated beyond repair. Match the original in design, material, dimension, sash, or panel configuration, detail, texture, and color. Retain as much original material as possible. Consider substituting compatible materials for the original only if it is not technically feasible to replace in kind.*

#### ***Exterior Lighting***

1. *Retain and preserve exterior lighting fixtures that contribute to the overall historic character of the historic district.*

2. *Retain and preserve historic exterior lighting fixtures that contribute to the historic character of a building.*
5. *If needed, introduce exterior lighting fixtures sensitively so that the overall character of the historic building, site, or district is not diminished. Select and install new fixtures so that the location, orientation, height, brightness, design, and material are compatible with the human scale and character of the historic district.*
8. *It is not appropriate to create a false historical appearance by introducing period lighting fixtures from an era that predates the building or district*

#### **DAVIDSON PLANNING ORDINANCE:**

##### **Section 4.2.1 – Historic District Regulations**

*All changes or improvements made to structures within the Local Historic District must comply with the Historic District Regulations as described in Section 22.*

##### **Section 4.4.1.E.1 – General Building Design Standards - Materials**

*Materials shall be selected for suitability to the type of building and design for which they are used.*

##### **Section 4.4.1.E.4a-b – General Building Design Standards - Materials**

*Building materials and colors shall be complimentary to materials already being used in the general area. If dissimilar materials are being proposed, other characteristics such as scale, proportion, form, architectural detailing, color, and texture shall be used to ensure that the building relates to the rest of the neighborhood.*

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T:\Planning\_Shared\_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2017 DRB Agendas\20170118\_DRB Agenda\Ben and Jerry and Pickled Peach\20170103\_202 S Main St-Pickled Peach\_Staff Analysis.doc



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**Agenda Title:** Carnegie Mews Amenity Bldg

**Summary:** New amenity building

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**ATTACHMENTS:**

Description	Upload Date	Type
❏ Carnegie Mews App	1/11/2017	Cover Memo
❏ Carnegie Mews Staff Analysis	1/11/2017	Cover Memo



## Design Review

CARNEGIE Mens Commons BUILDING

(Name of Project)

### Contact Information

#### Applicant's Information

Name:

Rodney Graham

E-Mail:

graham8401@AOL.com

Mailing Address:

POB 2562

DAVIDSON, NC 28036

Business Phone:

704-239-1124

Mobile Phone:

704-239-1124

#### Property Owner's Information

(If Different from Applicant)

Name:

\_\_\_\_\_

E-Mail:

\_\_\_\_\_

Mailing Address:

\_\_\_\_\_

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Business Phone:

\_\_\_\_\_

Mobile Phone:

\_\_\_\_\_

#### Architect's Information

Name of Firm:

La Bella

Architect's Name:

Roger Layman

E-Mail:

r.layman@labellapc.com

Mailing Address:

455 SOUTH MAIN ST

DAVIDSON, NC 28036

Business Phone:

704-439-2931

Mobile Phone:

\_\_\_\_\_





## Design Review

Carnegie Mews Commons Building  
(Name of Project)

### Project Description

Application Date:

1/2/2017

Project Location:

610 Melissa Ann Way

Tax Parcel(s):

00327717

Planning Area:

Village Infill

Overlay District:

RED

Master or Cond. Plan  
(Attach Conditions of Approval)

Carnegie Mews

Gen. Statement of  
Intent:

provide gathering space and intermittent,  
FREE overnight accommodations for residents  
+ guests of Carnegie Mews

### Project Details:

• Project Type:



Individual Bldg.



Master Plan



Conditional Planning Area



Sign

• Building Type:



Detached House



Townhouse



Attached House (Tri- or Quadplex)



Institutional



Live/Work



Multi-family (Apts., Condos, Flats)



Workplace



Storefront



Accessory Structure

• Use(s):

gathering; limited overnight use

• Height & Stories:

1

• Square Footage:

450

• Building Materials:

brick foundation; fiber cement siding

Architectural

Features:

Existing Site

Conditions:

See 14.12.2.D

Carnegie Mews development of 15  
single family homes



## Design Review

CARNEGIE Mews Common BUILDING  
(Name of Project)

### Application Requirements

#### Date Received

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- ☒ Application Fee per Town of Davidson Fee Schedule
- ☒ Contact Information
- ☒ General Statement of Intent  
(Use, building type, approx. square footage, height, design features)
- ☒ Statement of Compliance with Section 2
- ☒ Master Plan or Conditional Planning Area  
(Including all documents, plans, maps, and conditions of approval)
- ☒ Environmental Inventory in accordance with Section 14.15.1  
(Including adjacent properties and buildings) *master plan*
- ☒ General Description  
(Including a description and color photographs to existing / adjacent site)
- ☒ Site Schematic Design in accordance with Section 14.15.7 *master plan*
- ☒ Building Schematic Design in accordance with Section 14.15.3  
(Including rendered elevations of each façade per 14.15.3 C)
- ☒ Landscape Schematic Design in accordance with Section 14.15.5 *master plan*
- ☒ Building Perspective
- ☒ Building Materials/Colors  
(Roofing, siding, doors, windows, etc.)

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

Rodney Mval

Applicant's Signature

11/21/17

Date



# Design Review

CARNEGIE NEWS COMMENTS BUILDING

(Name of Project)

## Development Process

Date Completed	Outline of Steps & Checklist
1/3/17	<input checked="" type="checkbox"/> 1. Initial Meeting
1/3/17	<input checked="" type="checkbox"/> 2. Application and Fee
_____	<input type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
_____	<input type="checkbox"/> 4. Planning Director Site Schematic Design Review
_____	<input type="checkbox"/> 5. Design Review Board Approval
_____	<input type="checkbox"/> 6. Building Construction Documents
_____	<input type="checkbox"/> 7. Site and Landscape Construction Documents
_____	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
_____	<input type="checkbox"/> 9. Building Permit Approval
_____	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
_____	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
_____	<input type="checkbox"/> 12. Certificate of Occupancy

*\* For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*





# Design Review

*Carnegie Mens Commons Building*

(Name of Project)

## Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.



### Planning Ordinance

<http://www.townofdavidson.org/1006/Planning-Ordinance>

(Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)



### Section 2 Planning Areas



Permitted Use/Add'l Req.



Not Permitted



Permitted Building Type



Not Permitted



Meets Setback Criteria



Does Not Meet



Meets Open Space Criteria



Does Not Meet



Meets Density Criteria



Does Not Meet



### Section 4 Design Standards



General Site Design Criteria (4.3)



General Building Design Criteria (4.4)



Specific Building Type Criteria (4.5)



Existing Industrial Campuses Criteria (4.6)

*N/A*



Renovation of Existing Structures Criteria (4.7)

*N/A*



### Section 8 Parking & Driveways



### Section 9 Tree Preservation, Landscaping & Screening

*N/A*



### Section 10 Lighting

*N/A*



### Section 22 Local Historic District Guidelines

*N/A*



## Carnegie Mews Commons Building

### Statement of Intent

Carnegie Mews is an infill neighborhood of 15 single family homes located on and off Delburg Street. The master plan for Carnegie Mews was approved in 2013.

A commons building was part of the approved master plan. The commons building serves the following purposes:

- A gathering spot for residents of the neighborhood (the patio space of the commons building will also be publicly accessible)
- Intermittent overnight accommodations for guests of the homeowners of Carnegie Mews

In our final master plan submittal the commons building was shown in the center of the courtyard that is in the center of the neighborhood. During the public review process comments were made that it would be better to have an unobstructed view down the center of the neighborhood, and thus in the approved master plan the commons building is shown to the side. However, during the technical review Mecklenburg County required us to extend a sewer line to facilitate future development. The easements around this unanticipated sewer line require the commons building to once again be in the center. In order to maintain a view through the center of the neighborhood we have designed the commons building to be two separate rooms connected with a common roof structure.

While Mecklenburg County considers this commons building to be a commercial structure, in my opinion it is not a commercial building. No commerce will take place in this building. Renting the commons building to persons not affiliated with the homeowners of Carnegie Mews is specifically prohibited by the covenants and restrictions of the neighborhood. There is no

cooking facility within the commons building. Thus, a number of the requirements for commercial structures within the Planning Ordinance are not applicable. The commons building has a residential use.

We will highlight areas of compliance with the Planning Ordinance that we feel are applicable:

4.3.1 A1 – there will be pedestrian access to the commons building from a sidewalk that connects to Delburg Street. The sidewalk is publicly accessible.

4.3.1 A2 – the primary access will be from a publicly accessible courtyard

4.3.1 Other – this is not a large building. There is not vehicular access so driveway requirements do not apply (there is handicap accessible parking in an adjacent parking lot and there will be accessible access to the commons building). There is no berm.

4.3.1 B1 – the commons building will front a publicly accessible pedestrian way

4.3.1.C – the building height is less than 16 feet and the commons building will be lower in height than any of the single family homes in the neighborhood

4.3.1.D-F Not applicable to the commons building

4.3.2 Not applicable to the commons building

4.4.1 The architecture of the commons building will be complementary to the single family homes in Carnegie Mews. The commons building will have a brick foundation with fiber cement siding, which is consistent with 14 of the 15 homes in Carnegie Mews (there is one full brick home). The roof is hipped, which is consistent with many of the homes. The materials used on the commons building are similar to those used on the single family homes.

4.4.1 A – the commons building is well under the height restrictions for residential or commercial structures in this planning area. It is not truly a commercial structure so we feel that the two story requirement does not apply.

4.4.1 B-F. Most of these requirements are not applicable to the commons building. As previously stated the commons building is a residential structure which will utilize materials consistent with the single family homes in Carnegie Mews.

Section 4-5. The building types that are most relevant to the commons building are 4.5.2 Detached House and 4.5.8 Accessory Structure. The commons building has the form of a detached house, and complies with the requirements of a detached house contained within the Planning Ordinance. While there is no other structure on the lot, the commons building is

accessorial to the neighborhood as a whole and thus could be considered an accessory structure. The commons building complies with the requirements of 4.5.8 in terms of setbacks and its relationship to the single family homes in the neighborhood.



### Carnegie Mews Commons Building

#### Statement of Compliance Section 2

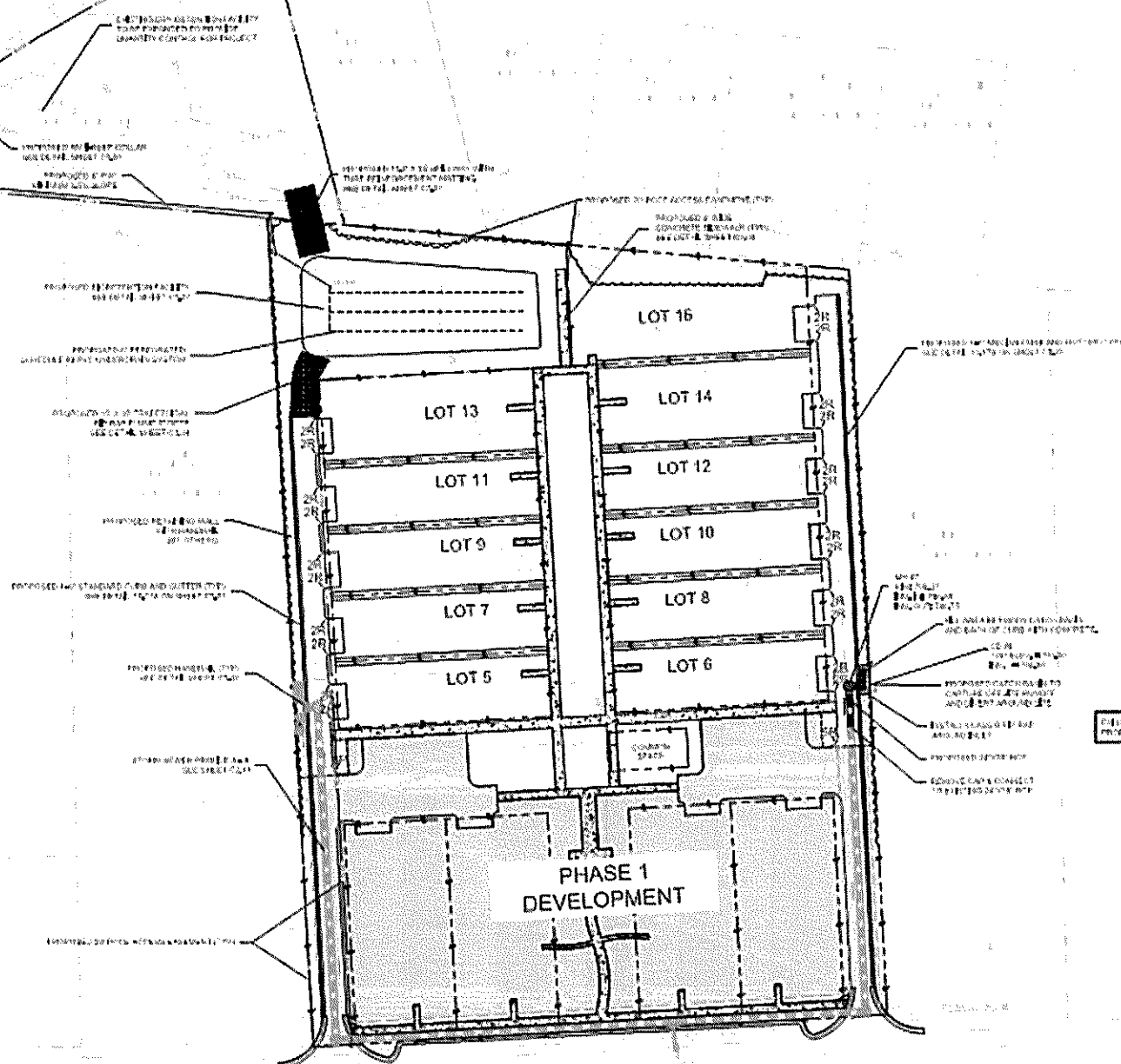
The commons building will be located in Carnegie Mews, which is located in the Village Infill Planning Area.

The commons building is of a residential type, and is an accessory to the neighborhood. Both the use and the building type are permitted by the Davidson Planning Ordinance.

The commons building was included in the approved master plan for Carnegie Mews. The environmental inventory and site schematic design requirements were met as part of the master plan submittal and approval.

The commons building will be constructed using materials that are consistent with the single family homes in Carnegie Mews, namely a brick foundation, fiber cement siding materials, high quality historically authentic windows, and 30 year architectural asphalt roofing shingles.

We have included photos of the existing site for reference.



1988, p. 20

[illegible]

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2	10/20
1	8/27
0	6/3
No.	043

**Abstract**

2008年12月

\_\_\_\_\_

100

PHASE





JEFFERY D. GRAY  
RESIDENTIAL DRAFTING & DESIGN  
100 SOUTH MAIN STREET, SUITE 200, CUMBERLAND, MA 01472  
(508) 931-1710

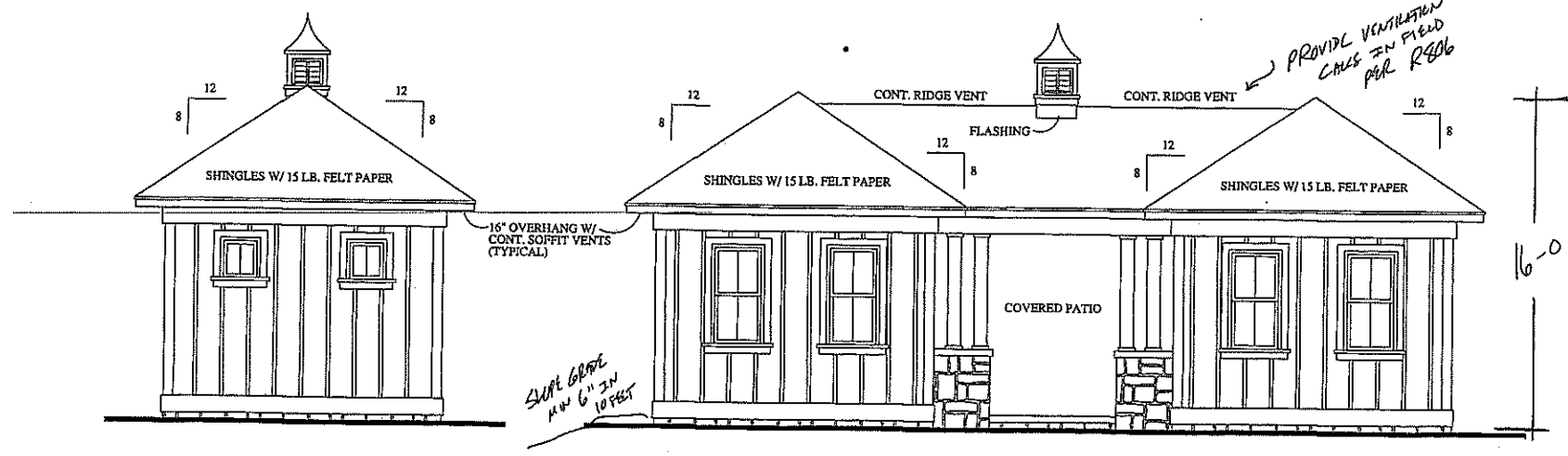
PROJECT:

JOHN MARSHALL  
CUSTOM HOMES INC.

DATE: AUG. 11, 16  
REVISION:

FILE NUMBER  
2016-GRATIAM-1

SHEET:  
**1<sup>A</sup>**  
OF: 3

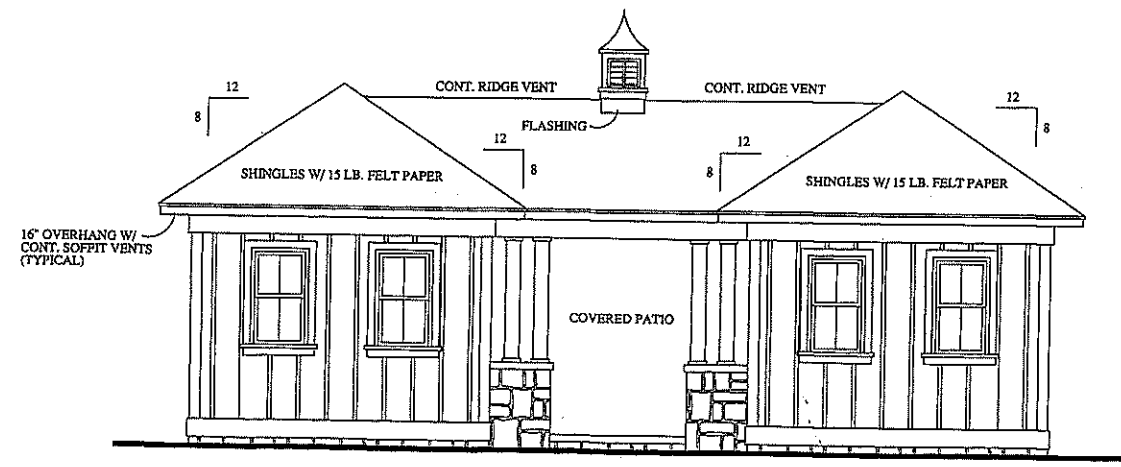


LEFT ELEVATION

SCALE: 1/4" = 1'-0"

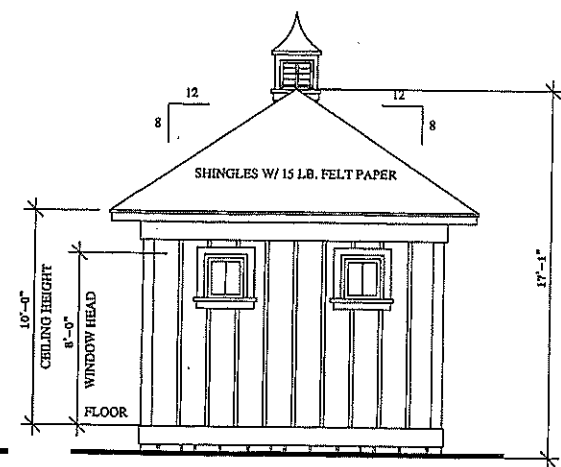
REAR ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

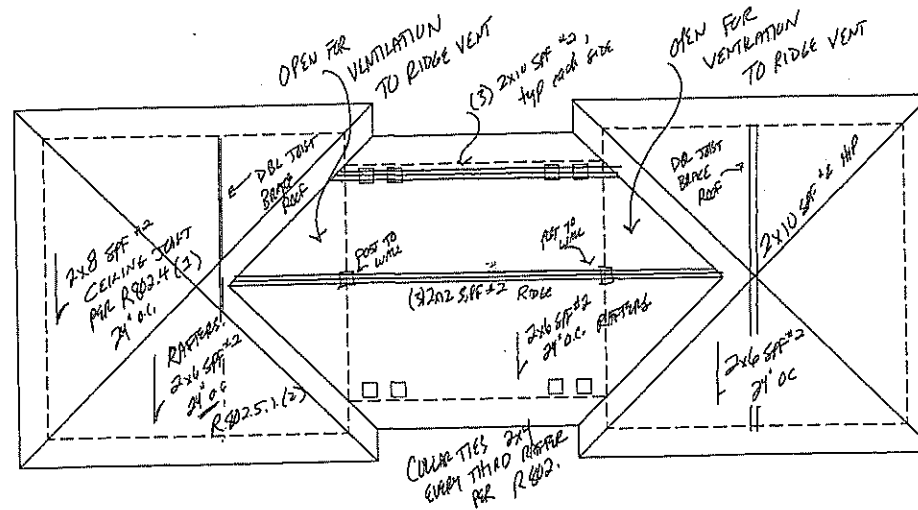


RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

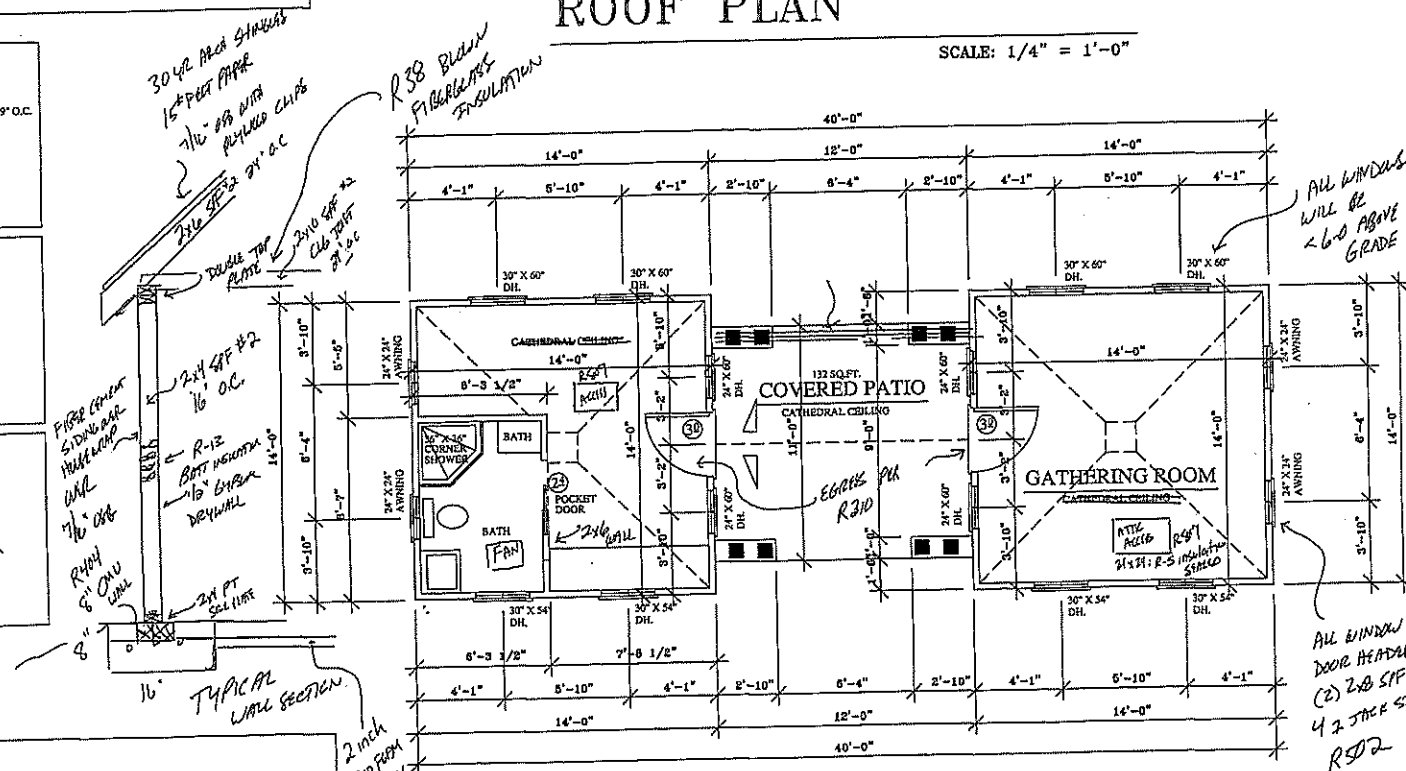
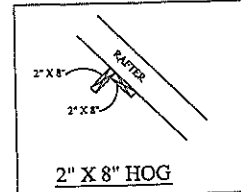
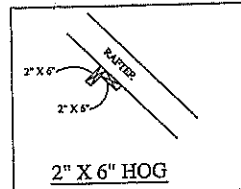
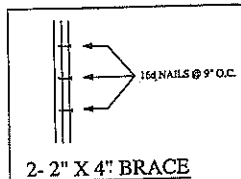
392 SQ.FT.

1. RAFTERS TO BE 2" X 6" @ 16" O.C. FOR SINGLEHUS UNLESS OTHERWISE NOTED.  
CUT INTO HIPS, RIDGES, ETC. UNLESS OTHERWISE NOTED.  
RAFTERS FOR TILE, SLATE AND OTHER ROOF COVERINGS TO BE 2" X 8" @ 16" O.C.  
UNLESS OTHERWISE NOTED.
2. COLLOR TIES TO BE 2" X 4" @ 48" O.C. AT ALL RIDGES.
3. COLLOR TIES MINIMUM AT ALL RIDGES, EVEN IF 4 TIES MUST BE INSTALLED  
ON 1 RAFTER SET.
4. 2" X 4" IN CIRCLE INDICATES LOCATION OF RAFTER BRACE AT RAFTER LEVEL.
5. 2" X 4" IN CIRCLE WITH ARROW AWAY FROM BRACE INDICATES DIRECTION  
OF BRACE TO PARTITION OR BEAM BELOW.
6. 2" X 4" IN CIRCLE WITH ARROW INTO BRACE INDICATES A VERTICAL OR ALMOST  
VERTICAL CIRCLE.
7. ALL BRACES ARE 2" X 7" X NAILLED WITH 16D NAIL AT 9" O.C. VERTICALLY, FROM  
TOP TO BOTTOM. BRACES LONGER THAN 10'-0" TO BE BRACED HORIZONTALLY.
8. ALL HIPS AND RIDGES TO BE A SIZE LARGER THAN RAFTERS,  
UNLESS OTHERWISE NOTED.
9. ALL HOOGS ON CEILING JOISTS OR RAFTERS ARE 2" X 6" @ 16" O.C. UNLESS  
OTHERWISE NOTED.
10. MAXIMUM SPACING OF RAFTER BRACES (RAFTERS TO BE SPLICED OVER HOOGS WITH  
2" X 4" BRACES)
  - 2" X 6" HOOG - 6'-0" O.C.
  - 2" X 8" HOOGS - 7'-0" O.C.
11. MANUFACTURED ROOF TRUSSES TO BE INSTALLED AND BRACED PER  
MANUFACTURER'S RECOMMENDATIONS.
12. ~~FOR ROOF PLAN:~~  
~~USE 2" X 6" @ 16" O.C. RAFTERS, SPF #2, UNLESS OTHERWISE NOTED.~~  
~~MAXIMUM ALLOWABLE SPAN = 14'-0" HORIZONTAL, USE 1" X 4" HOOGS AT RAFTER~~  
~~ENDS, 2" X 4" BRACES @ 5'-0" MAXIMUM.~~  
~~CUT IN ALL RAFTERS USING RIDGES, VALLEYS, ETC. ONE SIZE LARGER THAN RAFTER SIZE.~~  
~~ALL RAFTERS AND HOOGS MUST BE CARRIED TO FOUNDATION WITH A MINIMUM OF~~  
~~2" X 4" STUDS.~~



# ROOF PLAN

SCALE: 1/4" = 1'-0"



# FLOOR PLAN

SCALE: 1/4" = 1'-0"

392 SQ.FT.

ALL WINDOW AND DOOR HEADERS SHALL BE 2" X 10" MIN. SYP #2 UNLESS NOTED ON PLAN  
ALL FLOOR JOISTS SHALL BE 2" X 10" @ 16" O.C. MIN. SYP #2 UNLESS NOTED  
ALL CEILING JOISTS SHALL BE 2" X 8" @ 16" O.C. MIN. SYP #2 UNLESS NOTED  
SHEATHING 1/2" MIN. GYPSUM BOARD  
INSULATION R-19 FLOOR, R-15 EXTERIOR WALLS, R-30 CEILING

**JOHN MARSHALL**  
**CUSTOM HOMES INC.**

**PROJECT:**

**JEFFERY D. GRAY**  
**RESIDENTIAL DRAFTING & DESIGN**  
1204 SOUTH MAIN STREET LANSING MI 48206  
OFFICE (313) 483-1723

**PROJECT:**

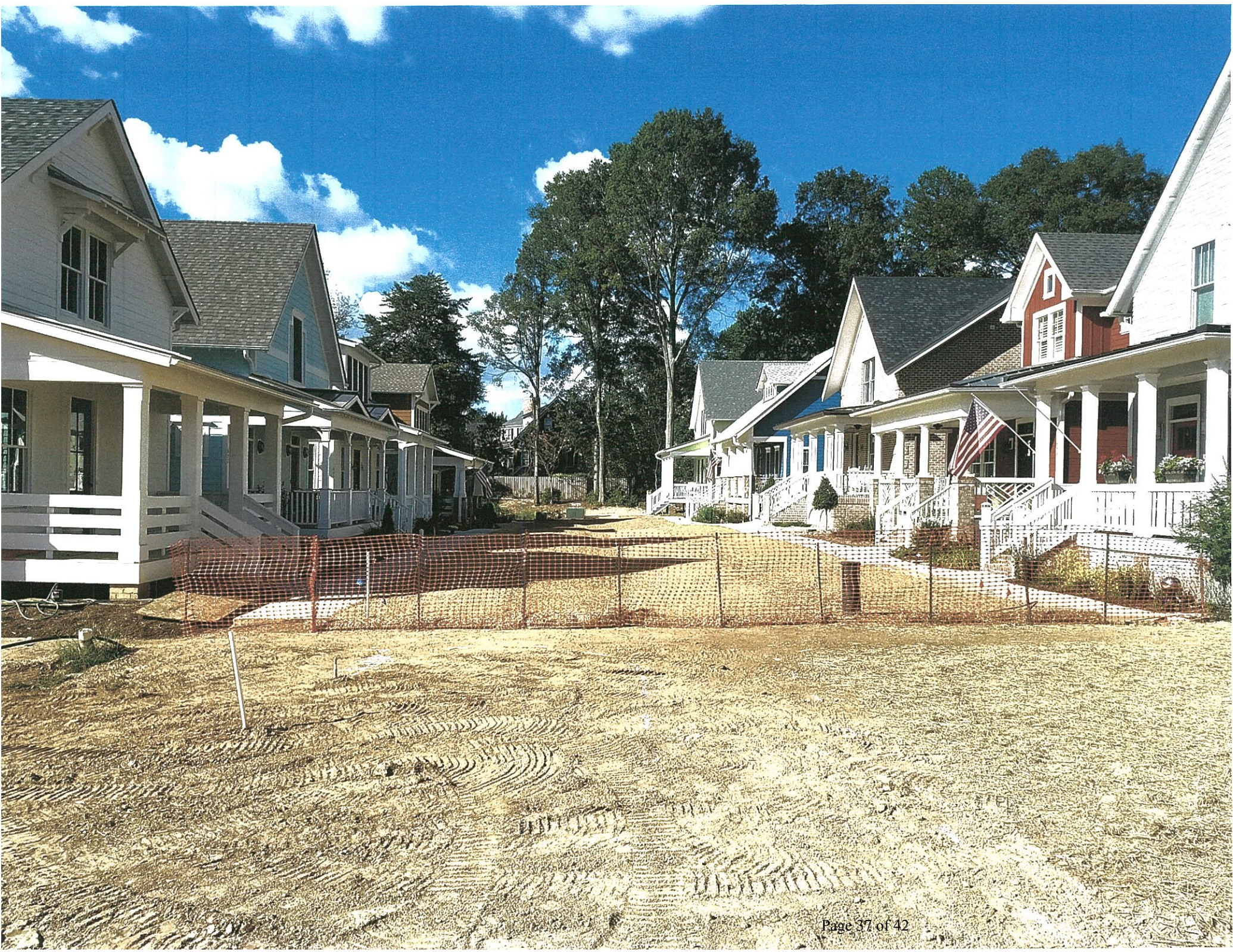
DATE: AUG. 11, 16  
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2016-GRAHAM-1

**SECRET:**

3 OF 3



















**Town of Davidson, NC**  
**Design Review Board: Staff Analysis**  
**Project Manager: Chad Hall**  
**January 11, 2017**

**Project:** Amenity Building  
**Location:** 610 Melissa Ann Way (Carnegie Mews)  
**Applicant:** Rodney Graham (John Marshall Custom Homes)  
**Designer:** Roger Layman (LaBella Associates)  
**Planning Area:** Village Edge (Red Overlay)

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The applicant proposes a one story civic building on the north side of Delburg Street within the commons area of Carnegie Mews (currently under construction). The proposed building is listed at 492 total square feet and is to be built under the commercial building code, thus requiring DRB review, though uses will not be commercial in nature. The building is a one-story that will be centered on the commons area of Carnegie Mews. The purpose of the building is to provide:

- A gathering spot for residents of the neighborhood (patio space of the commons also publicly accessible), and
- Intermittent overnight accommodations for guests.

By providing the building with two separate rooms with a central pass-through area, it retains views through the entirety of the commons area through the whole development. The clubhouse is designed with architecture inspired by the surrounding detached residential houses, so that it will blend with neighboring residential properties once constructed. Materials include a brick foundation with fiber cement siding, high quality windows and architectural asphalt roof shingles. Colors have not been specified.

**DAVIDSON PLANNING ORDINANCE:**

**4.3 GENERAL SITE DESIGN STANDARDS**

**4.3.1 Standards**

**A. Pedestrian and Vehicular Access**

2. Detached, attached, townhouse, and multi-family building types shall have the primary pedestrian entry facing a fronting, primary street, a central courtyard, or pedestrian way. Secondary access for all building types may be provided from parking areas located to the rear of a building.

**B. Building Location and Orientation**

1. Buildings must front on a public street, pedestrian way, or a dedicated public plaza that is open to a public street.

**E. Loading/Service Areas, Mechanical Equipment and Utilities**

2. Mechanical equipment (except small items such as fans and vents), utility meters, storage areas, solid waste containers (including dumpsters, compactors, recycling containers, and

solid waste and recycling handling areas), transformers, generators, HVAC units and similar features, or other utility hardware on the building, roof, or ground shall be screened from public view with materials similar to the structure; OR they shall be so located as not to be visible from a primary fronting public street.

#### **4.4 GENERAL BUILDING DESIGN STANDARDS**

##### **4.4.1 STANDARDS**

###### **C. Facade Articulation**

All building facades visible from a public street or park/open space shall have:

1. A recognizable base, distinguished from the body of the building by features such as, but not limited to:
  - a. Thicker walls, ledges or sills;
  - b. Visually heavier materials (such as brick, stone, tile or other masonry) than those used on the body of the building; and/or
  - c. Lighter or darker colored materials, mullions, panels or planters.
2. A recognizable top, occupying the highest portion of the building and distinguished from the body of the building by features such as, but not limited to:
  - a. A dimensional cornice capping the top of a building wall;
  - b. Different materials or differently colored materials; and/or
  - c. A roof overhang with brackets.

###### **E. Materials**

1. Materials shall be selected for suitability to the type of building and design for which they are used.
3. All sides of the building should use materials consistent with those on the front if visible from public streets or neighboring properties, and should be carefully designed with similar detailing, comparable quality, and compatible materials.
4. Building materials and colors shall be:
  - a. Complementary to the materials already being used in the neighborhood, or
  - b. If dissimilar materials are being proposed, other characteristics such as scale, proportion, form, architectural detailing, color, and texture shall be used to ensure that the building relates to the rest of the neighborhood.

###### **F. Architectural Details**

1. Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions.
4. Fenestration shall be architecturally related to the style, materials, colors, and details of the building.

#### **4.5 SPECIFIC BUILDING TYPE RECOMMENDATIONS**

##### **4.5.1 INSTITUTIONAL BUILDINGS Type**

Institutional buildings are typically used for public or semi-public purposes. These buildings must be designed appropriately to fit within neighborhoods as integral parts of the community.