

NARROW PASSAGE – OVERVIEW

Topics Covered

1. Process Overview
2. Vicinity Map & Existing Conditions
3. Site & Landscape Plans
4. Open Space & Greenways / Trails
5. Proposed Conditions



NARROW PASSAGE – PROCESS OVERVIEW

Conditional Planning Process

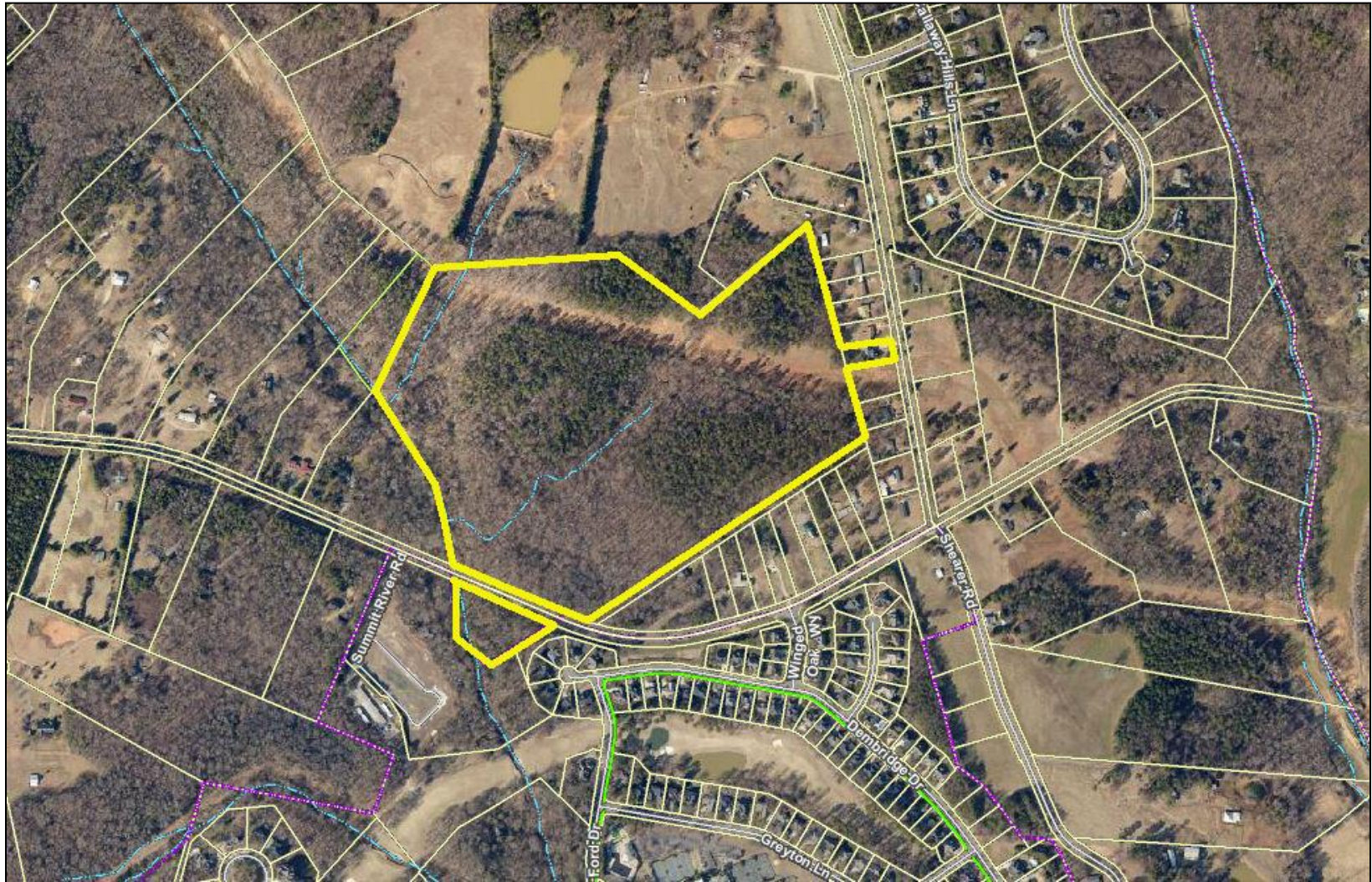
By-Right Development in the Rural Planning Area

Without access to water and sewer – one unit per two acres permitted (max. 6)

1. Application
2. Public Input Session
3. Technical Review
4. Board of Commissioners Work Session
5. Planning Board Recommendation
6. Board of Commissioners Public Hearing
7. Board of Commissioners Decision



NARROW PASSAGE – VICINITY MAP



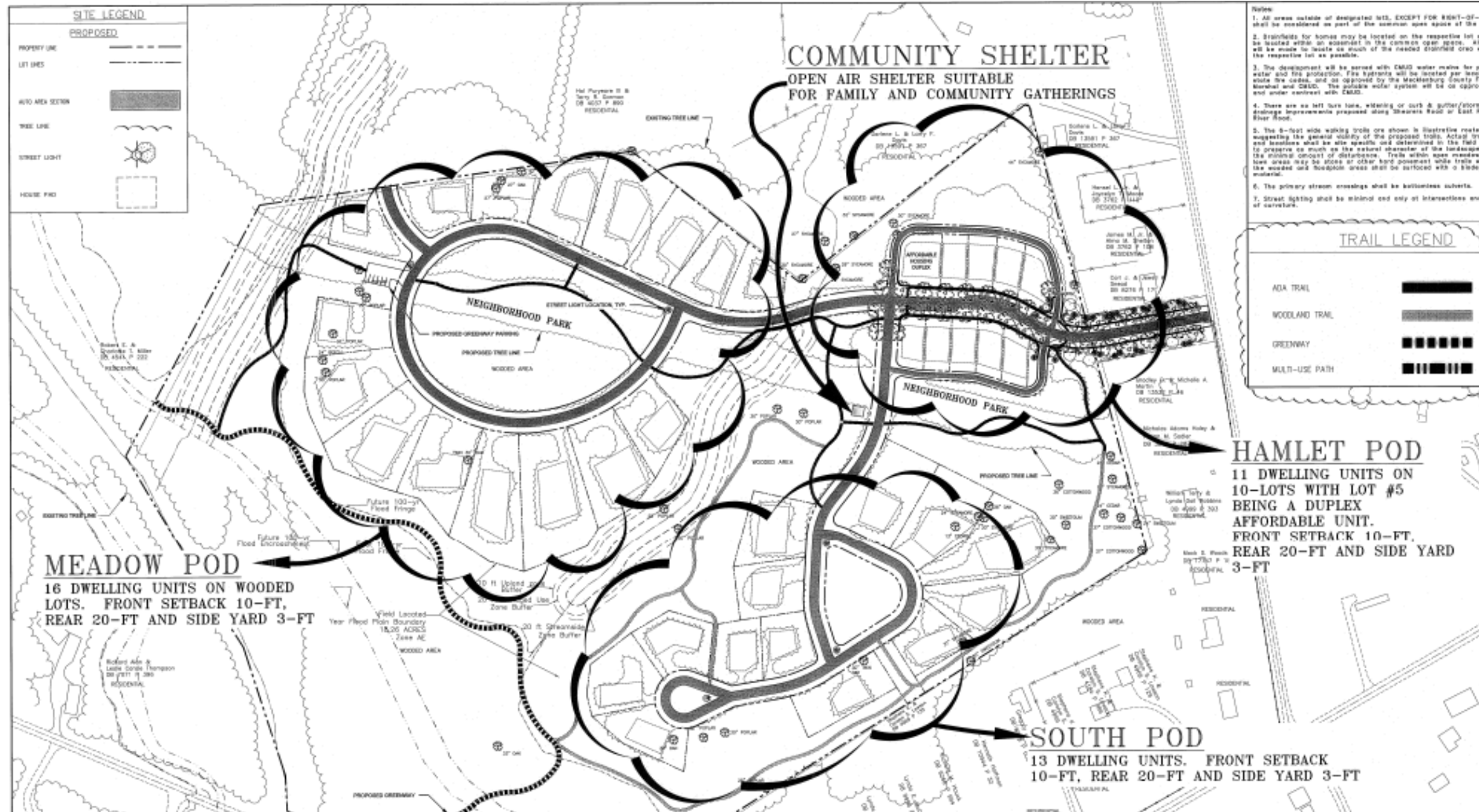
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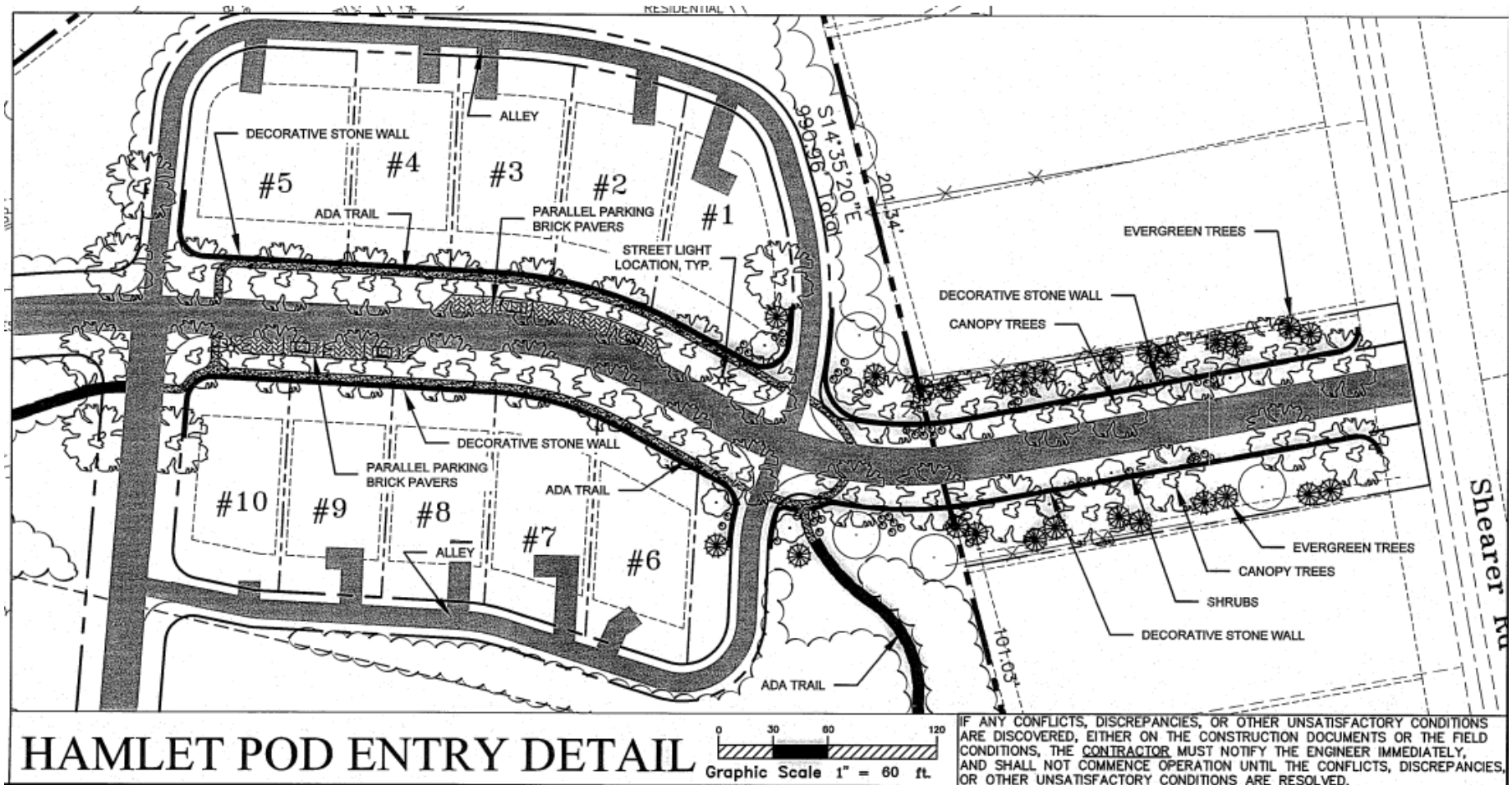
NARROW PASSAGE – EXISTING CONDITIONS



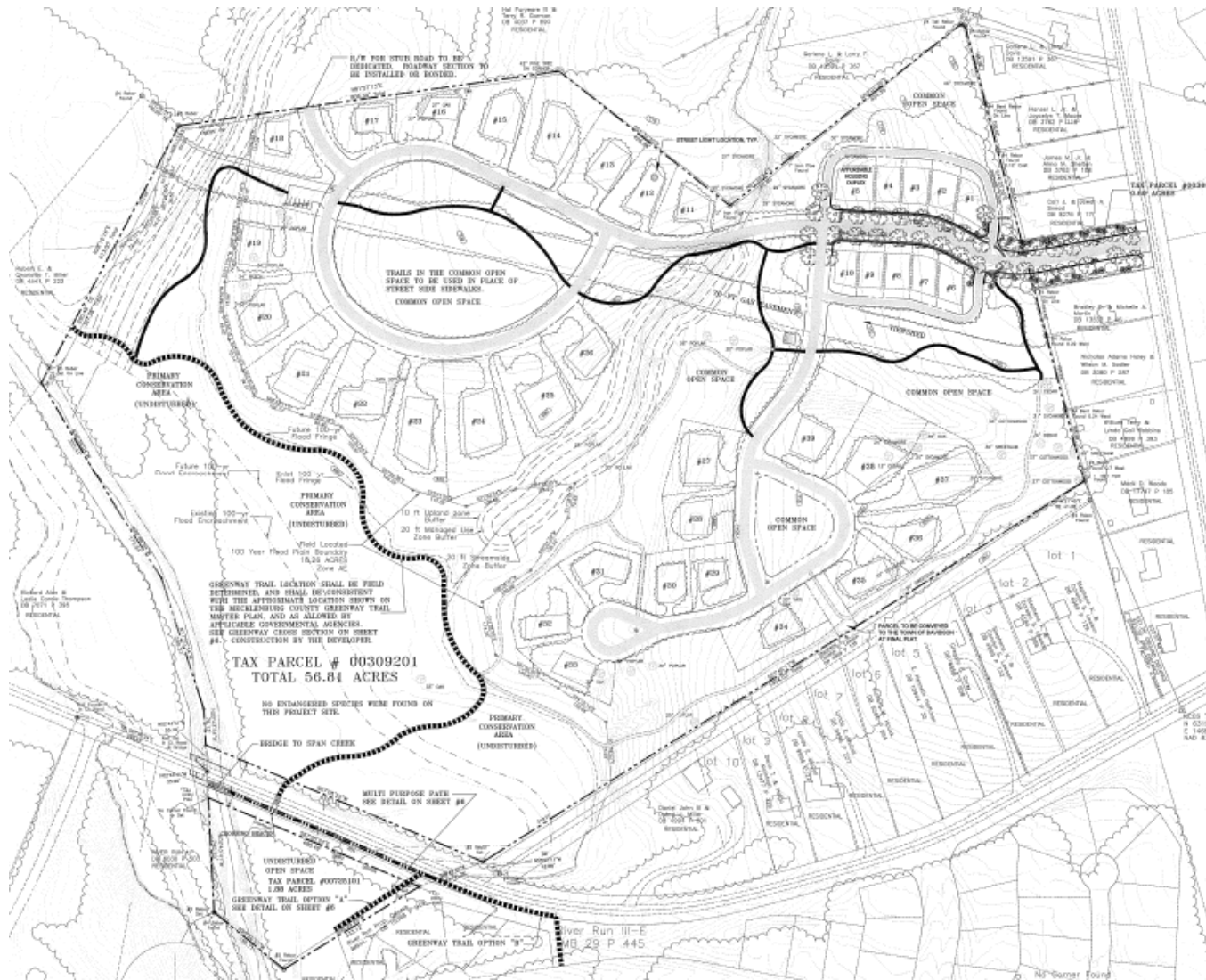
NARROW PASSAGE – SCHEMATIC SITE PLAN



NARROW PASSAGE – HAMLET POD



NARROW PASSAGE – CONCEPTUAL SITE PLAN

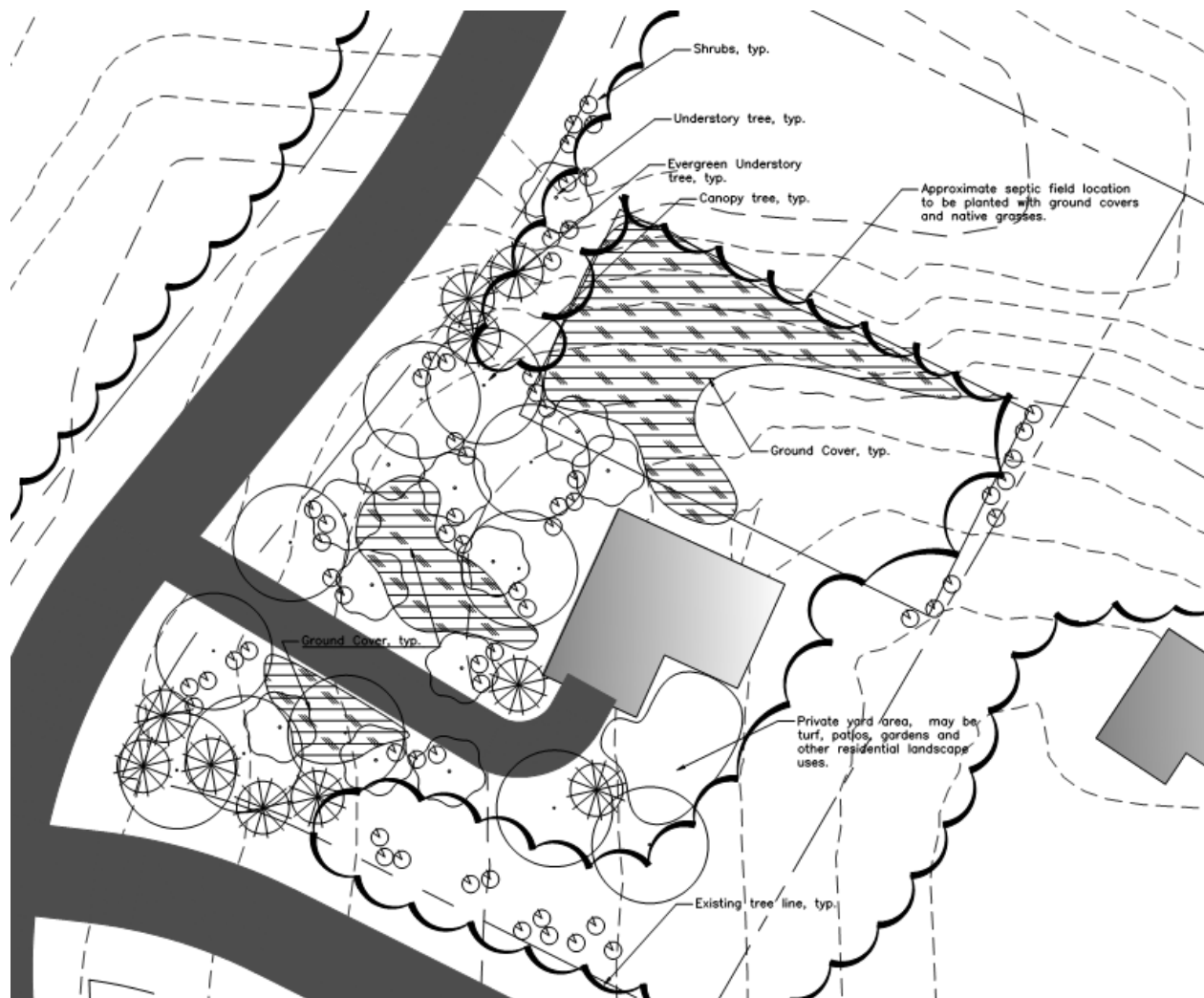


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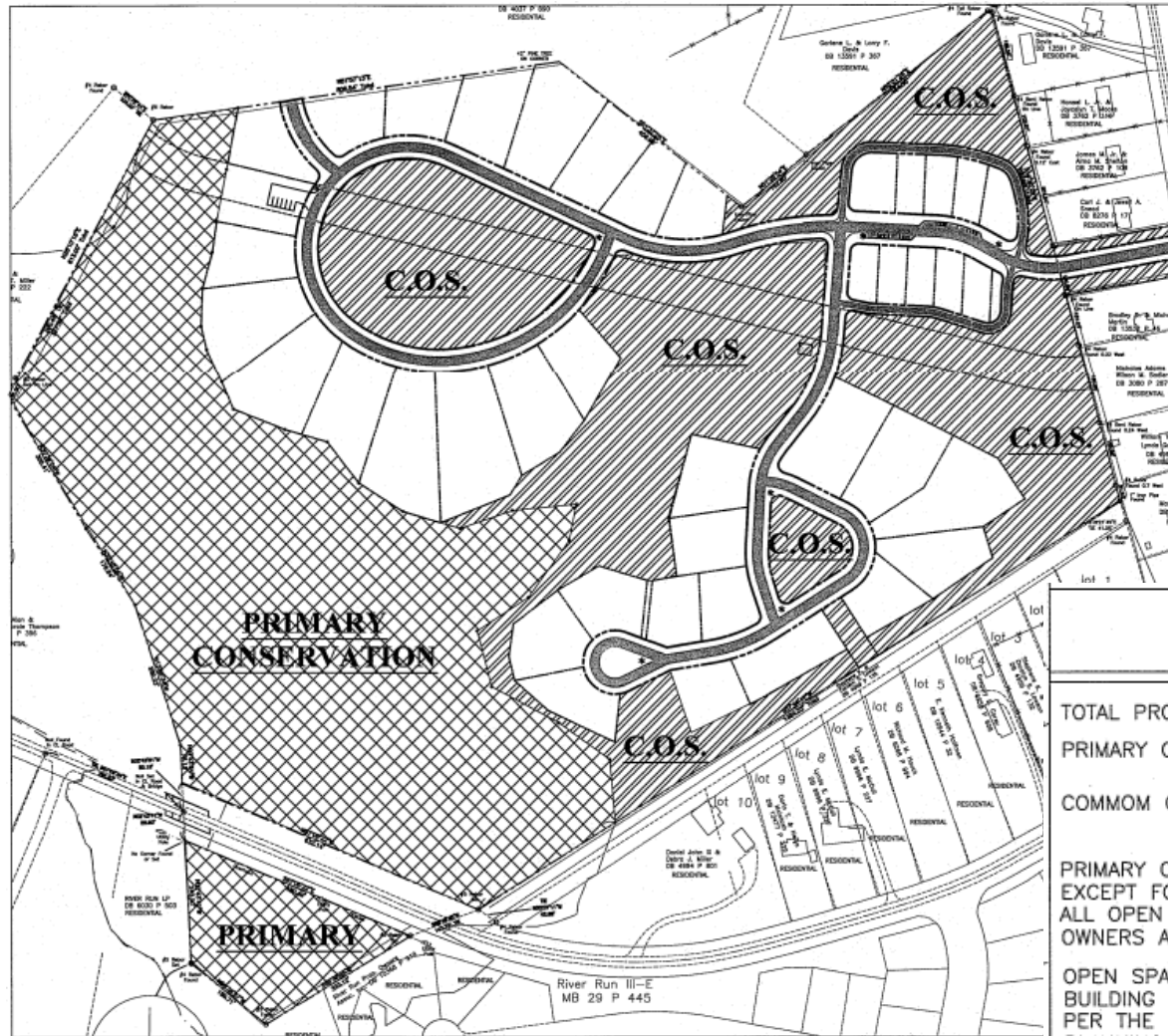
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NARROW PASSAGE – TYPICAL LOT LANDSCAPE SCHEMATIC



NARROW PASSAGE – OPEN SPACE PLAN



OPEN SPACE

TOTAL PROPOSED OPEN SPACE = 37.9-ACRES = 64.17%

PRIMARY CONSERVATION OPEN SPACE =
20.23 AC = 34.25%

COMMON OPEN SPACE = 17.67-ACRES = 29.9%

PRIMARY CONSERVATION OPEN SPACE IS UNDISTURBED EXCEPT FOR THE FIELD LOCATED WOODLAND TRAILS. ALL OPEN SPACE WILL BE OWNED BY THE PROPERTY OWNERS ASSOCIATION AND ACCESSIBLE TO THE PUBLIC.

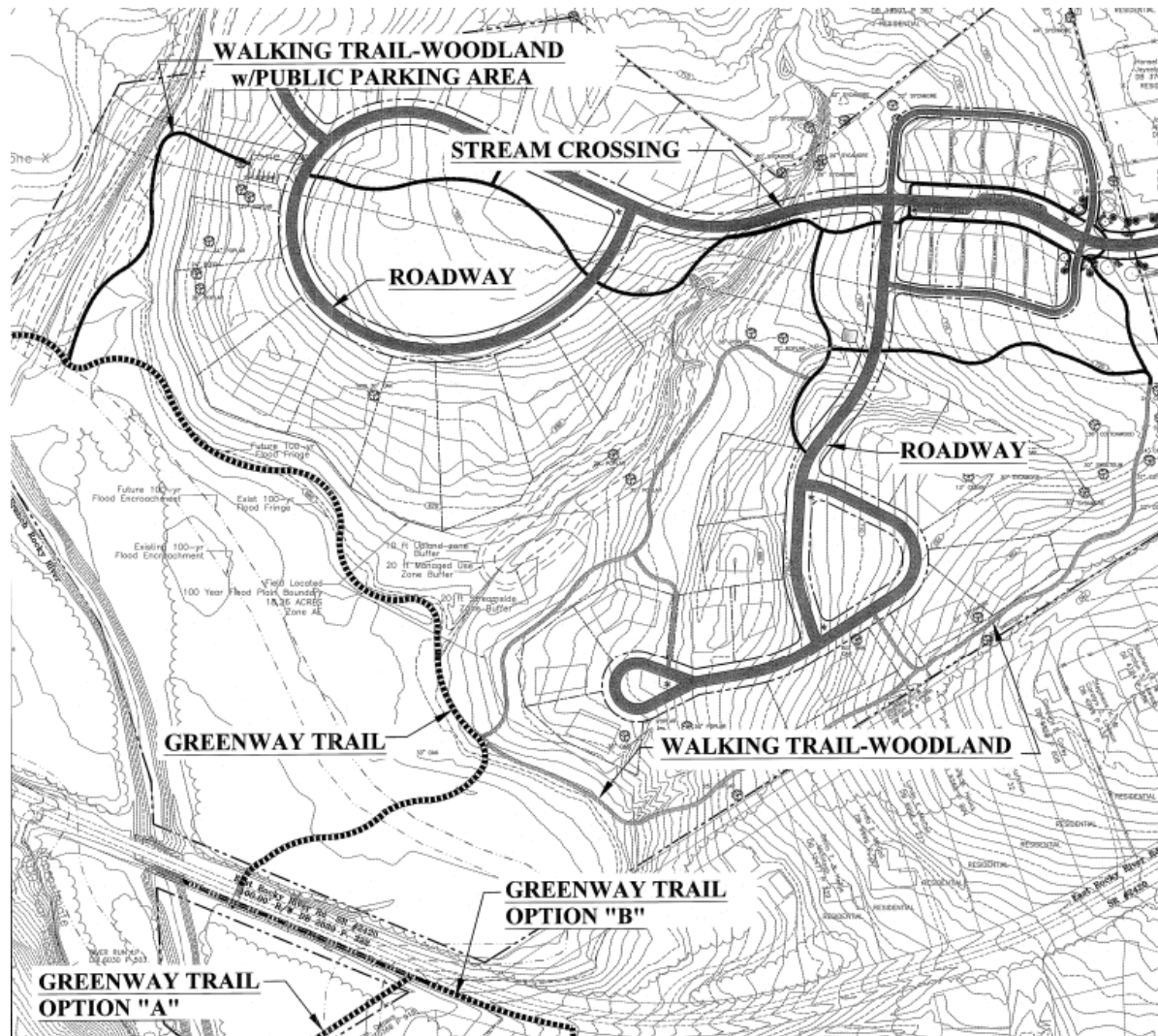
OPEN SPACE IS DEFINED AS AREAS NOT DIVIDED INTO BUILDING LOTS, STREETS, R/W, PARKING, OR EASEMENTS PER THE DEFINITION OF OPEN SPACE IN THE DAVIDSON PLANNING ORDINANCE.



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NARROW PASSAGE – TRAILS & GREENWAY



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NARROW PASSAGE – SUMMARY OF PROPOSED CONDITIONS

Applicant Requests

1.Mix of Building Types: Detached homes; Storefront/Workplace not req'd

2.Lot Widths: No minimum or maximum lot sizes

3.Infrastructure:

- a. Road Standards – NCDOT rural standard (swales, no curb/gutter)
- b. Multi-Use Path Bridge – Options for compliance
- c. Street Lights – Intermittent street lighting
- d. Sewer/Septic – On-site septic
- e. Landscaping – Less formal tree planting plan; Landscape matrix for lots
- f. Crossing Beacon – Greenway crossing at E. Rocky River Rd.
- g. Greenway (Southern Parcels) – Several options for compliance



NARROW PASSAGE – SUMMARY OF PROPOSED CONDITIONS

g. Greenway (Southern Parcels) – Several options for compliance



NARROW PASSAGE – SUMMARY OF PROPOSED CONDITIONS

- h. Sidewalks – Walking paths in lieu of sidewalks
- i. Parking – six spaces for parking/greenway access
- j. Conveyance of land – southern parcel (below E. Rocky River Rd.)

4. Affordable Housing: Payment-in-lieu option

5. Annexation: Requesting annexation

6. Walking Paths and Common Open Space: Clarifying maintenance and use

7. HERS Rating: Targeted energy efficiency home construction

8. Permanent Open Space: Deed recordation

9. Open Space Deficiency Contribution: Seeking 70% open space, contribution per lot

10. Sewer Connection: Potential easement

11. Design Standards: 25% exemption from garage placement standards



REFERENCE DIAGRAMMS

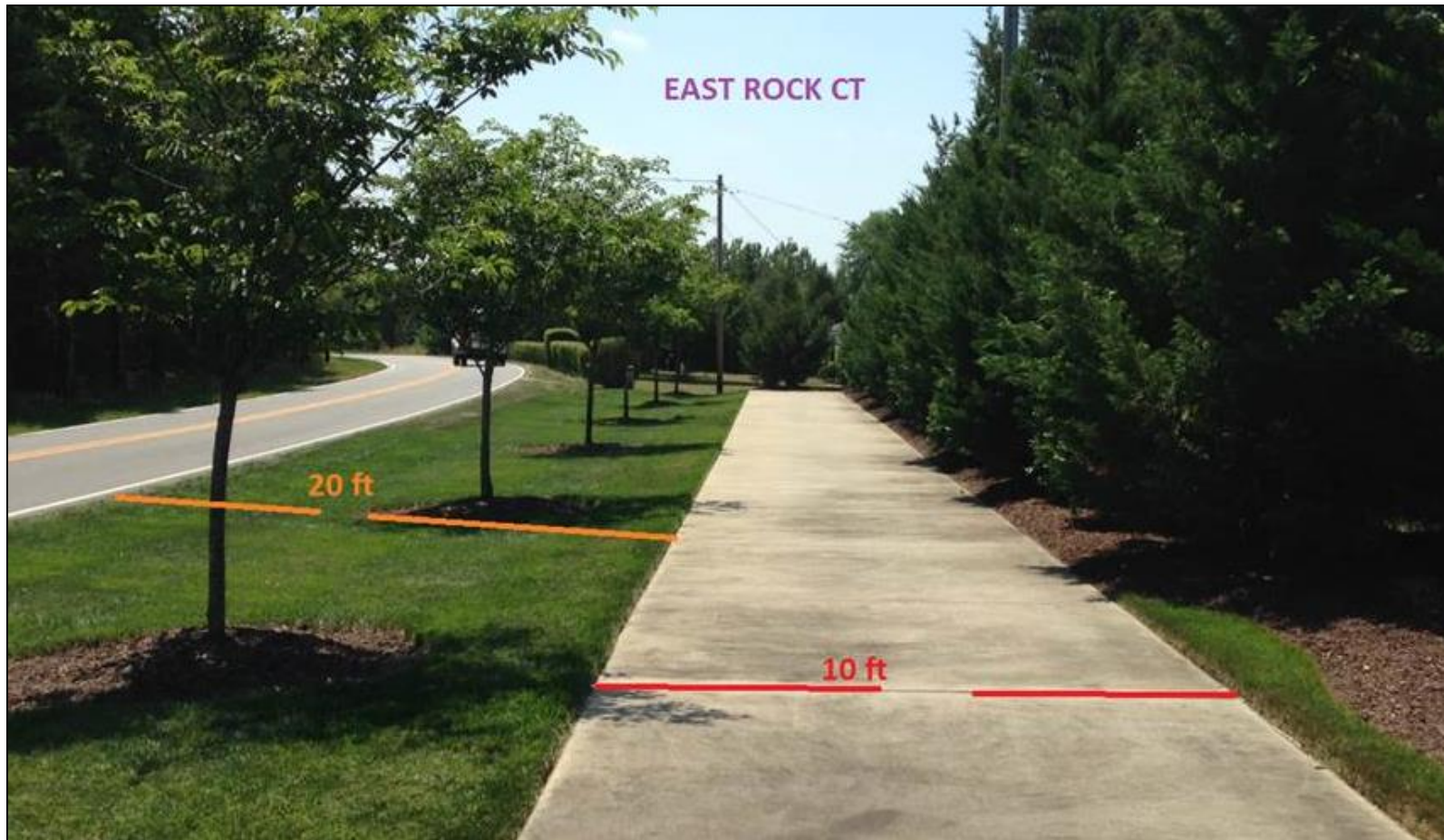


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REFERENCES- MULTI-USE PATH

Existing Path, Rocky River Rd. & East Rock Ct.



REFERENCES- MULTI-USE PATH

Existing Conditions, Rocky River Rd. & Rocky River

