



**TOWN OF DAVIDSON  
DESIGN REVIEW BOARD  
Town Hall Board Room at 216 S Main St, Davidson, NC 28036**

**October 18, 2017**

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**I. CALL TO ORDER**

**II. SILENT ROLL CALL**

**III. CHANGES TO THE AGENDA**

**IV. REVIEW/APPROVAL OF THE MINUTES**

- (a) Minutes 2017 August 16

**V. CONSENT ITEMS**

- (a) Abersham Picnic Shelter

**VI. NEW BUSINESS**

- (a) Gallery Sign
- (b) DCPC Sign
- (c) Tree Removal Request
- (d) Bexley Awnings
- (e) Davidson Bay Mail Kiosk
- (f) Accessory Structure - 105 College Dr
- (g) Accessory Structure - 517 Lorimer Rd
- (h) Davidson Elementary Addition FYI
- (i) Cotton Mill FYI

**VII. ADJOURN**



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**Agenda Title:** Minutes 2017August16

**Summary:**

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**ATTACHMENTS:**

Description	Upload Date	Type
DRAFT Minutes from August 16, 2017	10/11/2017	Exhibit



# Meeting Minutes

## Design Review Board

Town of Davidson, NC  
August 16, 2017

A meeting of the Town of Davidson *Design Review Board* was held in the Town Hall, Administrative Conference Room, 216 S. Main St.

**Call to Order:** 7:00 p.m.

### Silent Roll Call and Determination of Quorum:

Members Present signified by ☒:

☒ Bob Lauer, Chair

☒ Bruce Barteldt

☒ Brian Bumann

☒ John Burgess

☒ Tom Goodwin

☐ Mike Kessler

☒ Bob Sipp

Town Staff Present: Chad Hall (Senior Planner)

Others in Attendance: Ronnie Shirley (Davidson College)

**Changes to the Agenda:** None.

### Review/Approval of the Minutes

A motion was made (TG) to approve meeting minutes of July 19, 2017 as written It was seconded (BS) and the motion was approved unanimously.

**Consent Item:** None

### New Business:

#### 1. Elisabeth Rose – Wall and Sidewalk Sign

Located at 202 South Main Street

Proposed signs (Wall and Sidewalk)

Represented by Elisabeth Connolly

Chad Hall gave a brief introduction of the project, stating materials and colors.

Afterward, Elisabeth Connolly provided any missing info and answered questions from the Board.

Questions/Comments from the Board:

- Are the letters and rose applied to the wall?
  - *EC: Not sure of thickness of letters, but will be off of wall with connectors.*
- Any lighting?
  - *EC: No.*

A motion was made (JB) to approve the signs as submitted and was seconded (BBumann). The motion was approved unanimously.

**2. The Hub at 210 Delburg – Wall Signs (excess of 24 square feet)**

Located at 210 Delburg Street

Proposed wall signs in excess of 24 square feet

Represented by Ronnie Shirley (Davidson College)

Before reviewing this case, a motion was made (JB) and seconded (BS) to recuse Bob Lauer from the Board and that Tom Goodwin should be Chair in the absence of Bruce Barteldt. The motion was approved.

Chad Hall gave a brief overview of the project, stating that there are three areas for the signage:

Flanking main door fronting Delburg Street

Trio of signs adverting tenants fronting Delburg Street

Wall sign above building directory on east elevation

A motion was made (BS) to approve the signs as submitted and was seconded (BBumann). The motion was approved unanimously.

After reviewing this case, a motion was made (JB) and seconded (BBumann) to have Bob Lauer rejoin the Board. The motion was approved.

**Old Business:** None.

**Other Items:**

**1. Town Board Update (August 22 @ 6:00PM)**

The Town Board would like an update at the August 22 meeting, preferably from the chair. Chad had highlighted a few projects; the DRB provided others for consideration. Bob will attend.

**Adjourn:** A motion was made to adjourn (BBarteldt), seconded (BL), and approved unanimously. The meeting was adjourned at 7:18 pm.

**Approval of Minutes:**

Date: \_\_\_\_\_ By: \_\_\_\_\_

**Please note: This is a summary of the meeting and not to be considered a complete transcript.**



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**Agenda Title:** Abersham Picnic Shelter

**Summary:**

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**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
<input type="checkbox"/> Staff Analysis	10/11/2017	Presentation
<input type="checkbox"/> Application	10/11/2017	Exhibit
<input type="checkbox"/> Shelter Design	10/11/2017	Exhibit
<input type="checkbox"/> Color Chart	10/11/2017	Exhibit

**Town of Davidson, NC  
Design Review Board: Staff Analysis  
Project Manager: Chad Hall  
October 18, 2017**

**Project:** Picnic Shelter  
**Location:** 18559 Abersham Drive (Abersham Park)  
**Applicant:** Mecklenburg County (Alicia Rocco)  
**Designer:** (Prefabricated)  
**Planning Area:** Rural Reserve Planning Area

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The applicant proposes a one story civic building (picnic shelter) off of Abersham Drive in Abersham Park (AKA Alison Farm Regional Park). The picnic shelter is a medium-sized prefabricated shelter commonly installed for Parks and Recreation in Mecklenburg County.

The shelter is approximately 22'x31' (682 square feet). It features stone wrapped steel columns and a metal roof atop tongue-and-groove roof decking. Roof color is indicated as being a dark green, either Evergreen or Hartford Green.

**DAVIDSON PLANNING ORDINANCE:**

**4.5 SPECIFIC BUILDING TYPE REQUIREMENTS**

**Section 4.5.1 Standards**

*Institutional buildings are typically used for public or semi-public purposes. These buildings must be designed appropriately to fit within neighborhoods as integral parts of the community. Institutional buildings serve as places of assembly. They have a sense of prominence within their respective neighborhoods. Their uses may include churches, libraries, post offices, and schools. All institutional buildings are subject to the Individual Building process and Design Review Board approval.*

*A. The scale and architectural sophistication of these buildings should support their civic importance and complement Davidson's existing civic buildings.*

**4.4 GENERAL BUILDING DESIGN STANDARDS**

**Section 4.4.1 Standards**

**C. Facade Articulation**

*All building facades visible from a public street or park/open space shall have:*

- 1. A recognizable base, distinguished from the body of the building by features such as, but not limited to:
  - a. Thicker walls, ledges or sills;*
  - b. Visually heavier materials (such as brick, stone, tile or other masonry) than those used on the body of the building; and/or*
  - c. Lighter or darker colored materials, mullions, panels or planters.**
- 2. A recognizable top, occupying the highest portion of the building and distinguished from the body of the building by features such as, but not limited to:*

- a. A dimensional cornice capping the top of a building wall;*
- b. Different materials or differently colored materials; and/or*
- c. A roof overhang with brackets.*

*E. Materials*

- 1. Materials shall be selected for suitability to the type of building and design for which they are used.*
- 3. All sides of the building should use materials consistent with those on the front if visible from public streets or neighboring properties, and should be carefully designed with similar detailing, comparable quality, and compatible materials.*
- 4. Building materials and colors shall be:*
  - a. Complementary to the materials already being used in the neighborhood, or*
  - b. If dissimilar materials are being proposed, other characteristics such as scale, proportion, form, architectural detailing, color, and texture shall be used to ensure that the building relates to the rest of the neighborhood.*

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T:\Planning\_Shared\_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2017 DRB Agendas\20171018\_DRB Agenda\Alison Farm Park-rec shelter\20171011\_Abersham Picnic Shelter\_Staff Analysis.doc



# Design Review

Abersham Park - Picnic Shelter

(Name of Project)

## Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.



### Planning Ordinance

<http://www.townofdavidson.org/1006/Planning-Ordinance>

(Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)



### Section 2 Planning Areas



Permitted Use/Add'l Req.



Not Permitted



Permitted Building Type



Not Permitted



Meets Setback Criteria



Does Not Meet



Meets Open Space Criteria



Does Not Meet



Meets Density Criteria



Does Not Meet



### Section 4 Design Standards



General Site Design Criteria (4.3)



General Building Design Criteria (4.4)



Specific Building Type Criteria (4.5)



Existing Industrial Campuses Criteria (4.6)



Renovation of Existing Structures Criteria (4.7)



### Section 8 Parking & Driveways



### Section 9 Tree Preservation, Landscaping & Screening



### Section 10 Lighting



### Section 22 Local Historic District Guidelines



# Design Review

Abersham Park - Picnic Shelter

(Name of Project)

## Development Process

Date Completed	Outline of Steps & Checklist
_____	<input type="checkbox"/> 1. Initial Meeting
_____	<input type="checkbox"/> 2. Application and Fee
_____	<input type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
_____	<input type="checkbox"/> 4. Planning Director Site Schematic Design Review
_____	<input type="checkbox"/> 5. Design Review Board Approval
_____	<input checked="" type="checkbox"/> 6. Building Construction Documents
_____	<input checked="" type="checkbox"/> 7. Site and Landscape Construction Documents
_____	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
_____	<input type="checkbox"/> 9. Building Permit Approval
_____	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
_____	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
_____	<input type="checkbox"/> 12. Certificate of Occupancy

*\* For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*



# Design Review

Abersham Park - Picnic Shelter

(Name of Project)

## Application Requirements

### Date Received

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

- ☐ Application Fee per Town of Davidson Fee Schedule
- ☒ Contact Information
- ☒ General Statement of Intent  
(Use, building type, approx. square footage, height, design features)
- ☐ Statement of Compliance with Section 2
- ☐ Master Plan or Conditional Planning Area  
(Including all documents, plans, maps, and conditions of approval)
- ☐ Environmental Inventory in accordance with Section 14.15.1  
(Including adjacent properties and buildings)
- ☐ General Description  
(Including a description and color photographs to existing / adjacent site)
- ☐ Site Schematic Design in accordance with Section 14.15.7
- ☐ Building Schematic Design in accordance with Section 14.15.3  
(Including rendered elevations of each façade per 14.15.3 C)
- ☐ Landscape Schematic Design in accordance with Section 14.15.5
- ☐ Building Perspective
- ☐ Building Materials/Colors  
(Roofing, siding, doors, windows, etc.)

*As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.*

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Date





## Design Review

Abersham Park - Picnic Shelter

(Name of Project)

### Contact Information

#### Applicant's Information

Name: Alicia Rocco - Meck County Asset and Facility Management

E-Mail: Alicia.Rocco@mecklenburgcountync.gov

Mailing Address: 3205 Freedom Drive, Suite 101

Charlotte, NC 28208

Business Phone: 980-314-2501 Mobile Phone: 704-301-1165

#### Property Owner's Information

(If Different from Applicant)

Name: Same as above

E-Mail: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Business Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_

#### Architect's Information

Name of Firm: Wirth & Associates, INC.

Architect's Name: Gary Wirth

E-Mail: gwirth@wirthassociates.com

Mailing Address: 1230 W. Morehead Street, Suite 212

Charlotte, NC 28208

Business Phone: 704-375-1588 Mobile Phone: \_\_\_\_\_



# Design Review

Abersham Park - Picnic Shelter  
(Name of Project)

## Project Description

Application Date: \_\_\_\_\_

Project Location: \_\_\_\_\_

18559 Abersham Dr, Davidson, NC 28036

Tax Parcel(s): \_\_\_\_\_

00304 103

Planning Area: \_\_\_\_\_

Rural Area Plan

Overlay District: \_\_\_\_\_

Master or Cond. Plan

(Attach Conditions of Approval)

Gen. Statement of  
Intent: \_\_\_\_\_

pre-fabricated metal picnic shelter

### Project Details:

• Project Type:



Individual Bldg.



Master Plan



Conditional Planning Area



Sign

• Building Type:



Detached House



Townhouse



Attached House (Tri- or Quadplex)



Institutional



Live/Work



Multi-family (Apts., Condos, Flats)



Workplace



Storefront



Accessory Structure

• Use(s): \_\_\_\_\_

picnic shelter

• Height & Stories: \_\_\_\_\_

14', 1 story

• Square Footage: \_\_\_\_\_

917 SF

• Building Materials: \_\_\_\_\_

metal and stone

Architectural  
Features: \_\_\_\_\_

Mecklenburg County Standard pre-fabricated picnic  
shelter with stone columns added - see plans.

Existing Site  
Conditions: \_\_\_\_\_

see plans

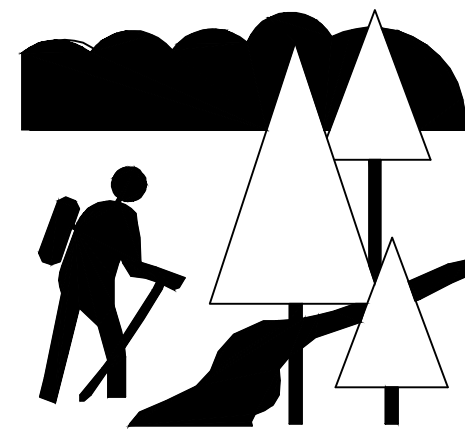
See 14.12.2.D



# Abersham Park - Picnic Shelter

18621 ABERSHAM DRIVE  
DAVIDSON, NORTH CAROLINA 28036

PREPARED FOR:



The Natural Place  
To Be...

Mecklenburg County  
Park and Recreation

PREPARED BY:



Wirth & Associates

LANDSCAPE ARCHITECTS AND LAND PLANNERS

1230 W. Morehead St. Suite 212

Charlotte, NC 28208

Phone: 704-375-1588 Fax: 704-375-3844

Email: gwirth@wirthassociates.com

DRAWINGS ISSUED:

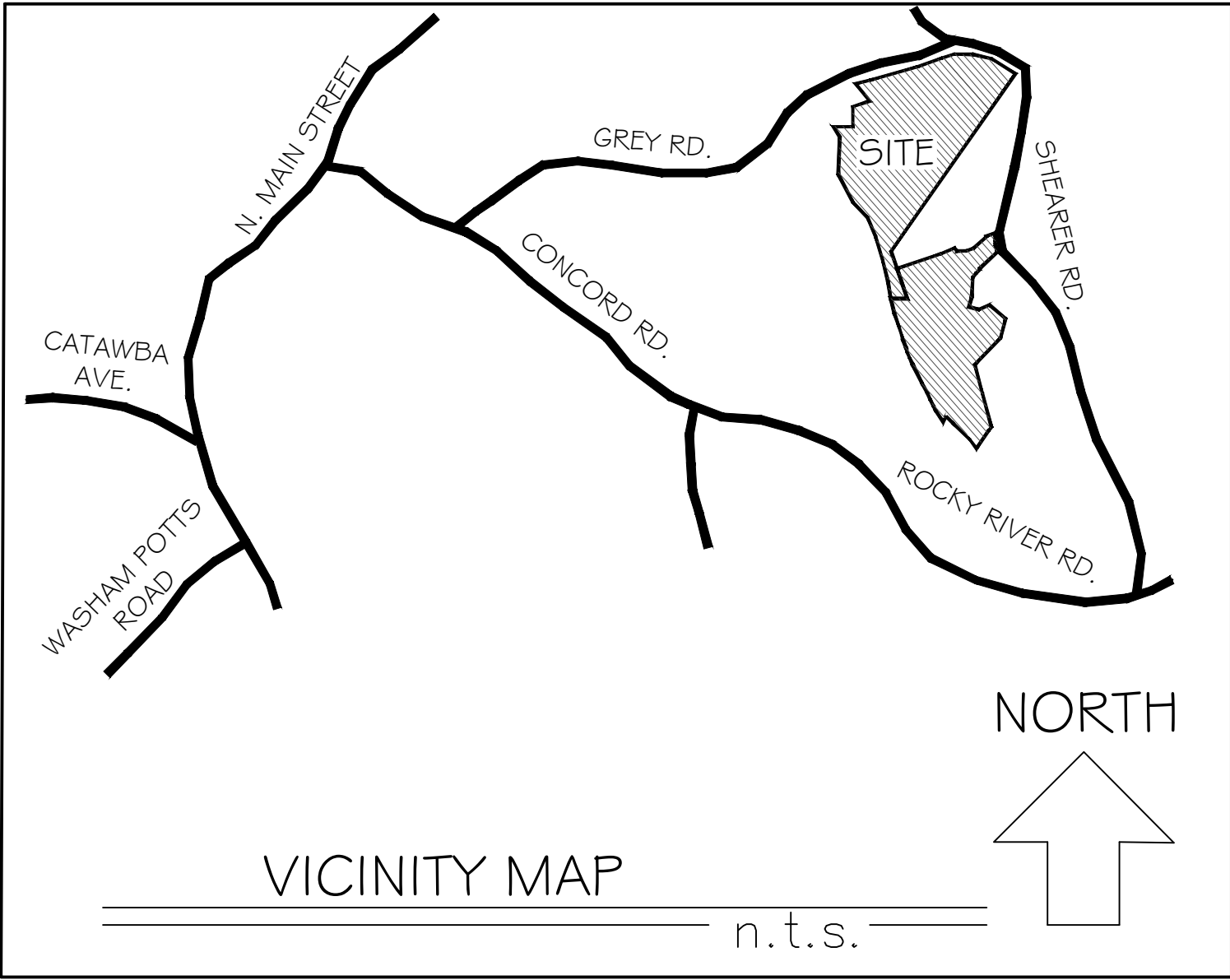
9.15.2017

100% CONSTRUCTION  
DRAWINGS - PERMIT SET

DRAWINGS REVISED:

## DRAWING LIST

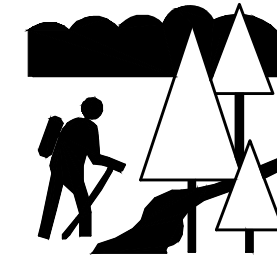
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L-1	OVERALL SITE PLAN
L-2	SITE PLAN
L-3	GRADING PLAN
L-4	PLANTING PLAN
A-1	MEDIUM SHELTER PLAN VIEW
A-2	MEDIUM SHELTER SECTIONS
A-3	STONE COLUMN WRAP DETAILS
A-4	SHELTER DETAILS
1.0	GENERAL INFORMATION, FRAME ELEVATIONS, ANCHOR BOLT LAYOUT
2.0	FRAME CONNECTIONS, T&G ROOF DETAILS AND LAYOUT
3.0	STANDING SEAM ROOF DETAILS AND LAYOUT
4.0	APPENDIX B







PREPARED FOR:



*The Natural Place  
To Be...*  
**Mecklenburg County  
Park and Recreation**

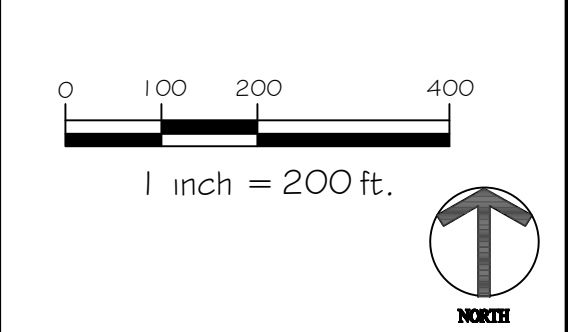
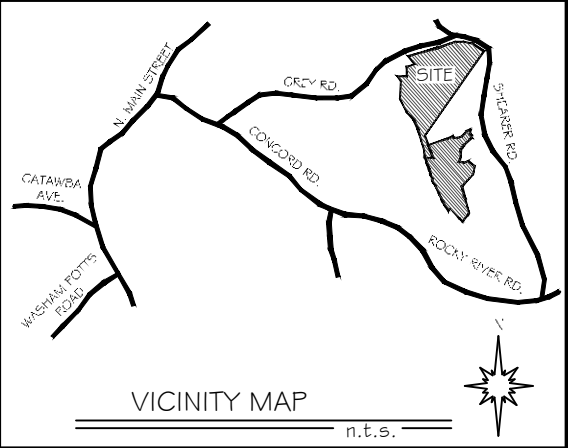
PROJECT:

Abersham Park

Davidson, North Carolina

PREPARED BY:

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LANDSCAPE ARCHITECTS AND LAND PLANNERS  
1230 W. Morehead St. Suite 212  
Charlotte, NC 28208  
Phone: 704-375-1588 Fax: 704-375-3844  
Email: gwirth@wirthassociates.com



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CHECKED BY: \_\_\_\_\_ GNW  
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NO: DATE: DESCRIPTION: BY:

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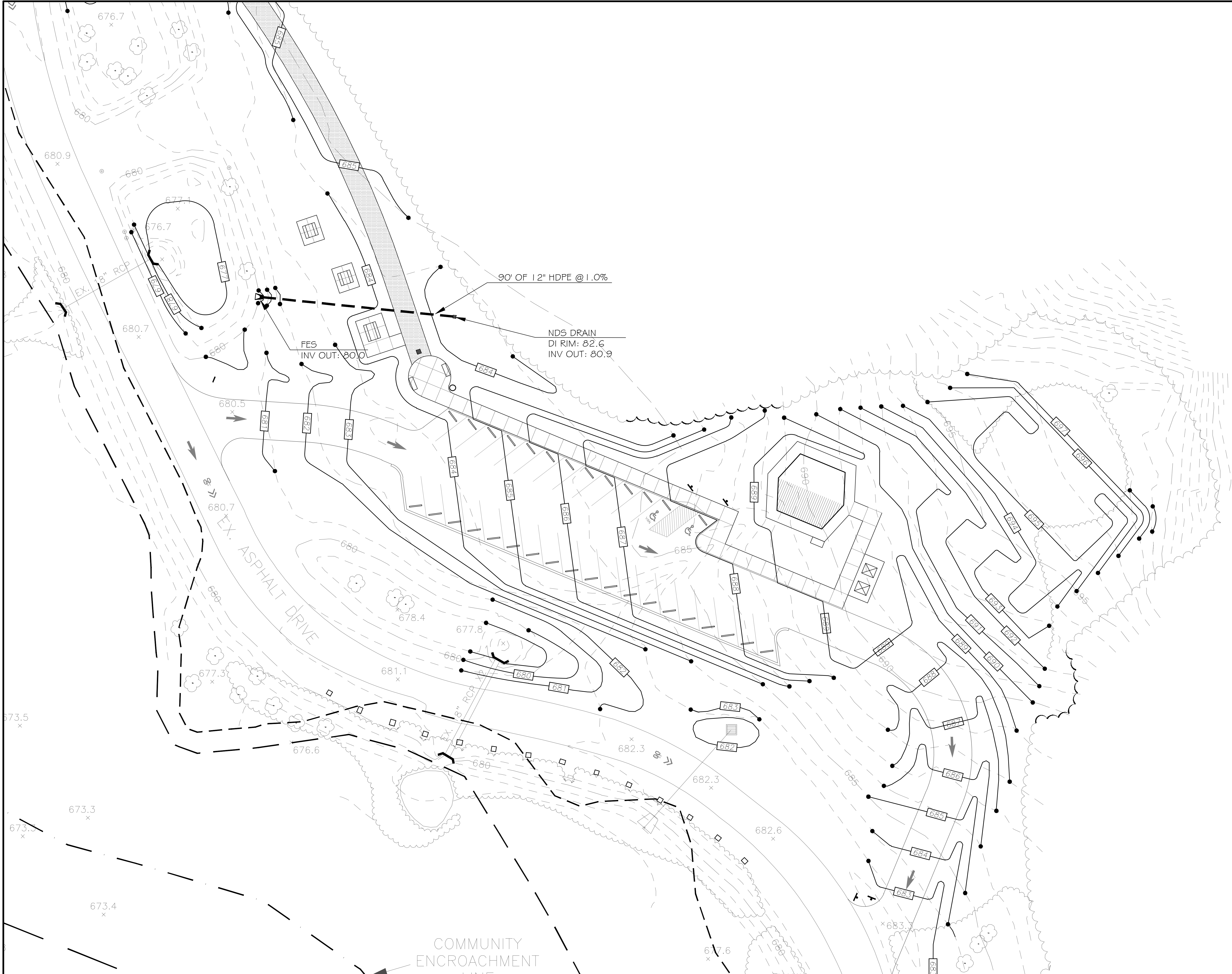
OVERALL  
SITE PLAN

SHEET NO.:

L-1







PREPARED FOR:



*The Natural Place  
To Be...*  
**Mecklenburg County  
Park and Recreation**

PROJECT:

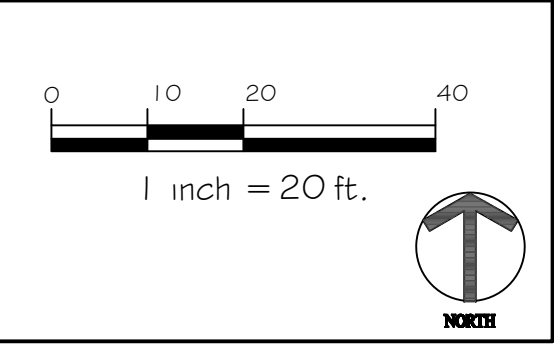
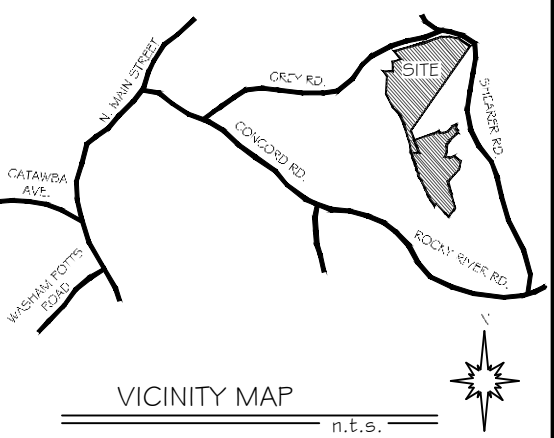
Abersham Park

Davidson, North Carolina

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NO: DATE: DESCRIPTION: BY:

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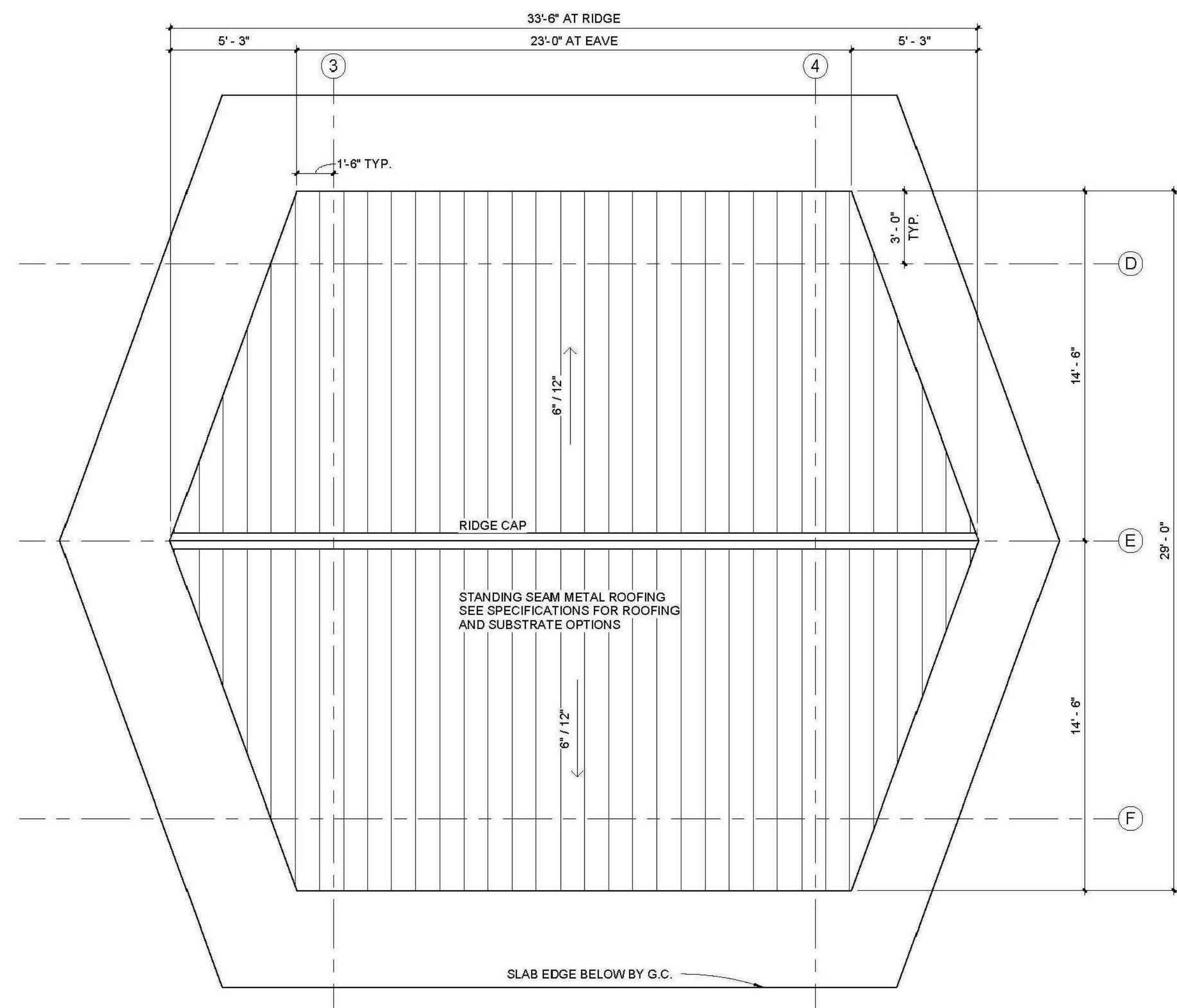
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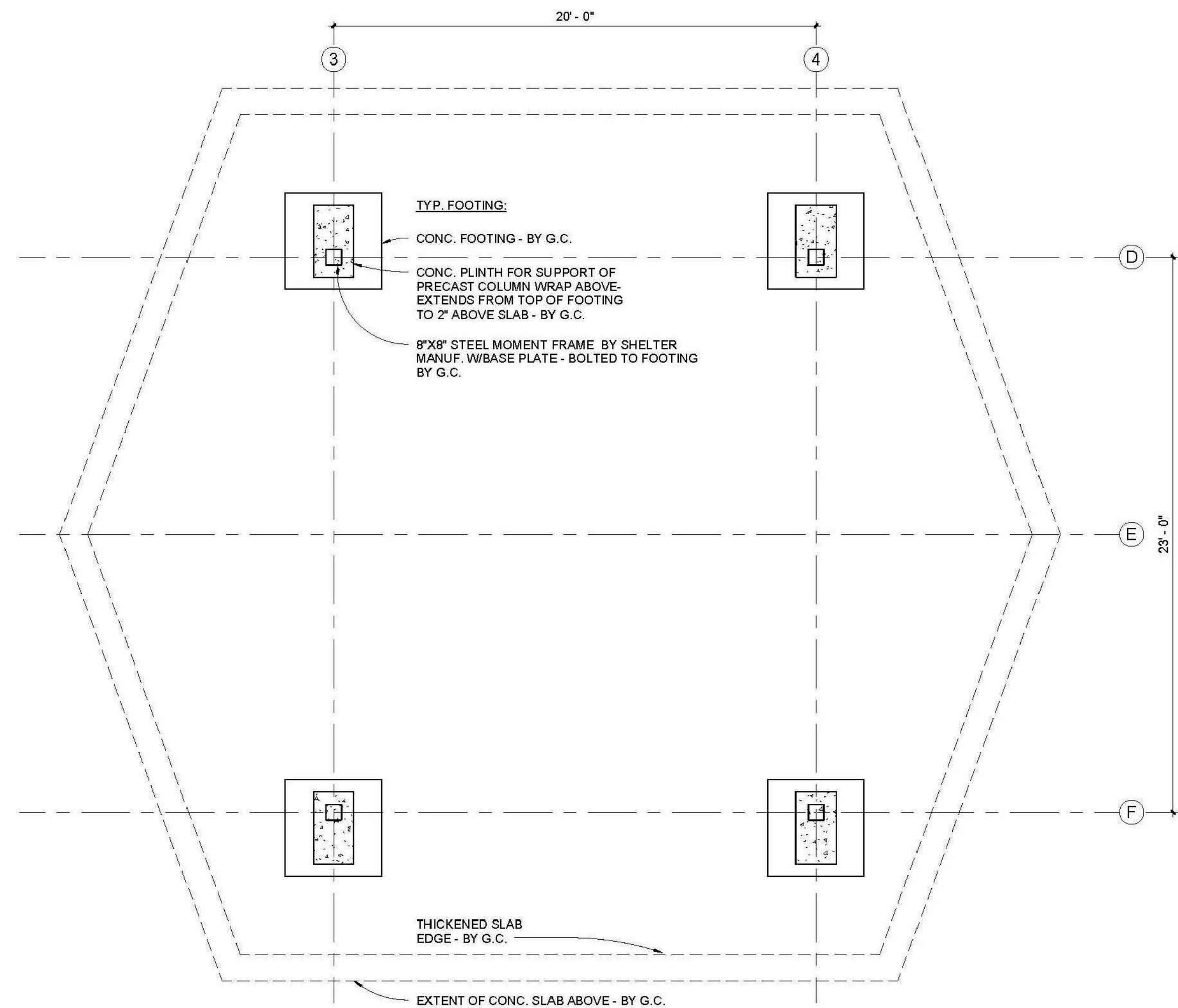
L-3



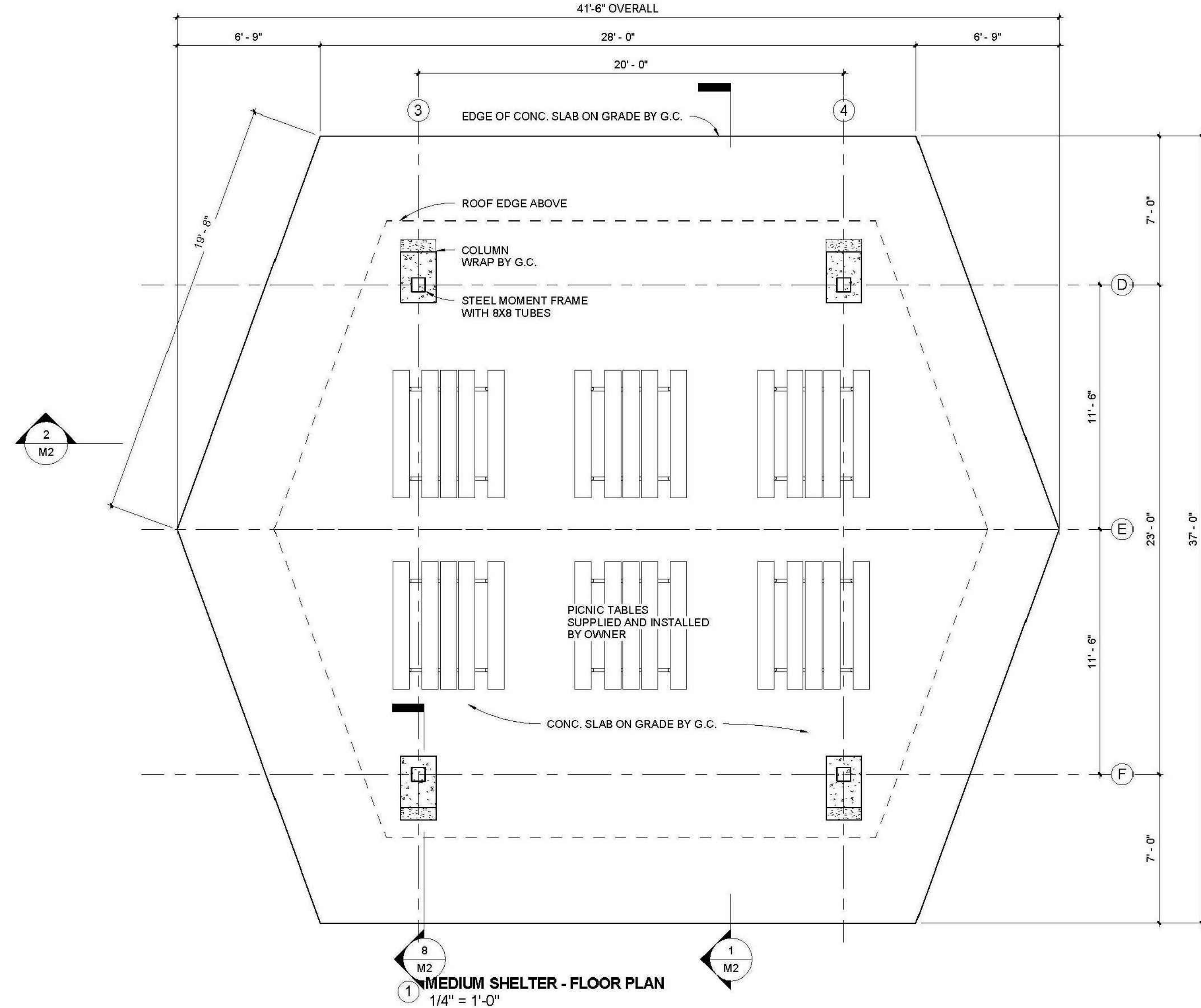
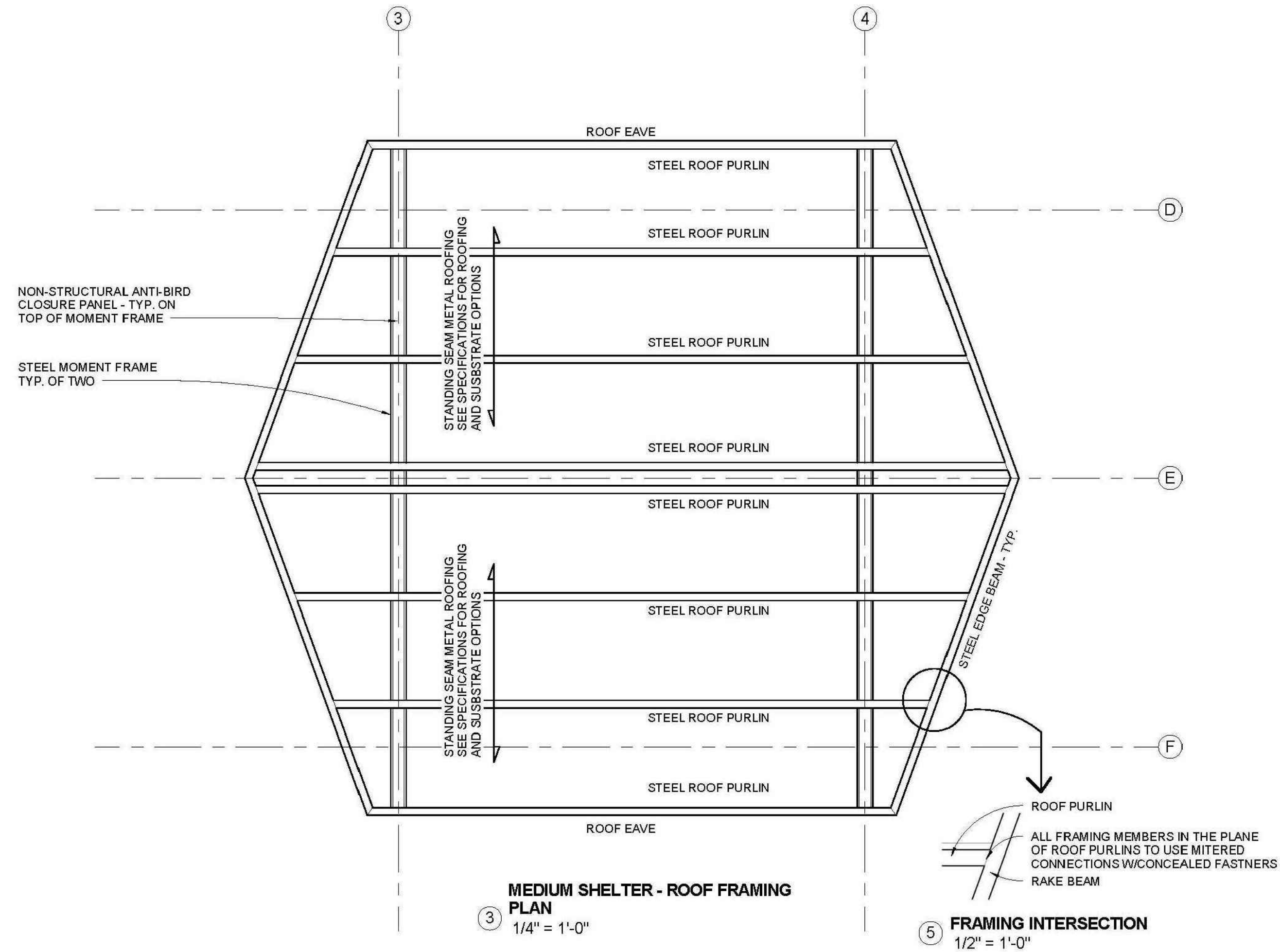




④ MEDIUM SHELTER - ROOF PLAN  
1/4" = 1'-0"



② MEDIUM SHELTER - FOUNDATION PLAN  
1/4" = 1'-0"



PREPARED FOR:



The Natural Place  
To Be...  
Mecklenburg County  
Park and Recreation

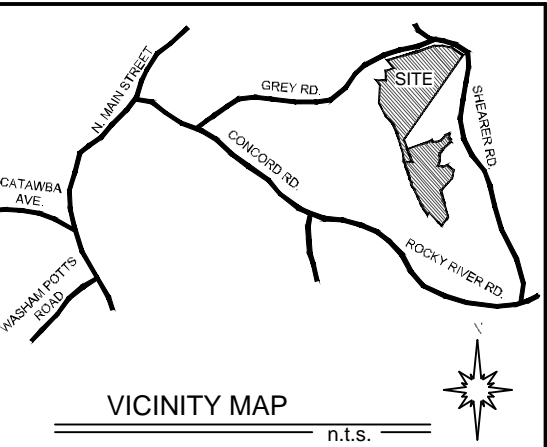
PROJECT:

Abersham Park

Davidson, North Carolina

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Charlotte, NC 28208  
Phone: 704-375-1588 Fax: 704-375-3844  
Email: gw@wirthassociates.com



VICINITY MAP

n.t.s.

1 0 1 2 4  
SCALE: 1/4" = 1'-0"

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CHECKED BY: GNW  
SCALE: SEE SHEET  
DATE: 9.15.2017  
REVISIONS:  
NO: DATE: DESCRIPTION: BY:

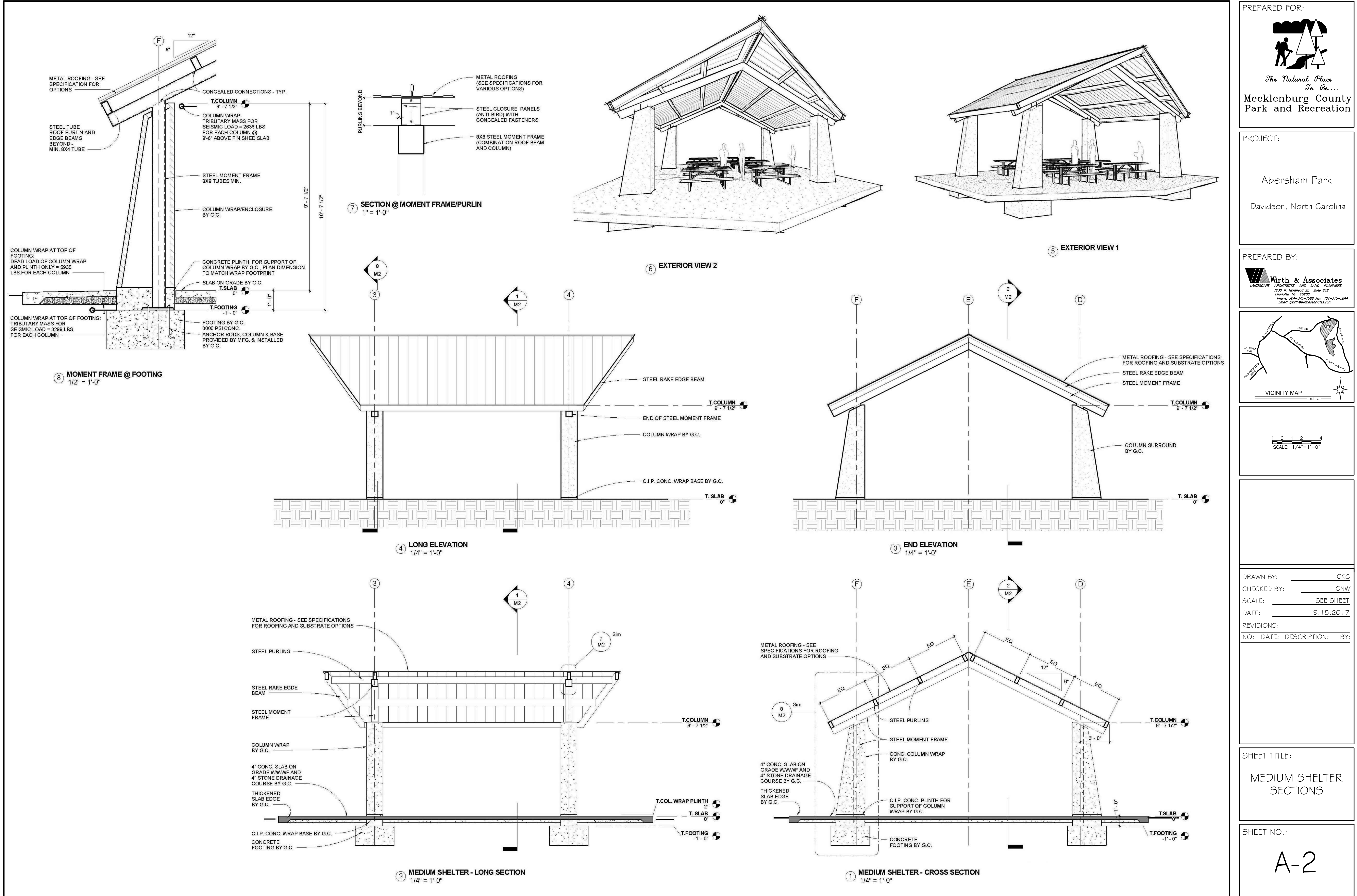
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MEDIUM SHELTER  
PLAN VIEW

SHEET NO.:

A-1





PREPARED FOR:



The Natural Place  
To Be...

Mecklenburg County  
Park and Recreation

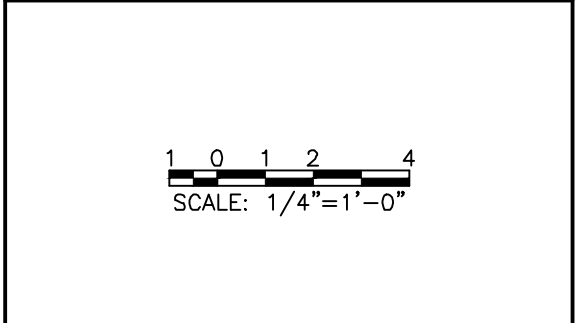
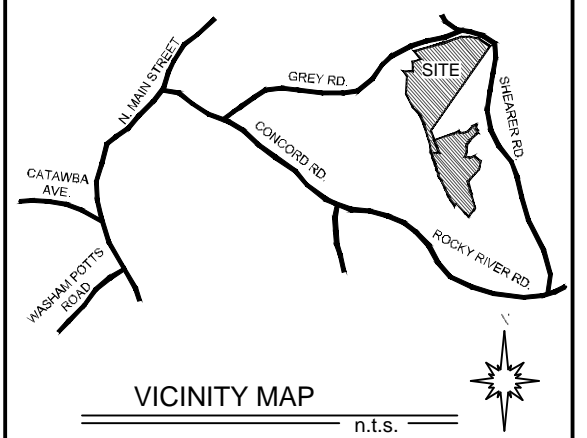
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Email: gwr@wirthassociates.com



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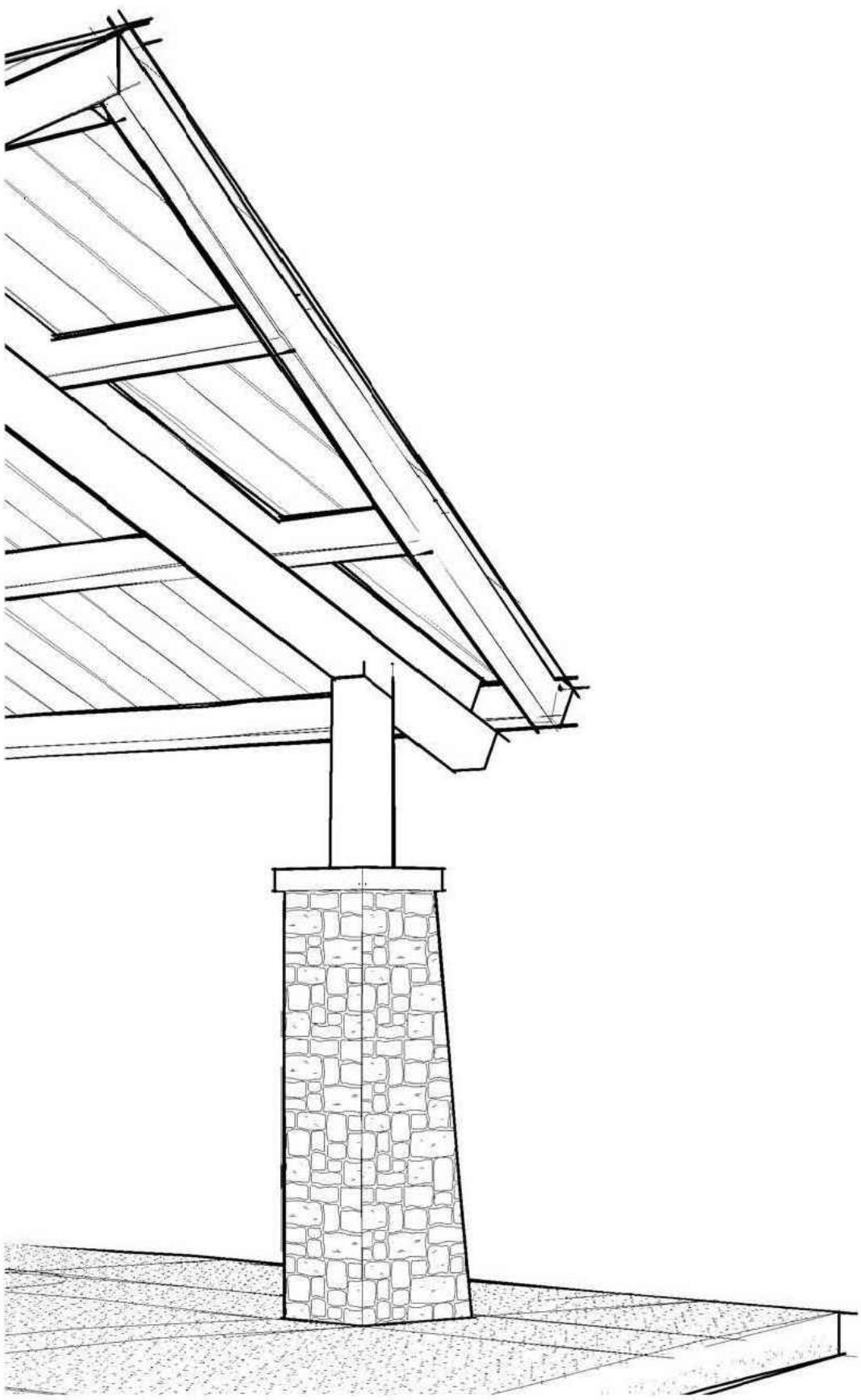
MEDIUM SHELTER  
SECTIONS

SHEET NO.:

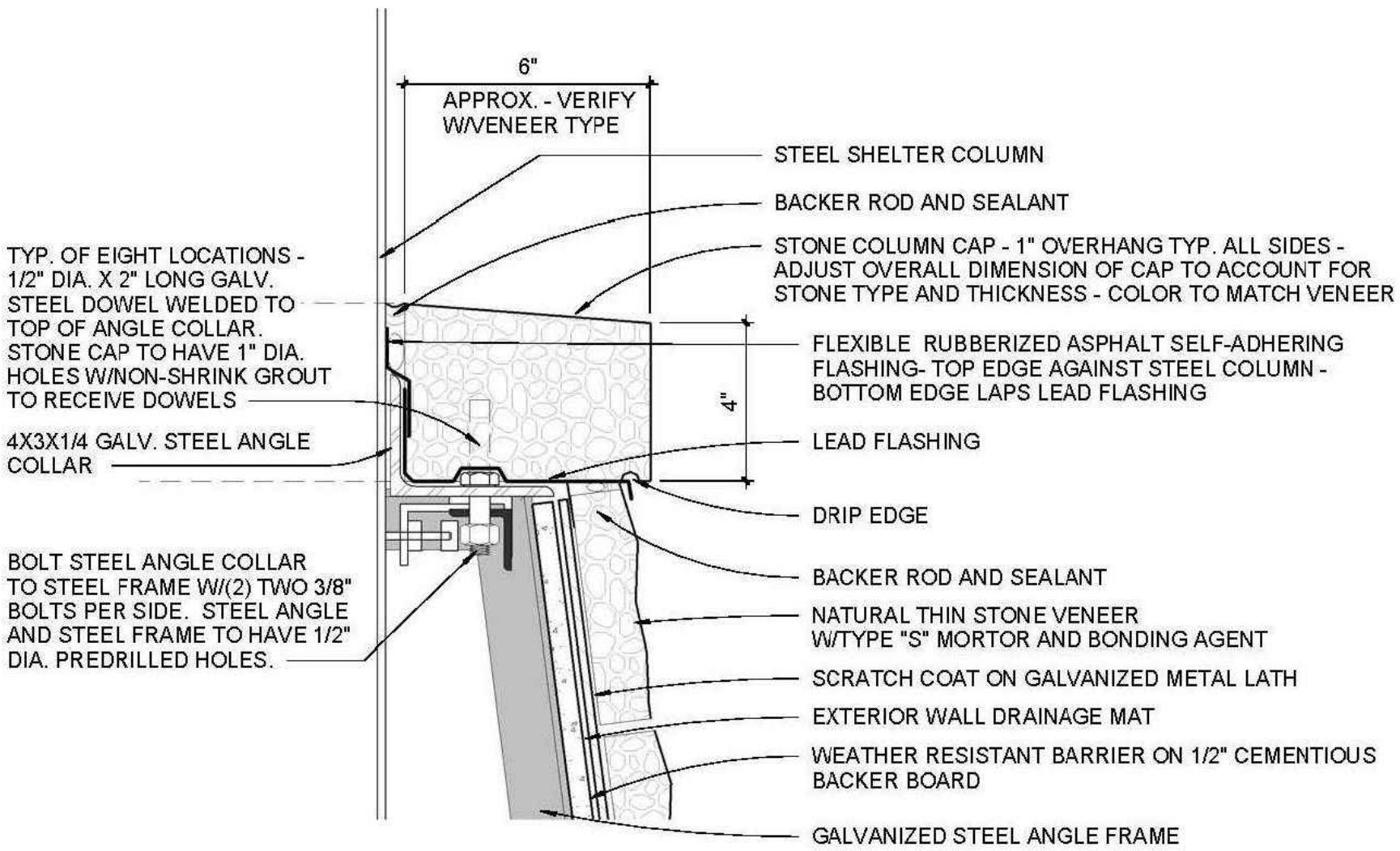
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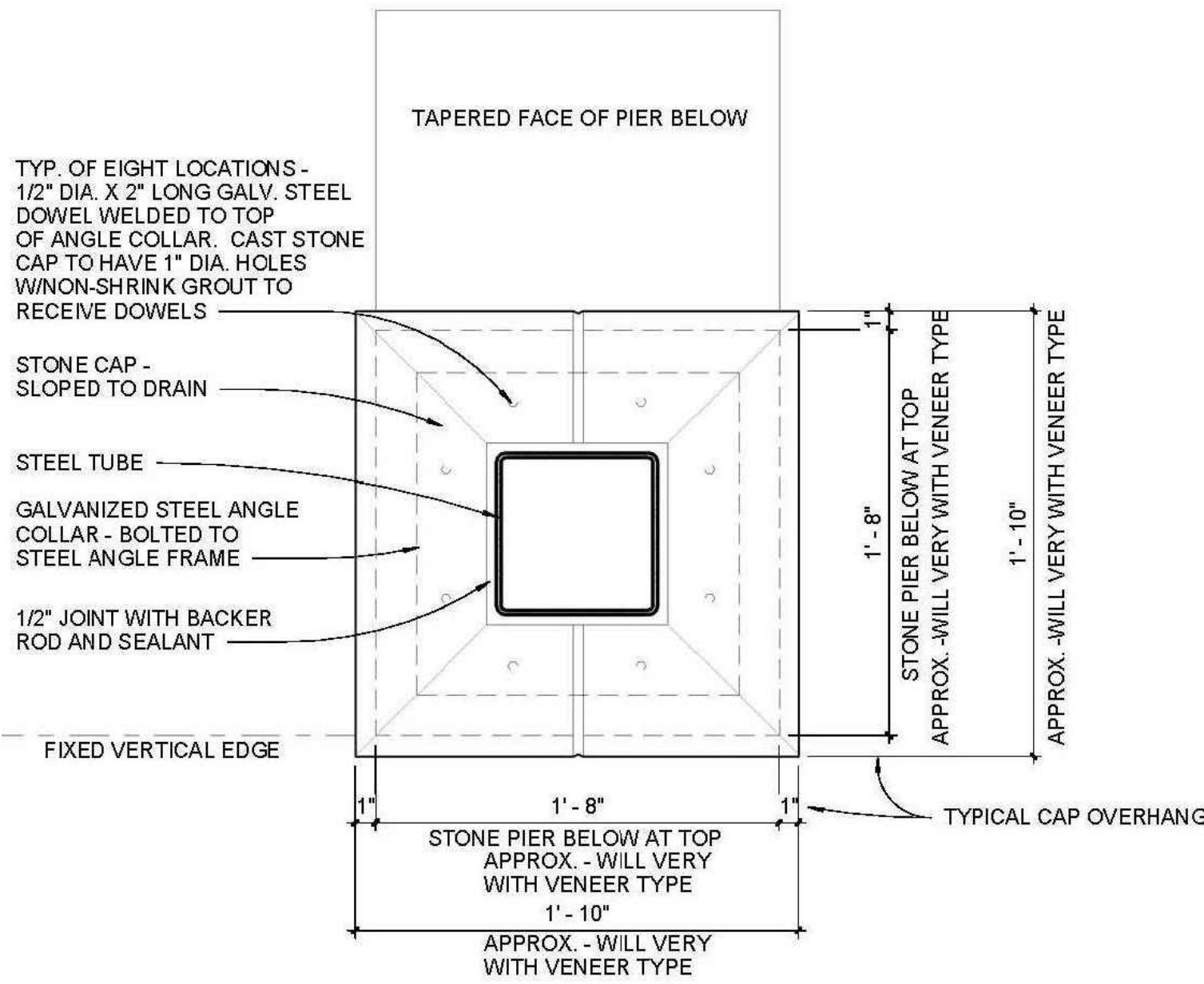
STONE COLUMN  
WRAP DETAILS



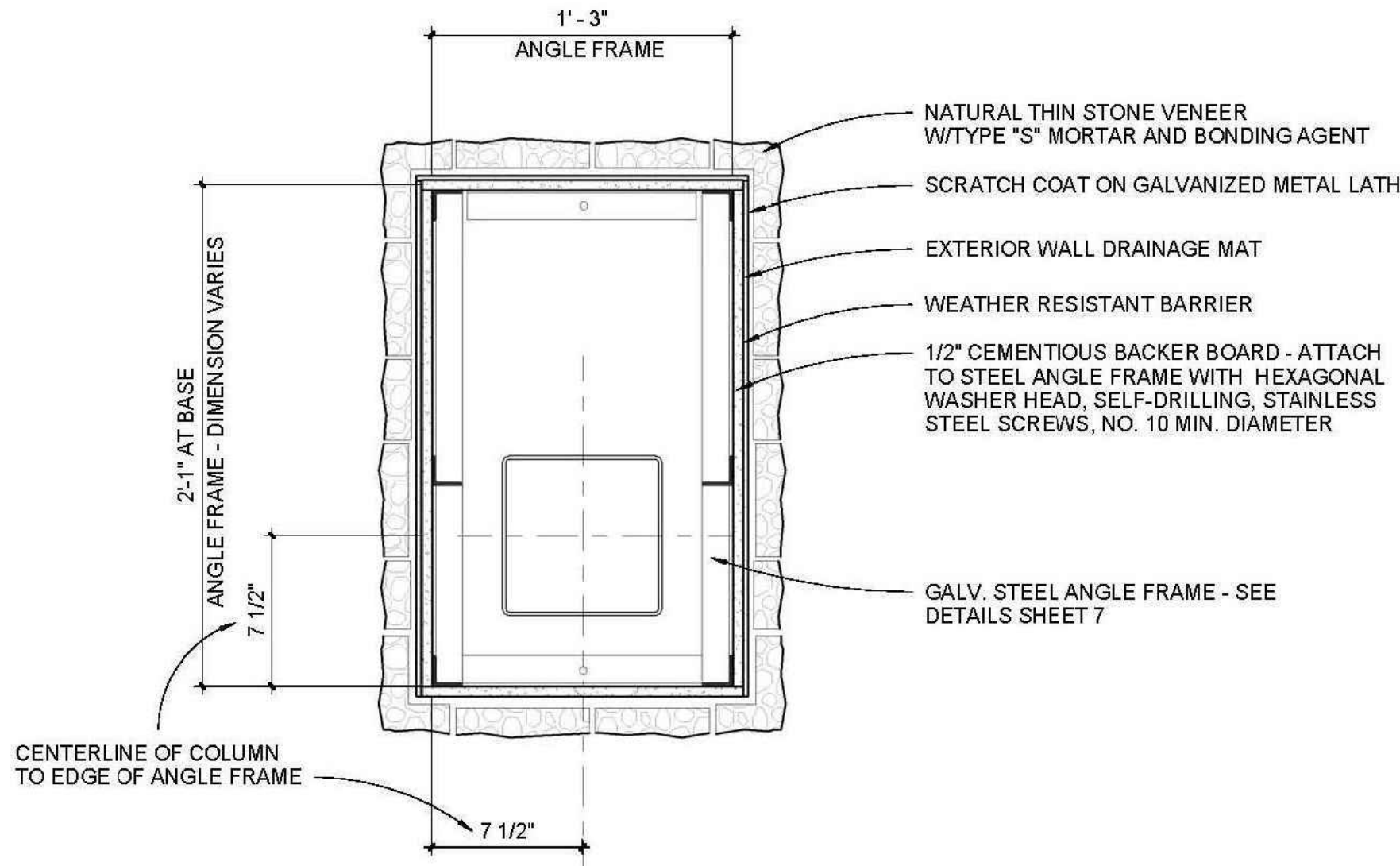
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NTS



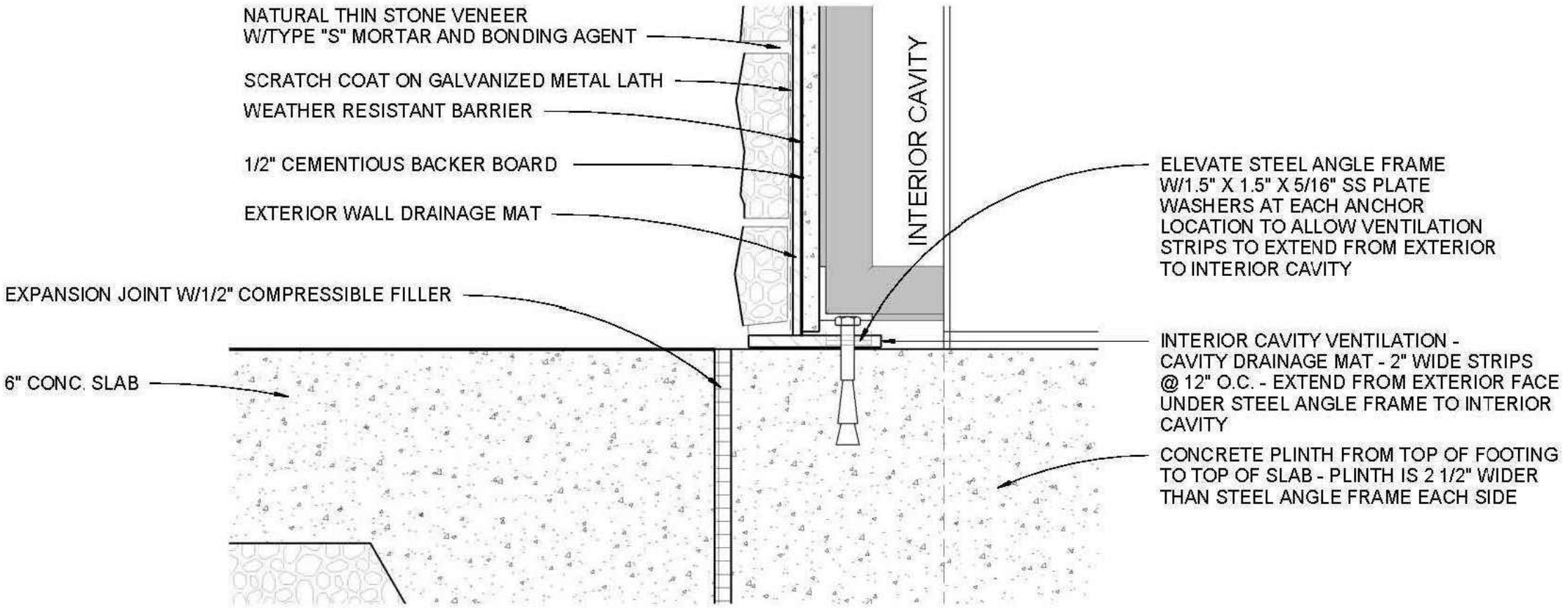
3 STONE COLUMN WRAP CAP  
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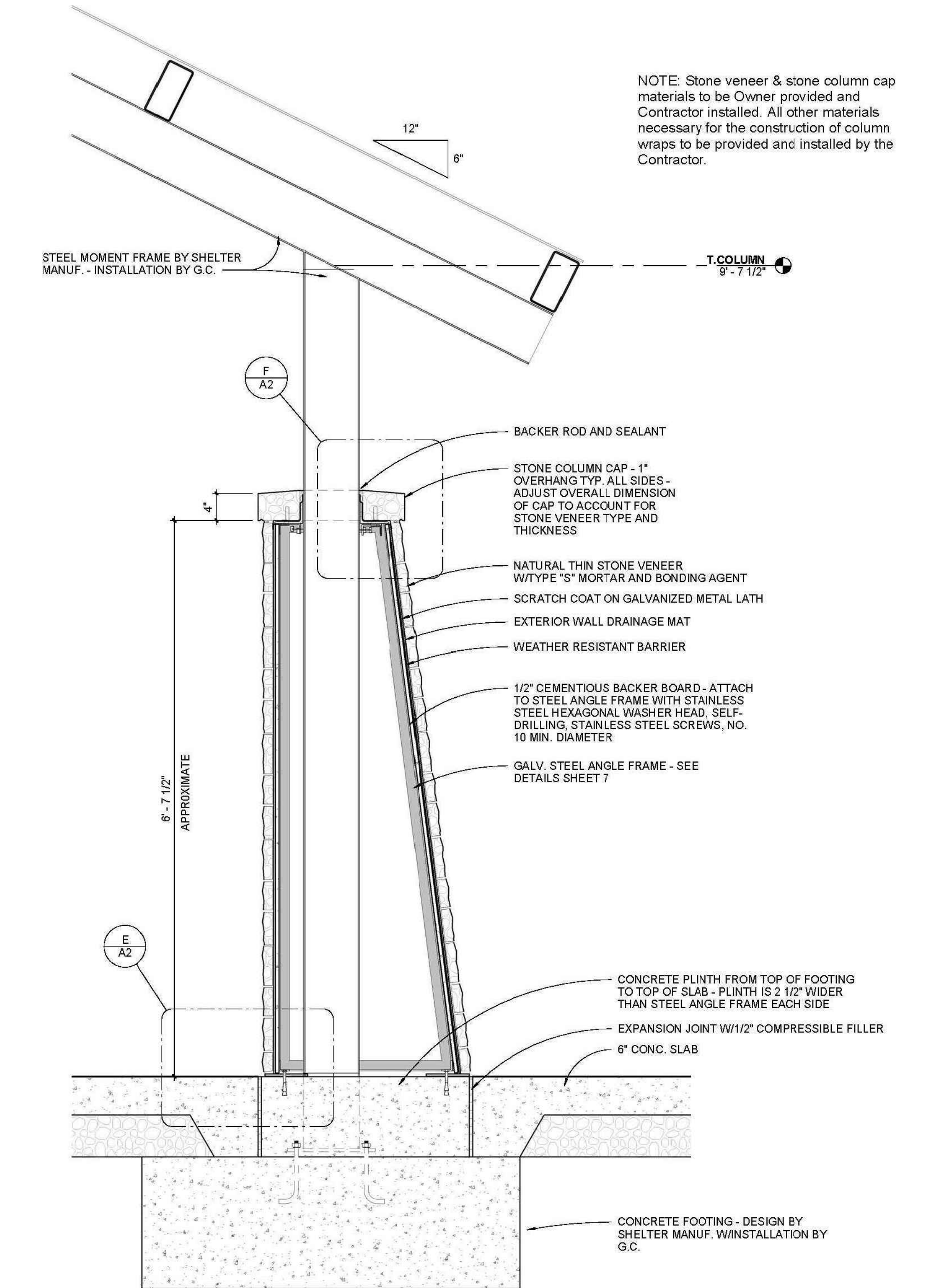
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5 COLUMN WRAP FRAME  
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1 STONE COLUMN WRAP BASE  
NTS



2 STONE COLUMN WRAP SECTION  
NTS

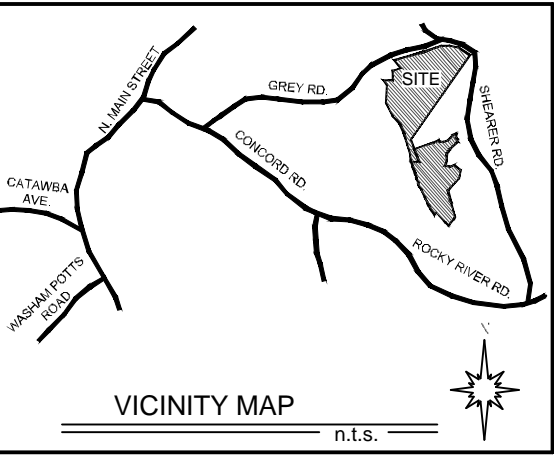
PREPARED FOR:



PROJECT:

Abersham/West  
Branch Rocky River  
Greenway  
Davidson, North Carolina

PREPARED BY:



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DATE: 9.15.2017  
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NO. DATE: DESCRIPTION: BY:

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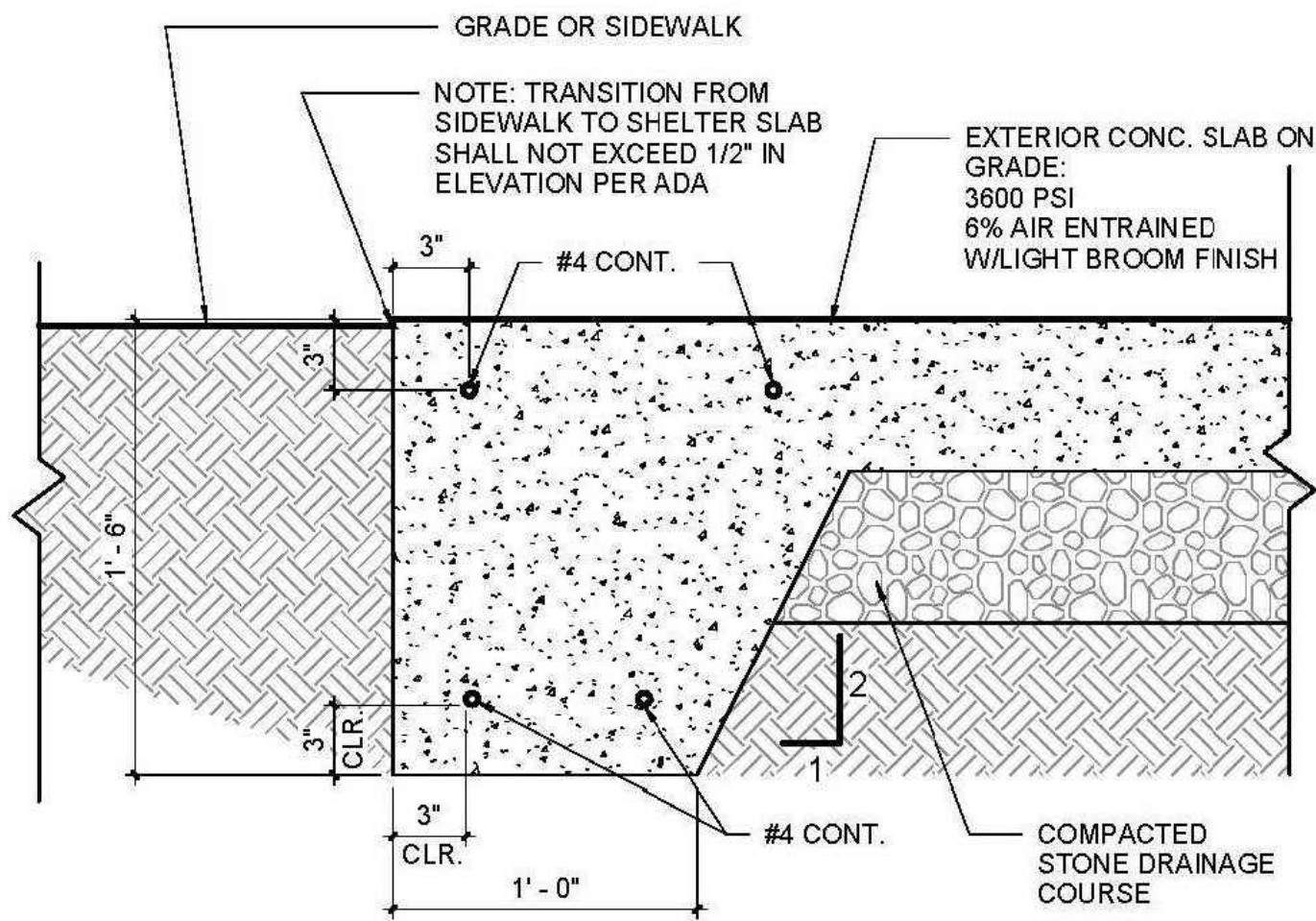
STONE COLUMN  
WRAP DETAILS

SHEET NO.:

A-3

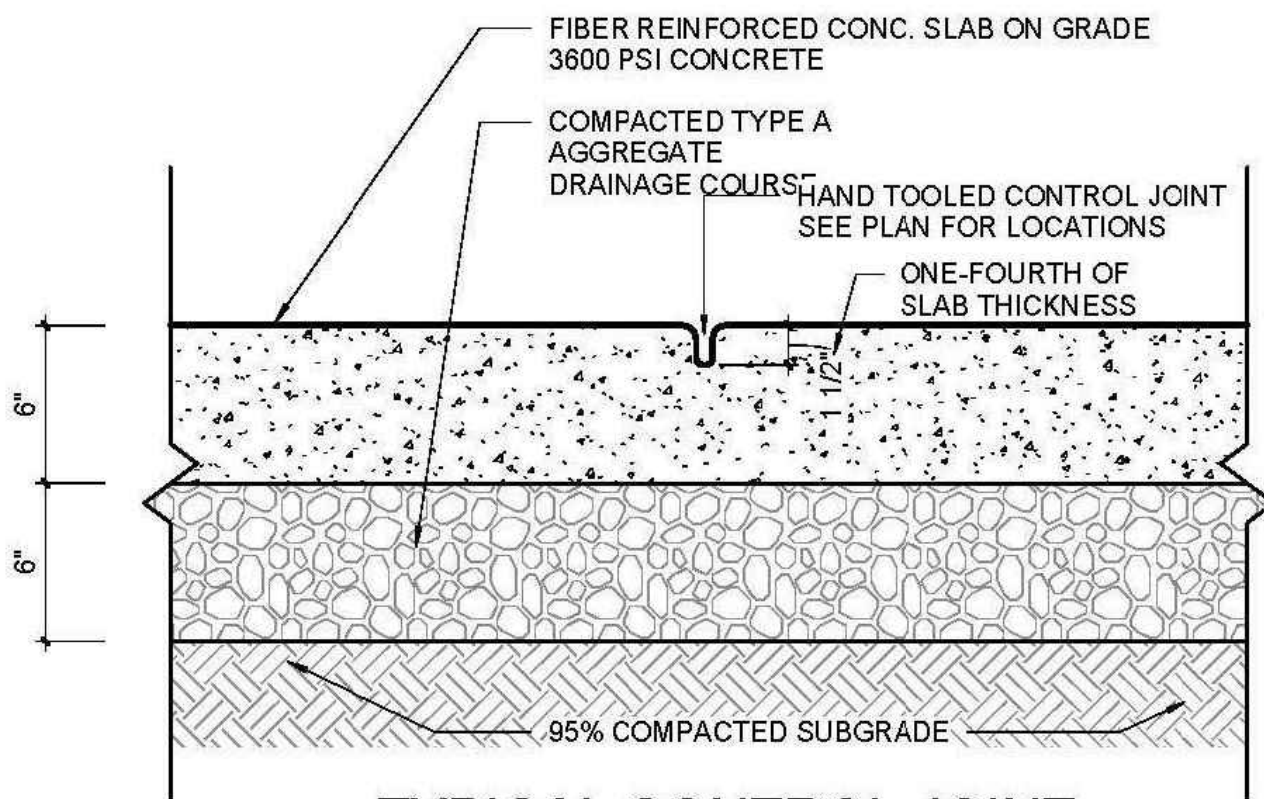


SHELTER SLAB DETAILS

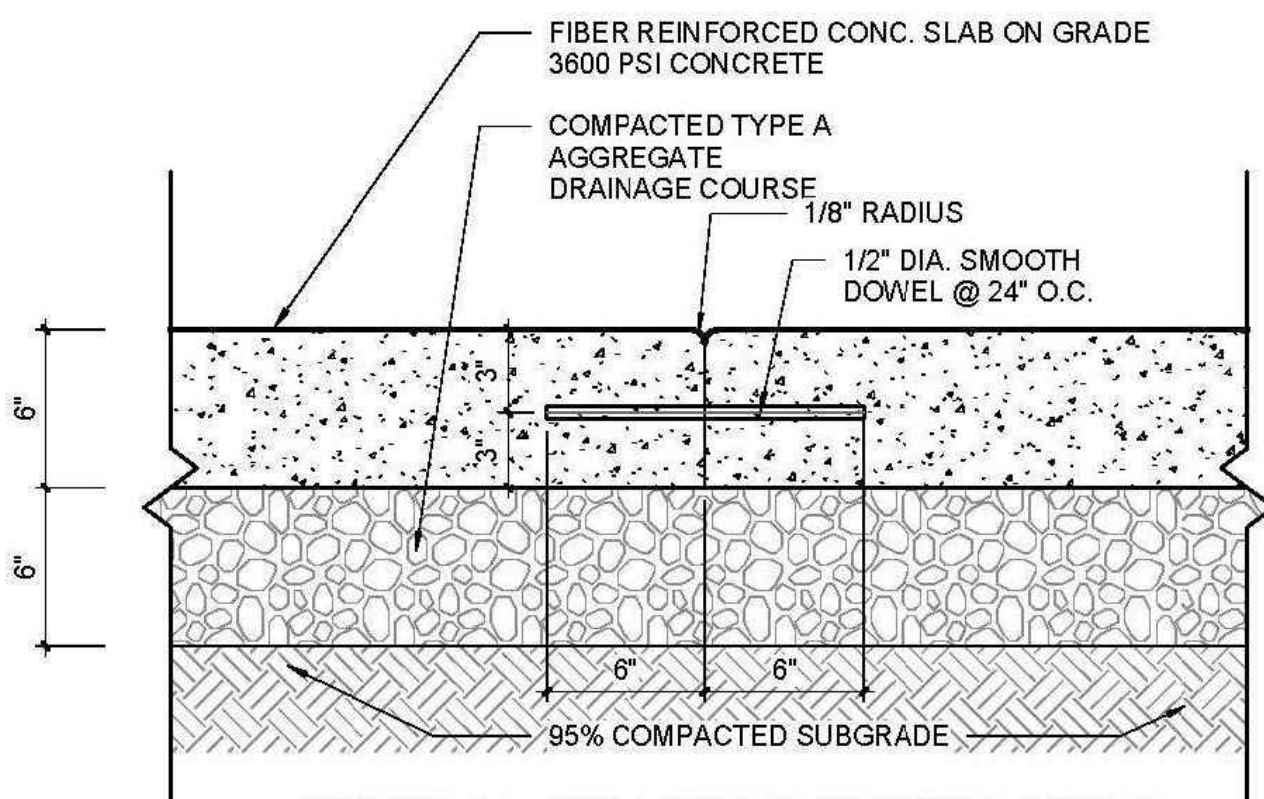


TYPICAL TURN DOWN EDGE

6 TYPICAL EXTERIOR SLAB TURNDOWN EDGE  
NTS

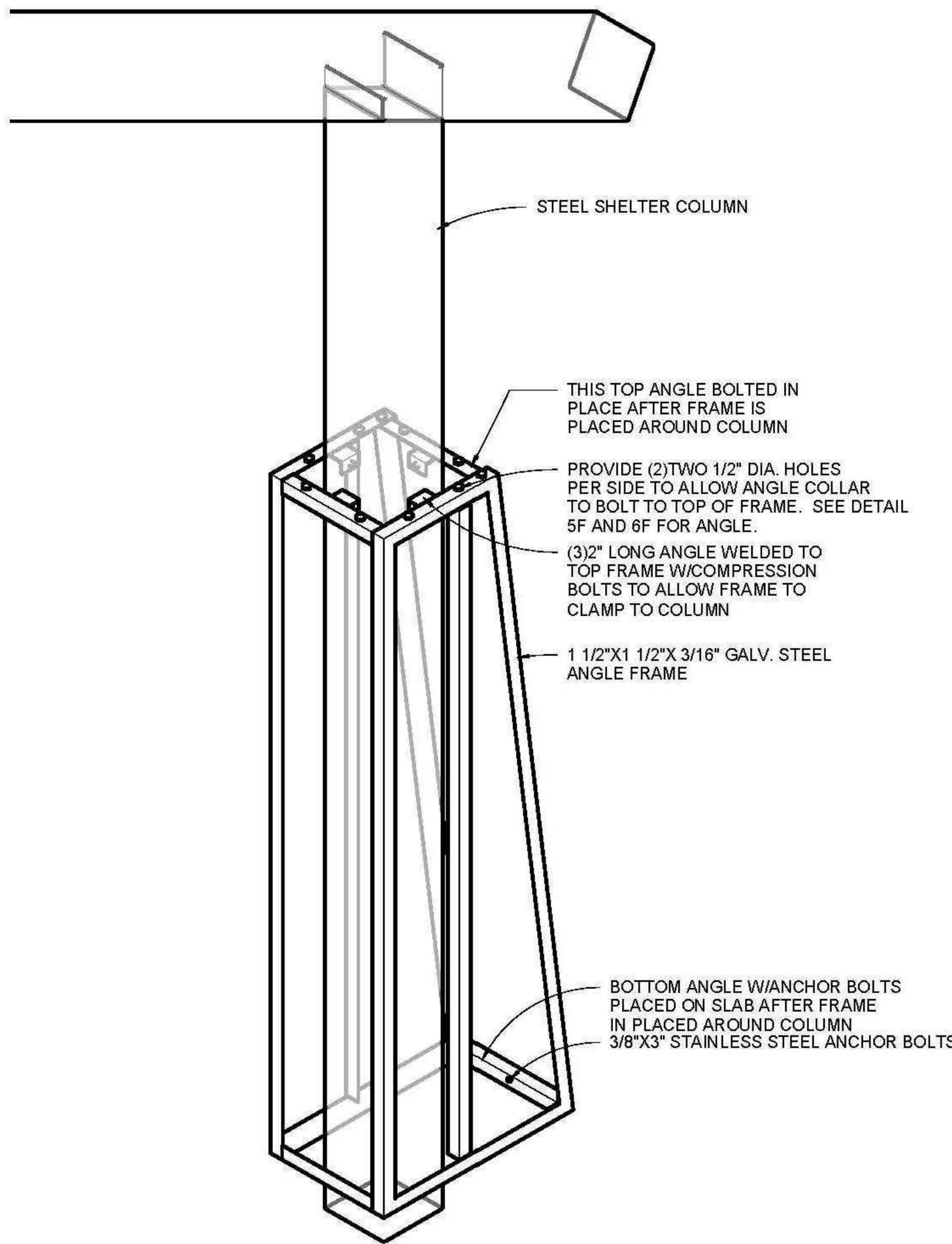


TYPICAL CONTROL JOINT  
NOTE: CONTROL OR CONSTRUCTION JOINTS @ 12'-0" MAX.



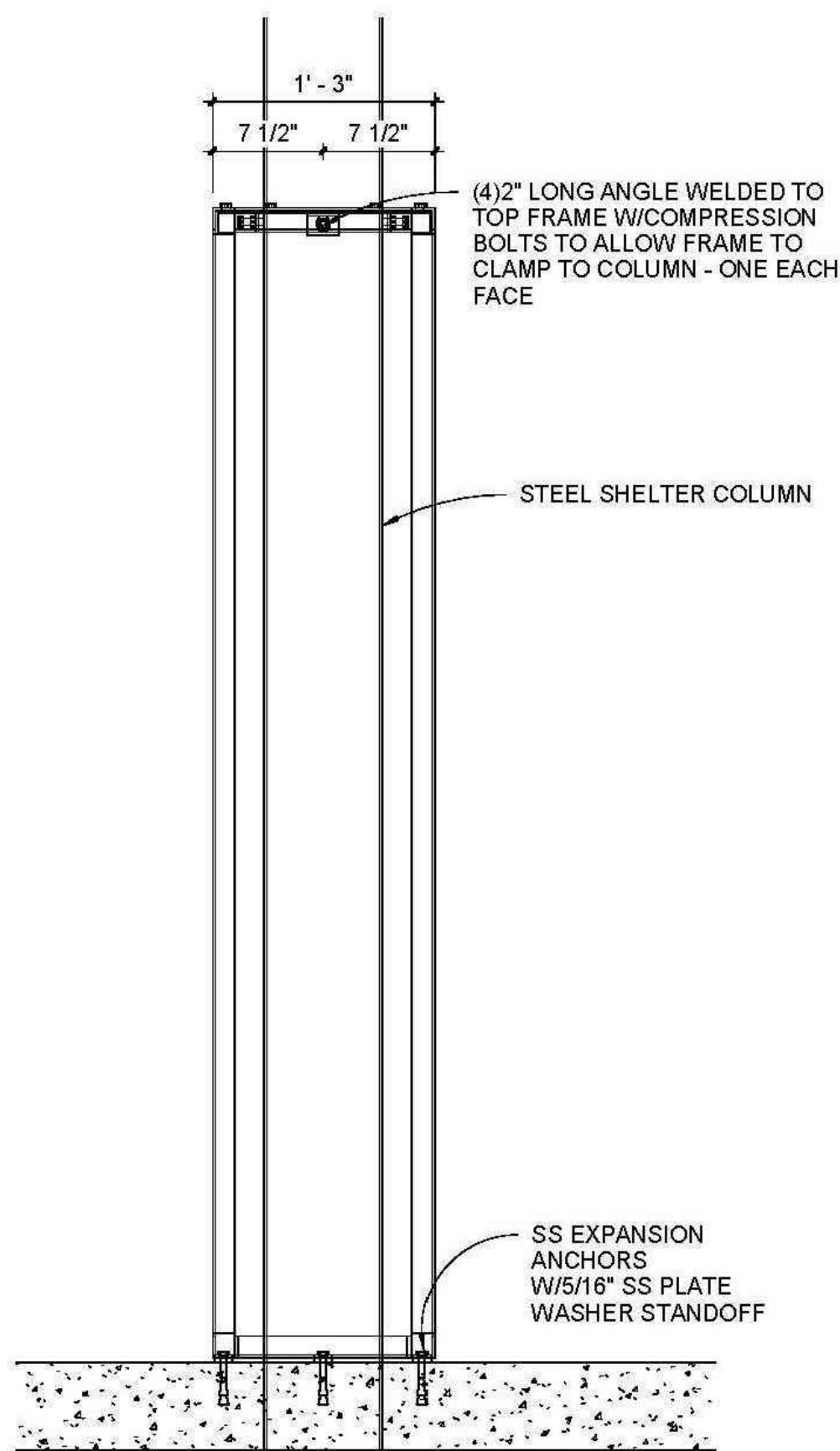
TYPICAL CONSTRUCTION JOINT  
NOTE: CONTROL OR CONSTRUCTION JOINTS @ 12'-0" MAX.

7 TYPICAL SLAB JOINTS  
NTS

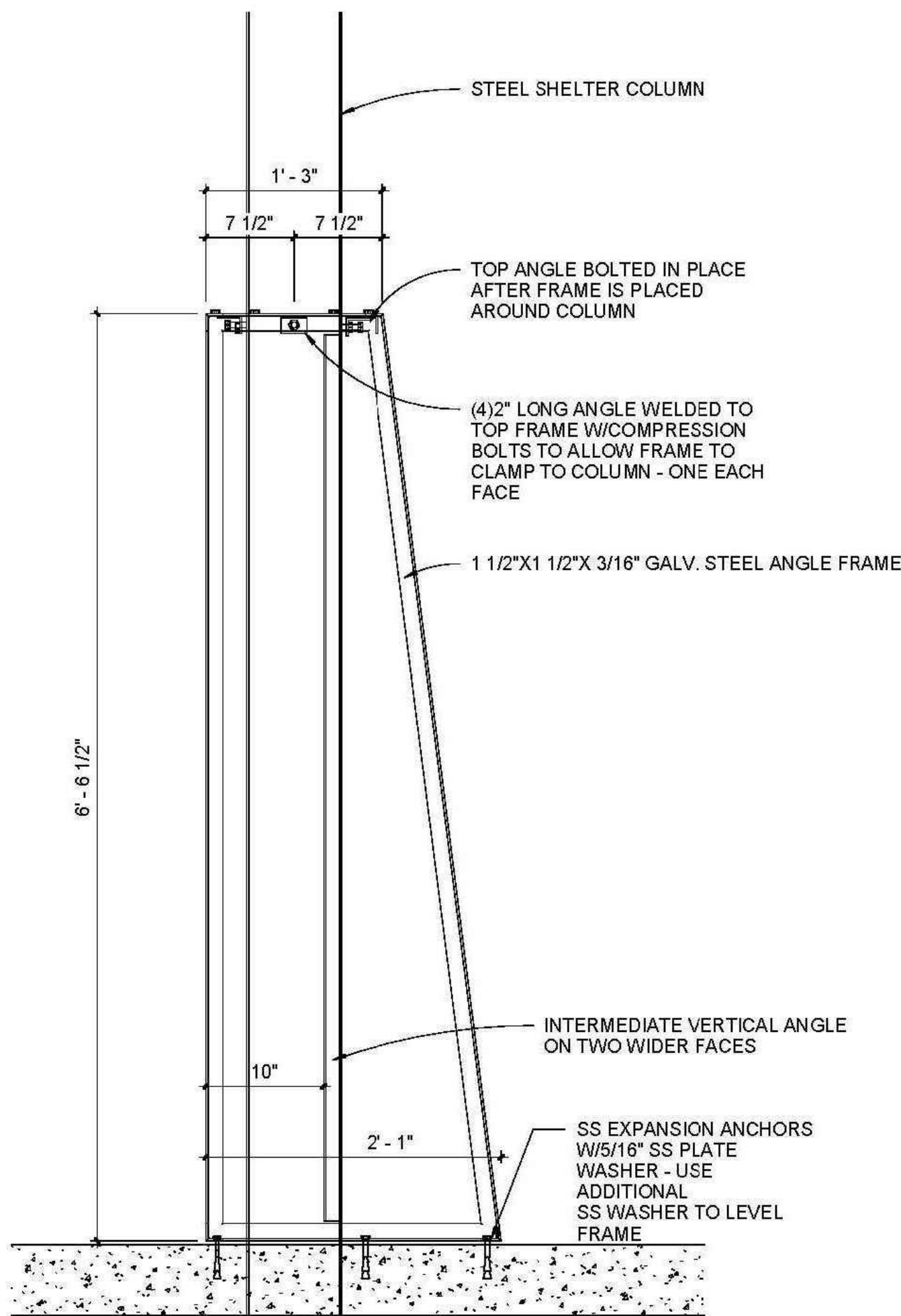


3 COLUMN WRAP FRAME  
NTS

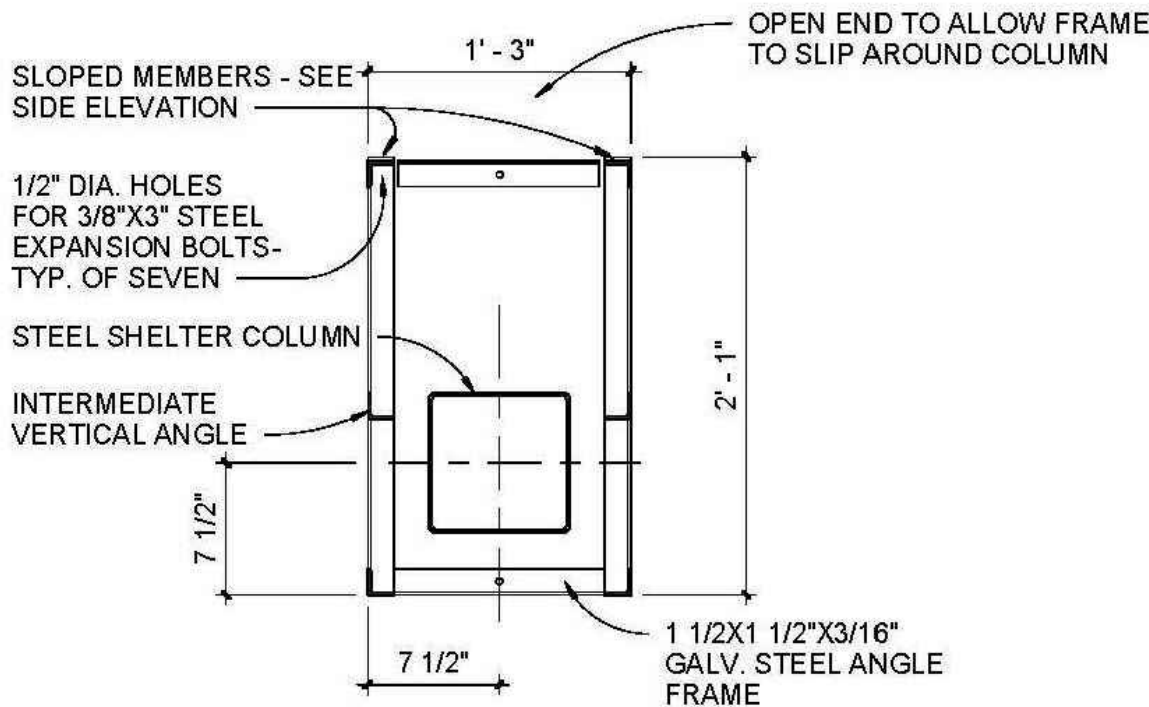
COLUMN WRAP - STEEL ANGLE FRAME



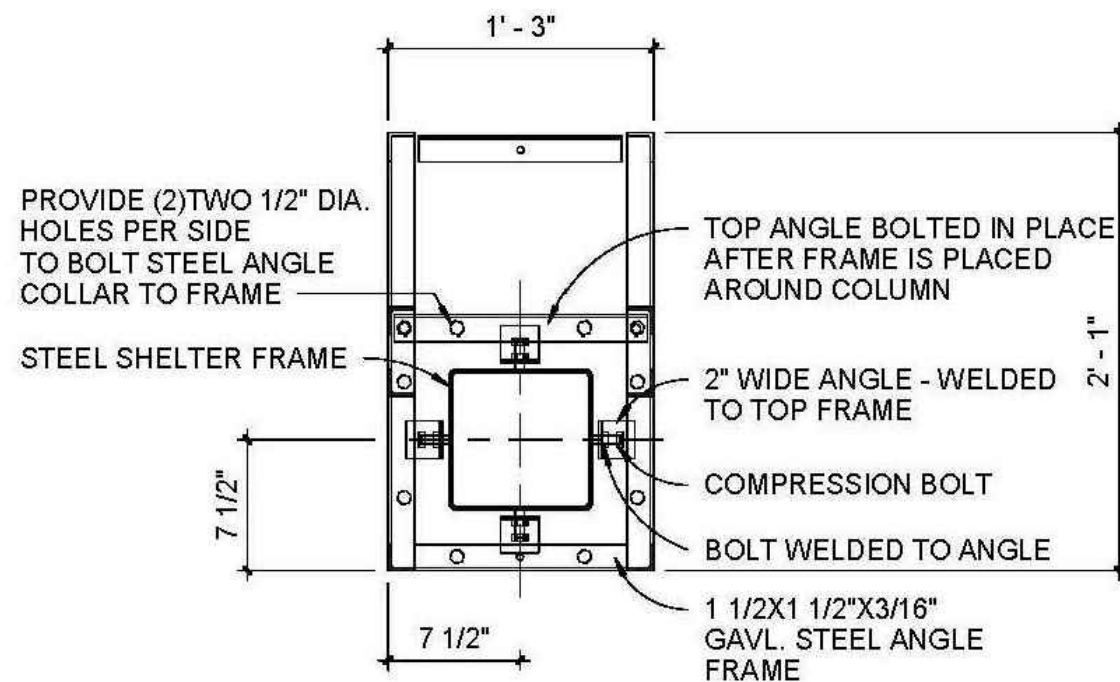
2 COLUMN WRAP STEEL FRAME - END ELEVATION  
NTS



1 COLUMN WRAP STEEL FRAME - SIDE ELEVATION  
NTS

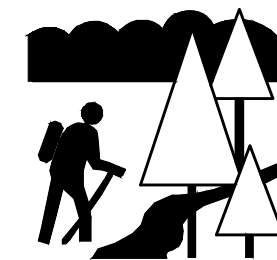


5 COLUMN WRAP STEEL FRAME - END ELEVATION  
NTS



4 COLUMN WRAP FRAME @ TOP  
NTS

PREPARED FOR:



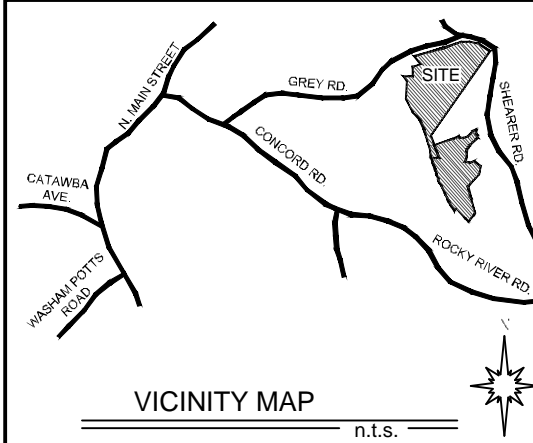
The Natural Place  
To Be...  
Mecklenburg County  
Park and Recreation

PROJECT:

Abersham/West  
Branch Rocky River  
Greenway  
Davidson, North Carolina

PREPARED BY:

Wirth & Associates  
LANDSCAPE ARCHITECTS AND LAND PLANNERS  
1230 W. Morehead St. Suite 212  
Charlotte, NC 28208  
Phone: 704-375-1588 Fax: 704-375-3844  
Email: gwr@wirthassociates.com



DRAWN BY: CKG

CHECKED BY: GNW

SCALE: N.T.S.

DATE: 9.15.2017

REVISIONS:

NO. DATE: DESCRIPTION: BY:

SHEET TITLE:

SHELTER DETAILS

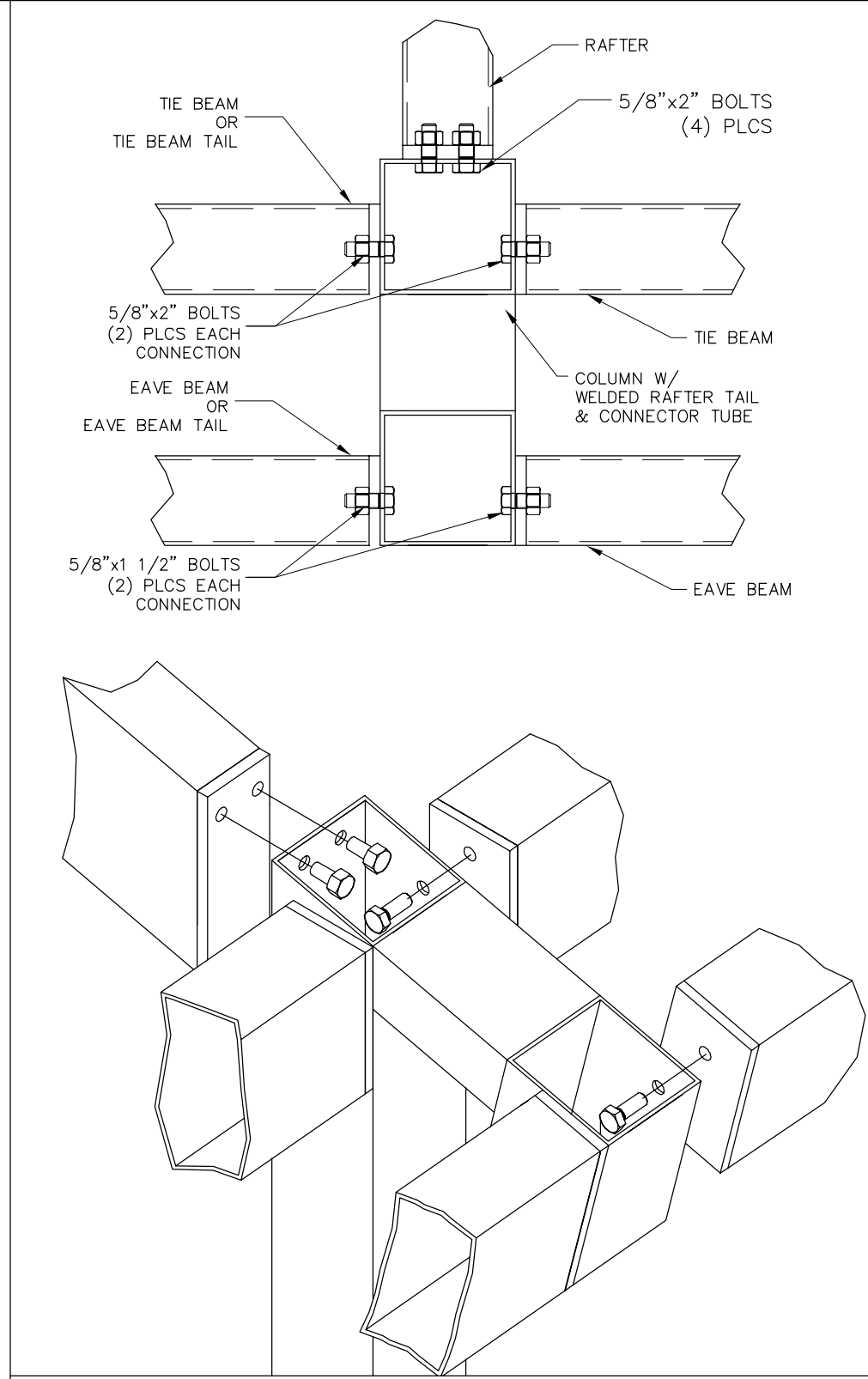
SHEET NO.:

A-4

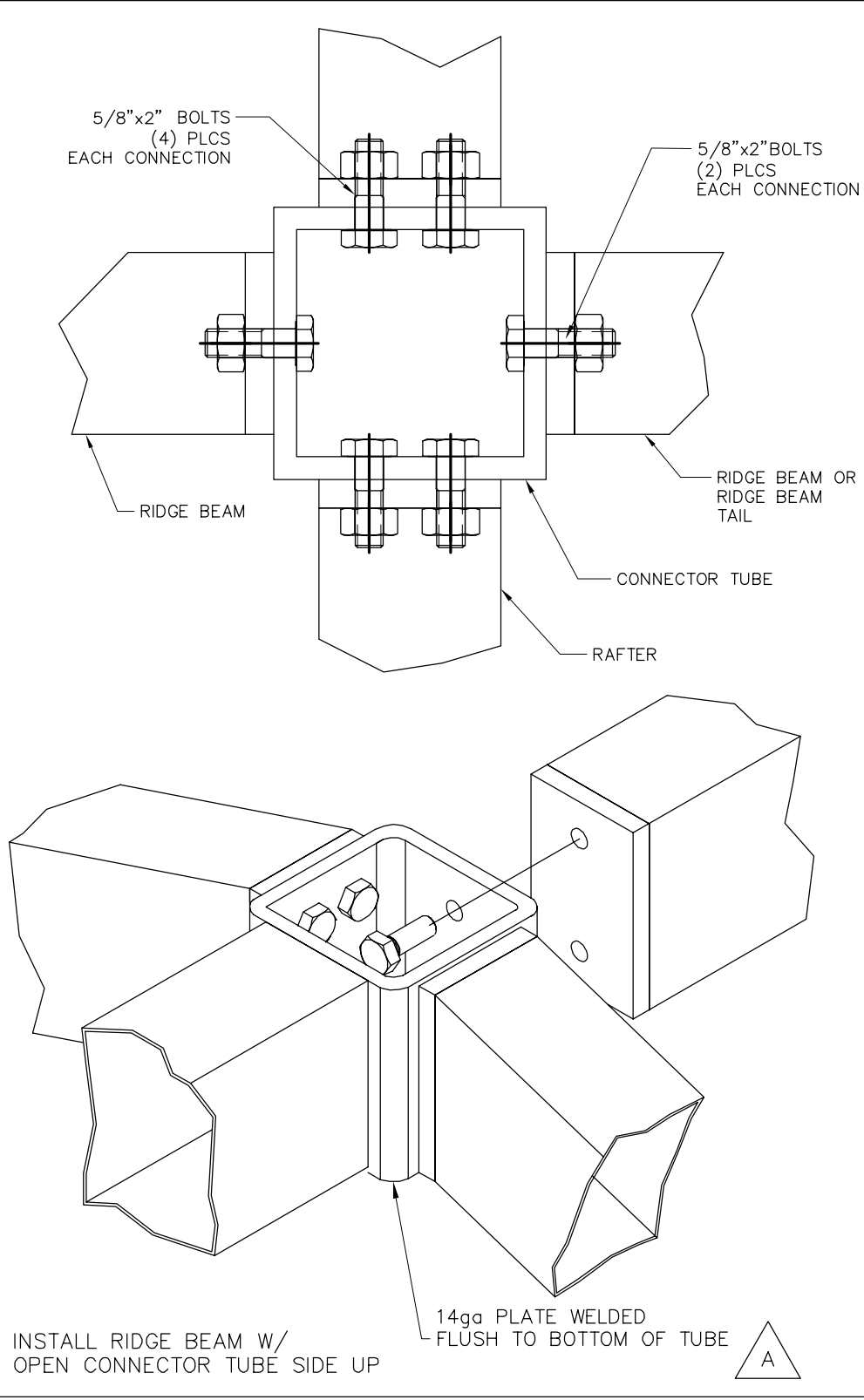




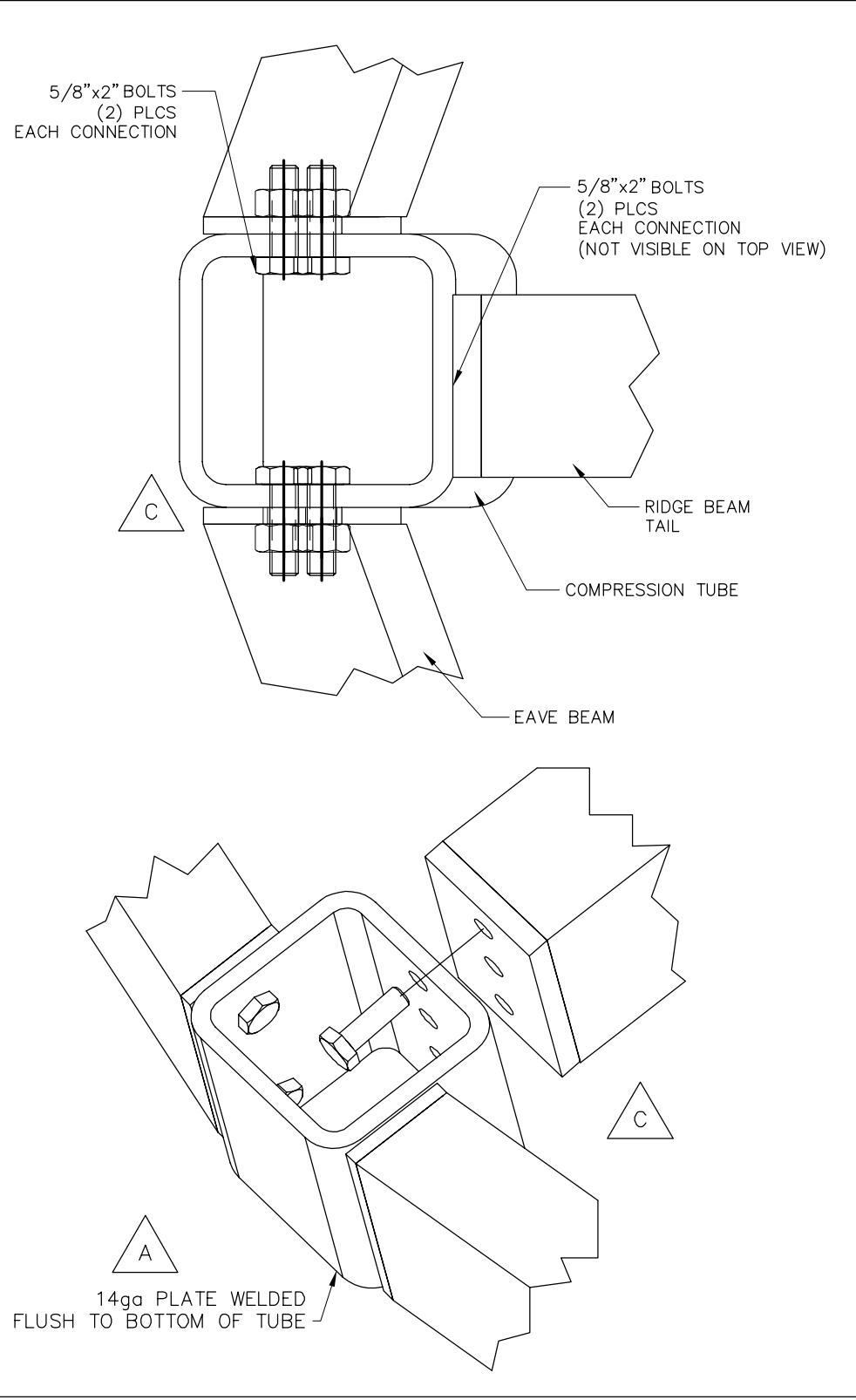




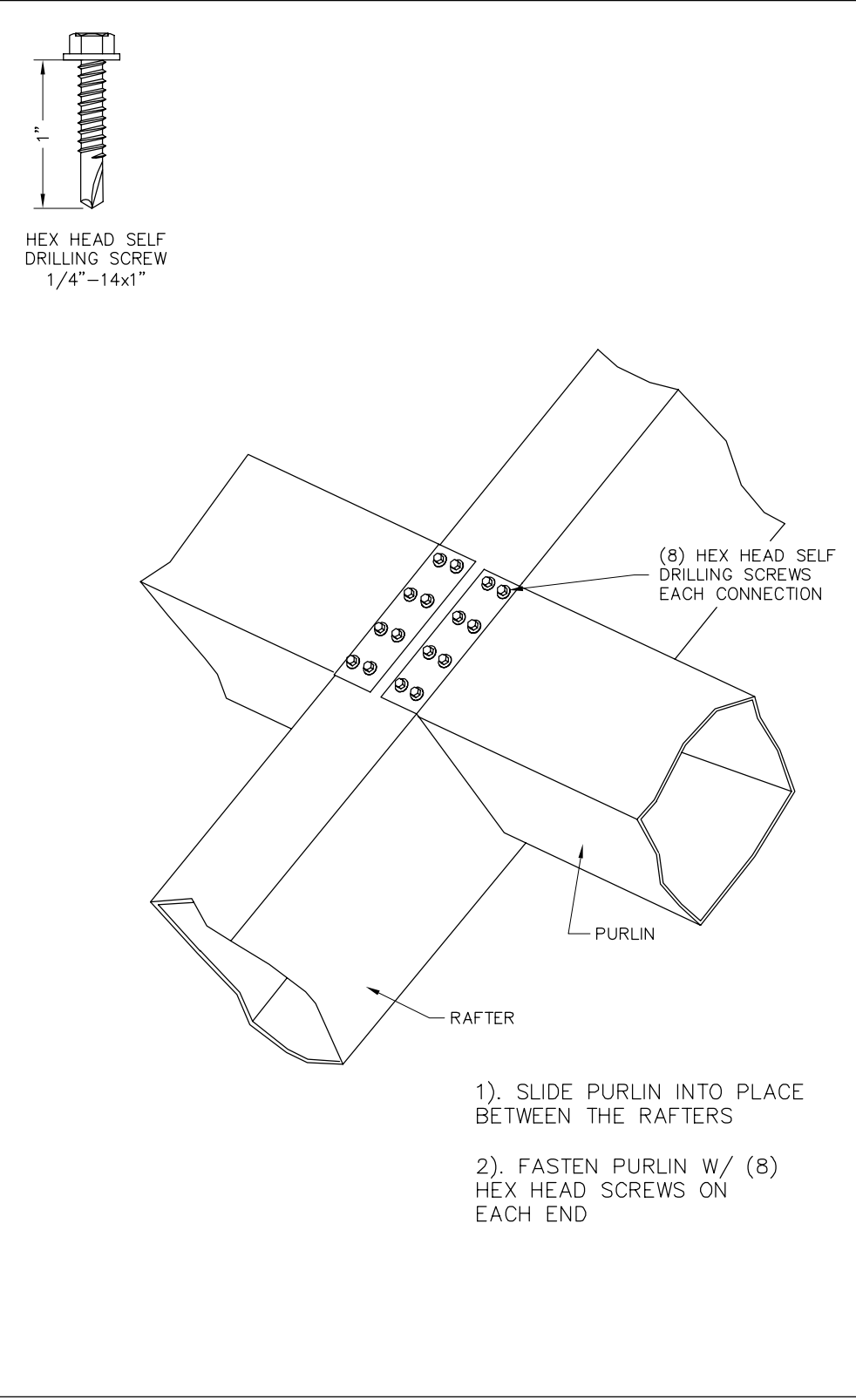
RAFTER & TIE BEAM CONNECTION & EAVE BEAM @ COLUMN AG242E



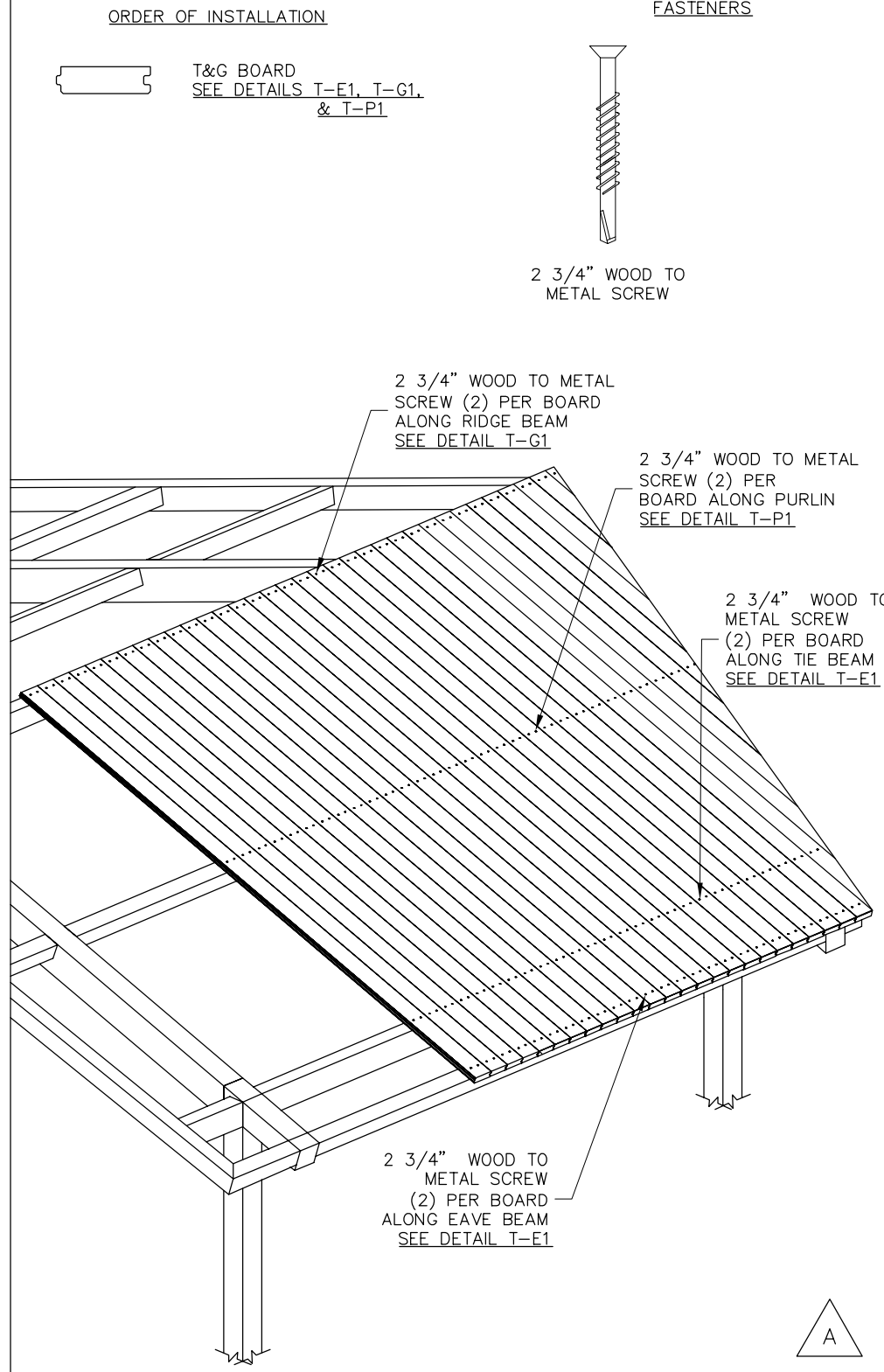
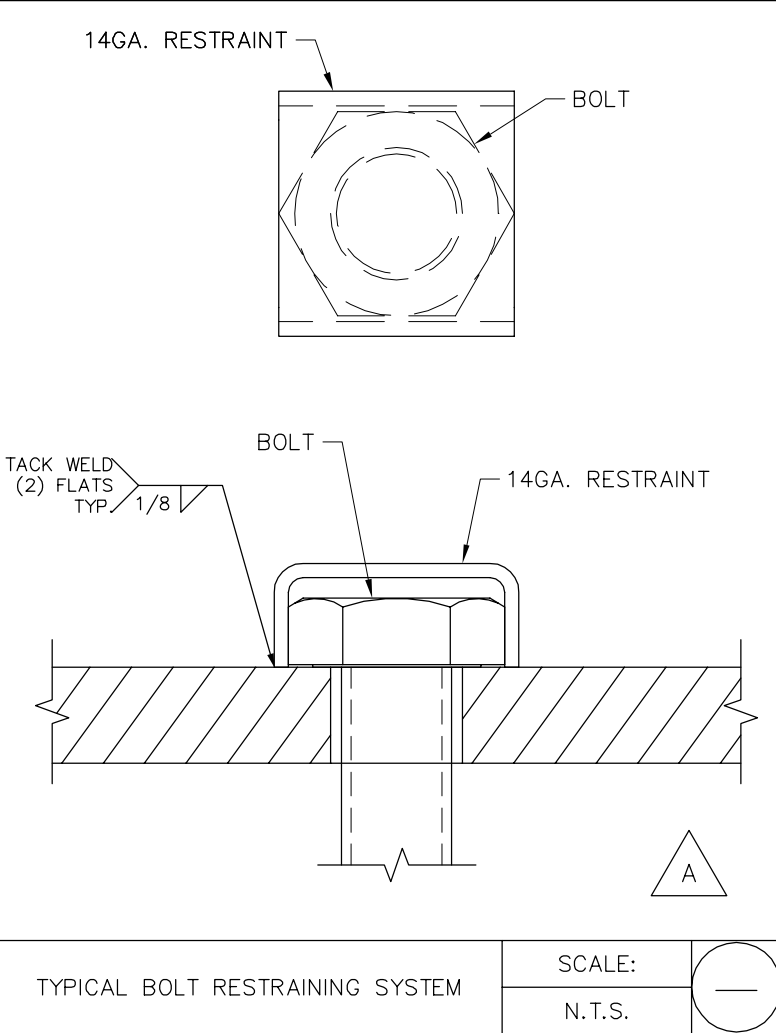
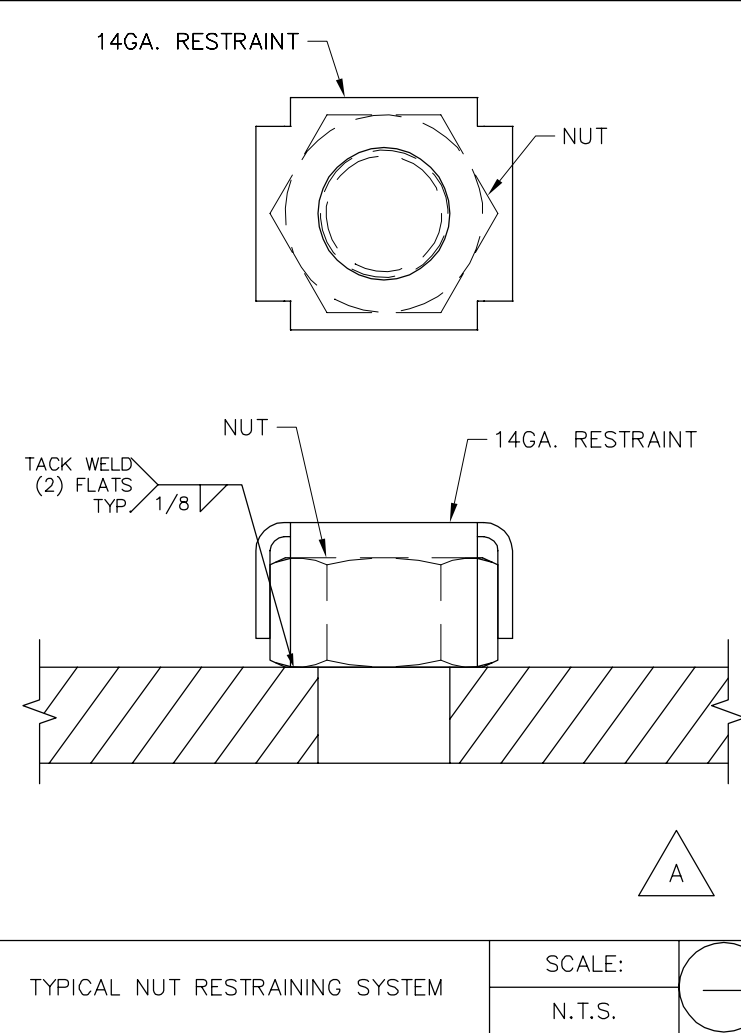
RAFTER CONNECTION @ CONNECTOR TUBE C42G



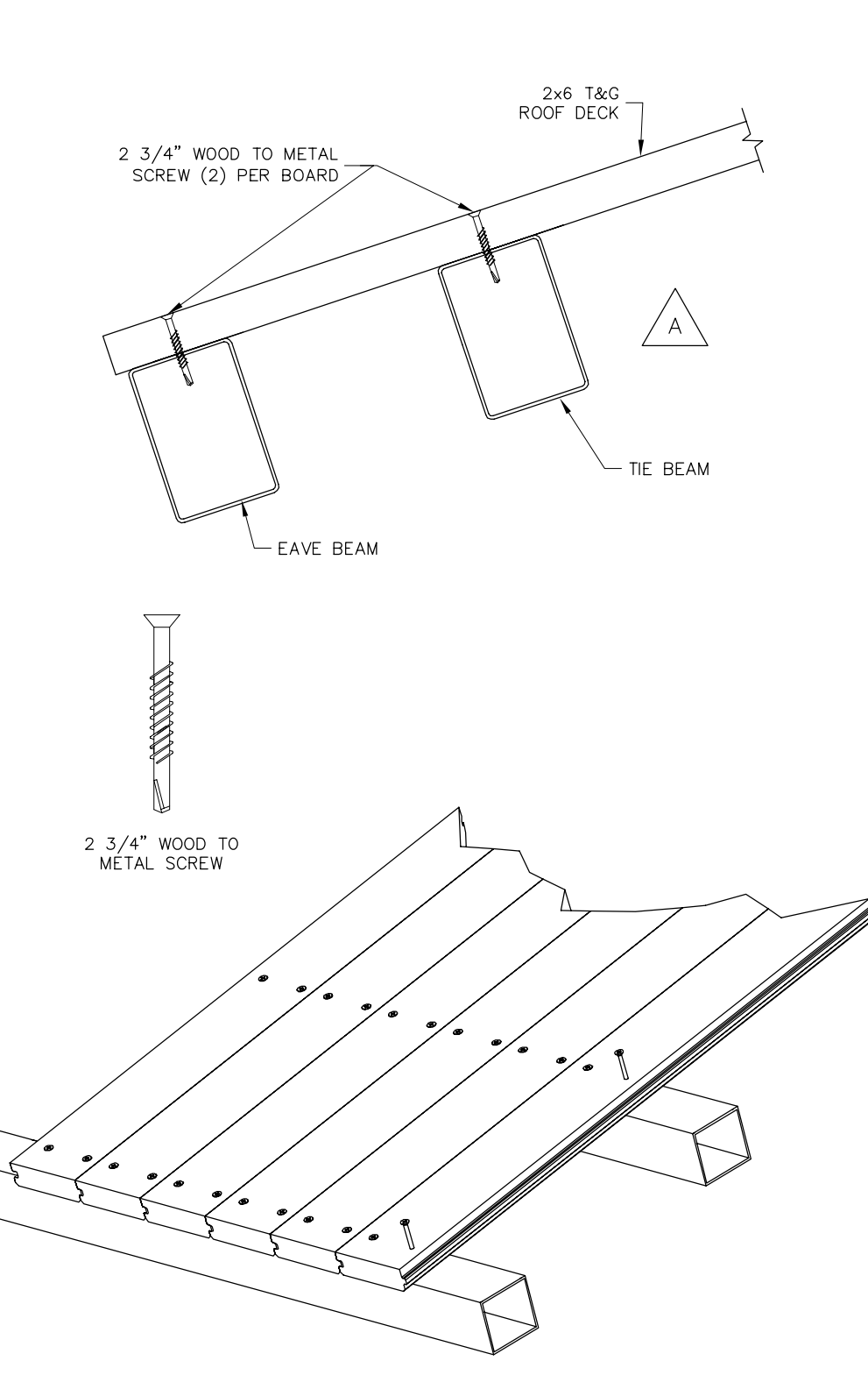
EAVE BEAM CONNECTION @ RIDGE BEAM TAIL SG22



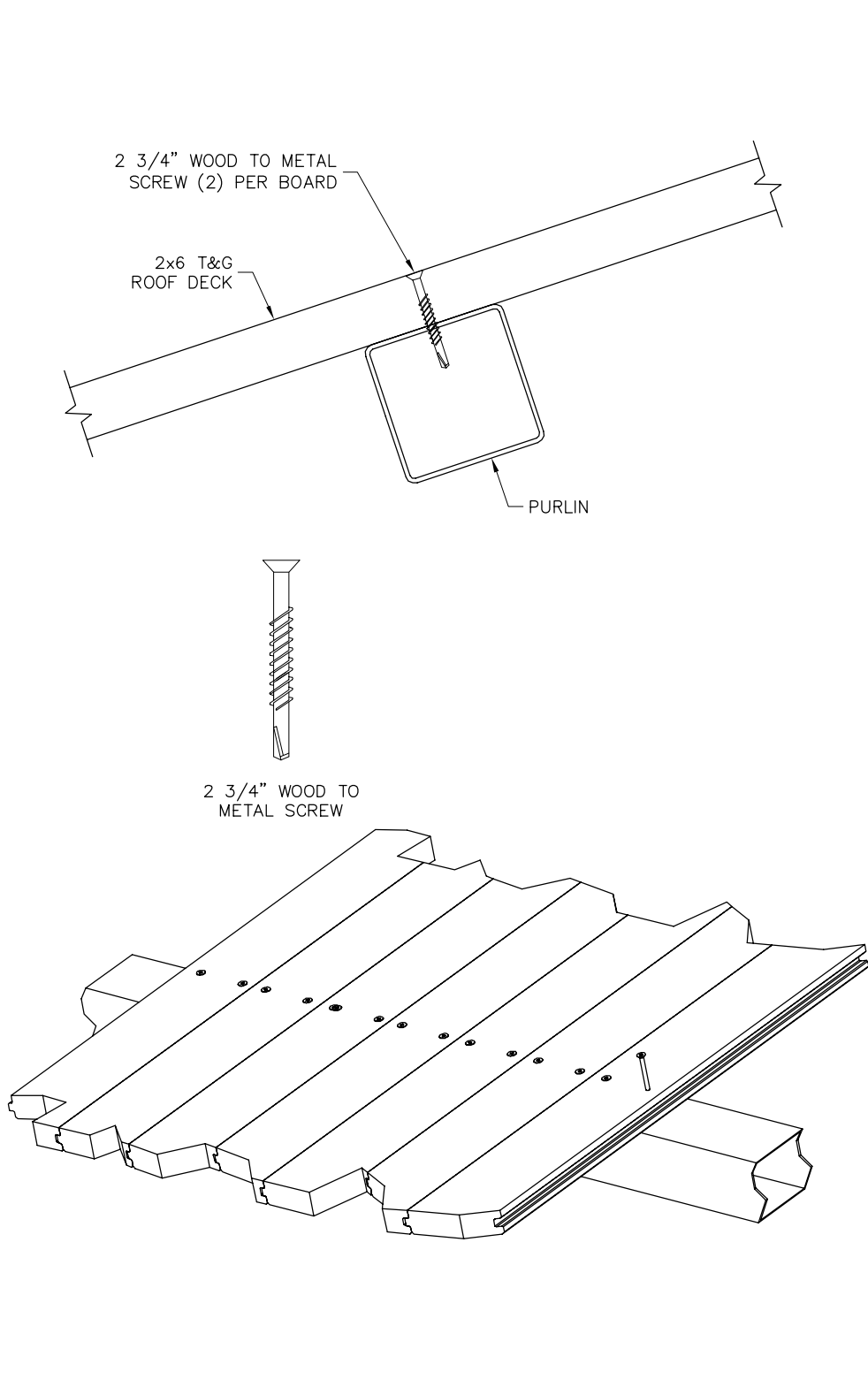
PURLIN CONNECTION @ RAFTER BO01



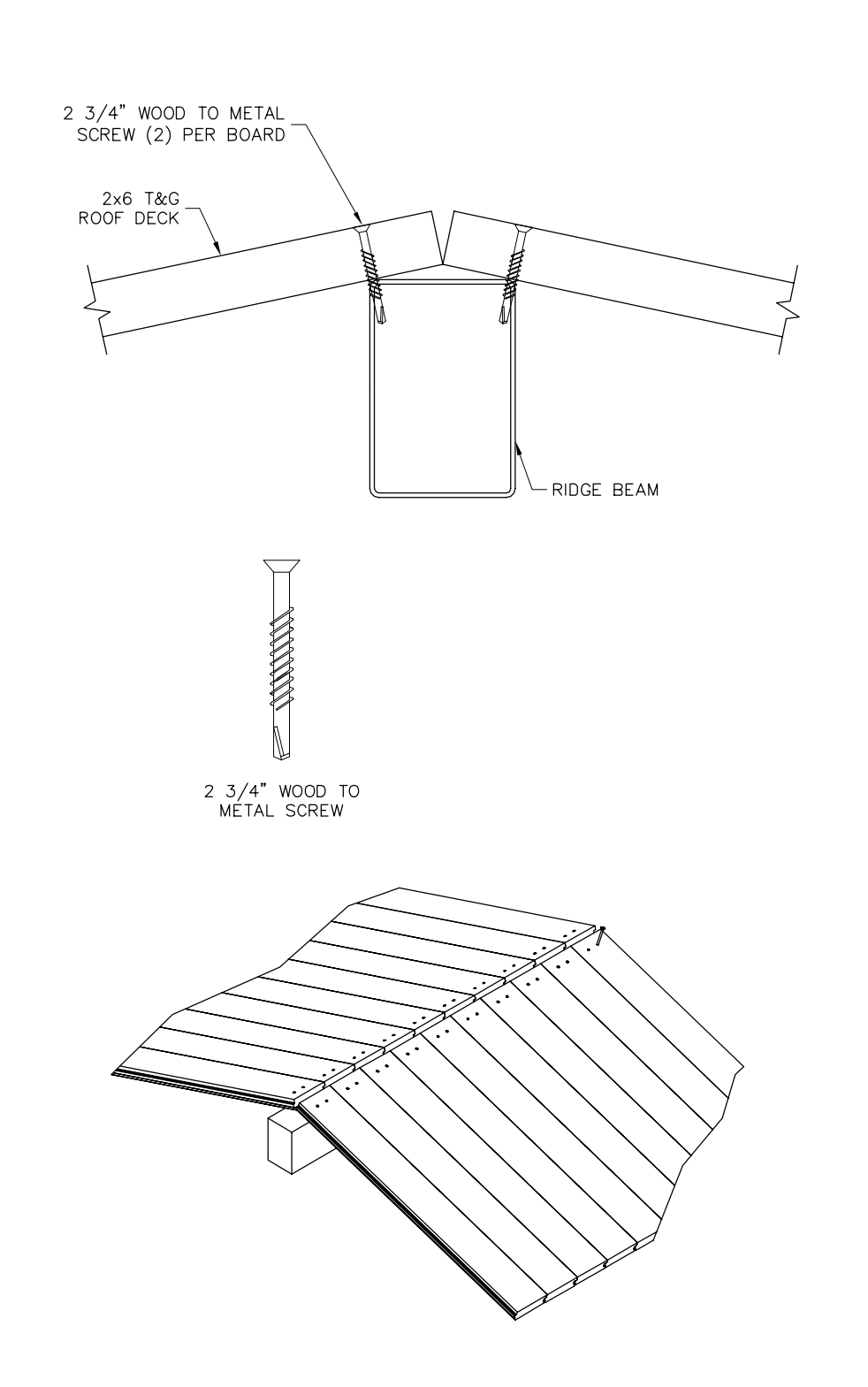
ROOF



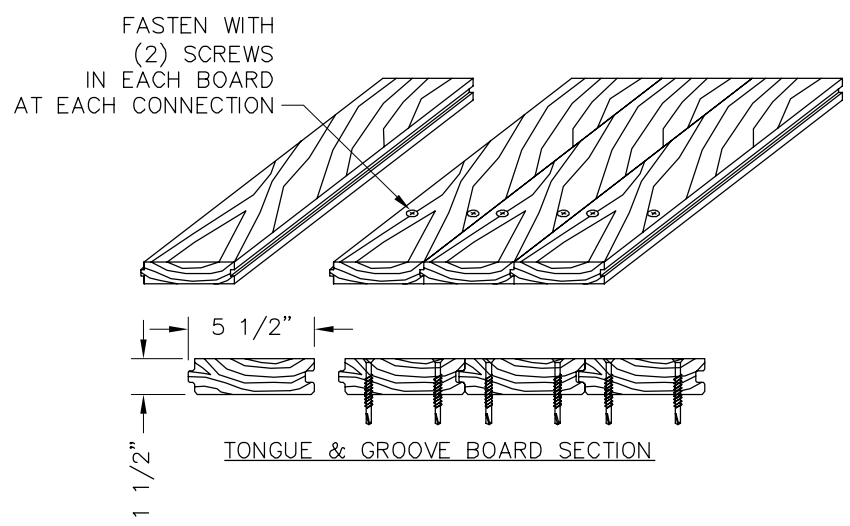
T&G ROOF DECKING @ TIE BEAM T-E1



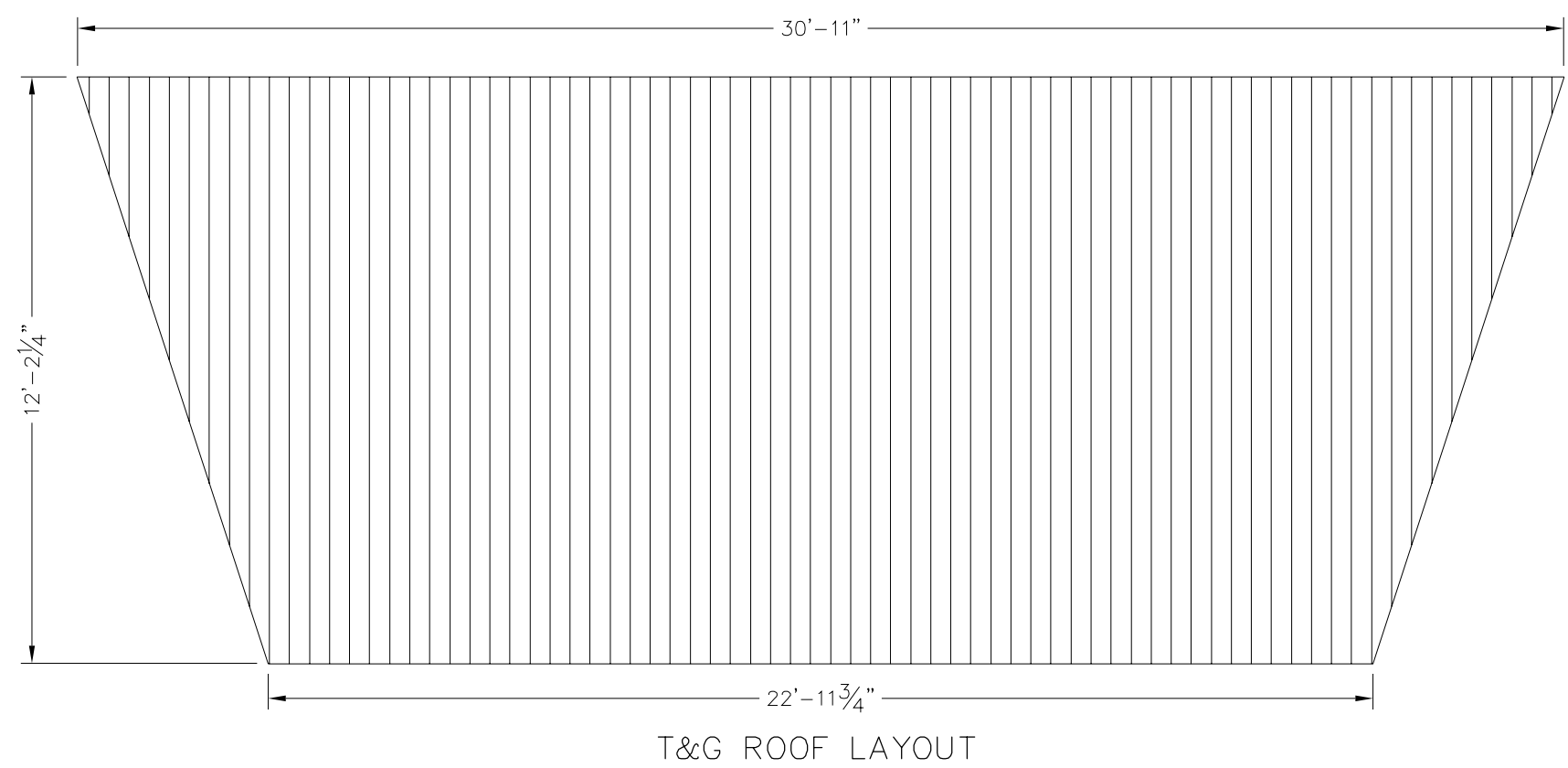
T&G ROOF DECK CONNECTION DETAIL @ PURLIN T-P1



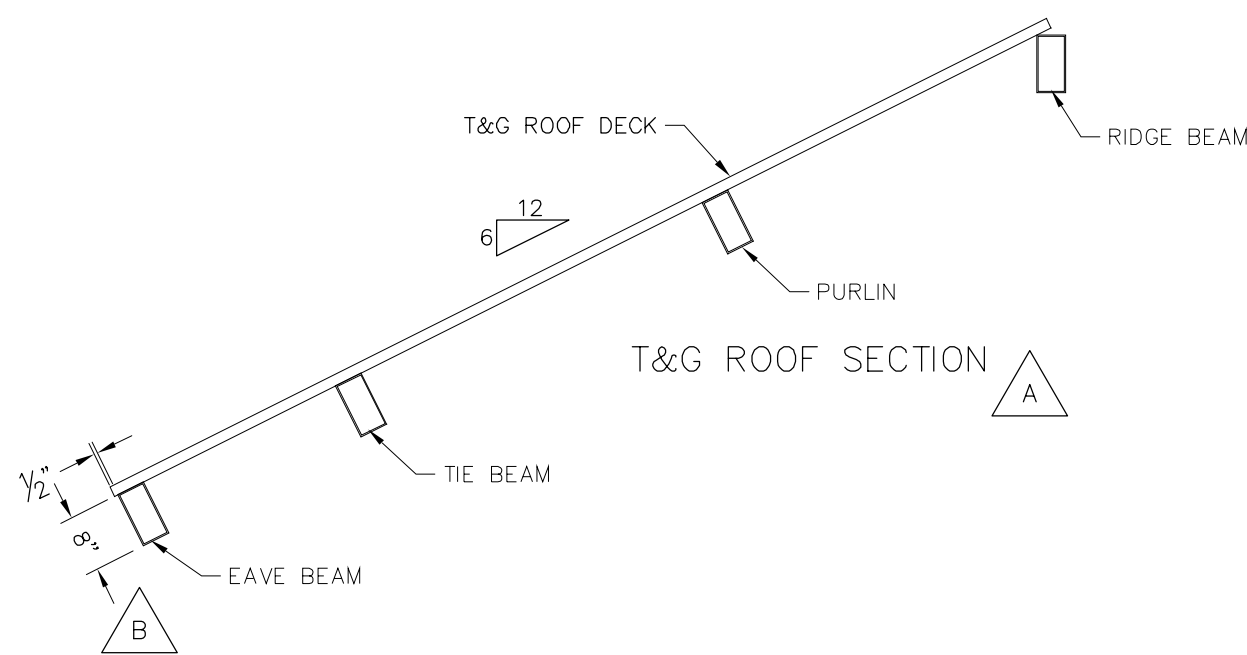
T&G ROOF DECK CONNECTION @ RIDGE T-G1



T & G ROOF DECK: 2X6 TONGUE AND GROOVE WOOD ROOF DECK, WESTERN LODGEPOLE PINE, KILN DRIED, #2 OR BETTER, ONE EDGE V'D, ONE EDGE GROOVED. IF REQ'D, FASCIA SHALL BE CEDAR PLANK.



NOTE: ALL T&G BOARDS ARE CONTINUOUS



NOTE TO INSTALLERS:  
WITH FACTORY POWDERCOATED  
SHELTERS, PAINT EXPOSED.  
FASTENERS OF COMPRESSION  
RINGS, ORNAMENTATION, KNIFE  
PLATES, ETC. WITH PROVIDED  
TOUCH UP PAINT TO PREVENT  
RUSTING OF FASTENERS

PAINT EXPOSED FASTENERS



5/12/2016  
THESE PRINTS ARE TO BE USED FOR THE PROJECT ONLY. ANY OTHER USE IS NOT PERMITTED. THE PROJECT ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR SUCH.







2012 APPENDIX B  
BUILDING CODE SUMMARY  
FOR ALL COMMERCIAL PROJECTS  
(Includes: New Construction, Upfits, Renovations, Additions)  
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)  
(Reproduce the following data on the building plans sheet 1 or 2)



a. Project Information – (Required information for all projects)

Name of Project: \_\_\_\_\_  
Address: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_  
Owner/Authorized Agent: \_\_\_\_\_  
County: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_  
County: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_

b. Project Summary/ Alternative Means of Compliance – (Required information for all projects)

Building description: \_\_\_\_\_

Scope of work details (If phase construction, please see plan submittal guidelines for submittal requirements.)

Does this project have air rights, easements, an assumed or deeded property line, no build easements or other circumstances similar to the aforementioned? Yes \_\_\_\_\_ No \_\_\_\_\_ If yes, please provide a copy of the official documents.

Renovation projects only: If you are using Chapter 54 (3412-Existing buildings) in the NCSBC or NPPA 101 as an alternative for Code compliance, please schedule a mandatory review before submitting your project for review. Note: If Plans Examiner and reviewers: Please reproduce the evaluation form on the plans.

If applicable to your project, Alternative Means of Compliance/Engineering Judgement:

Check if applicable to your project:

Check if applicable to your project:

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Architectural \_\_\_\_\_  
Civil \_\_\_\_\_  
Electrical \_\_\_\_\_  
Fire Alarm \_\_\_\_\_  
Plumbing \_\_\_\_\_  
Mechanical \_\_\_\_\_  
Sprinkler/Standpipe \_\_\_\_\_  
Structural \_\_\_\_\_  
Retaining Walls \_\_\_\_\_  
Other \_\_\_\_\_

a. Type of work being performed – (Required information for all projects)

What type of work is being performed?

Design Construction \_\_\_\_\_

(A project from the site work through the completion of work required for (room occupancy) This includes Shell buildings.

Additional (An Existing Building that is added heated or unheated space. This could be an addition to the basement or a vertical expansion)

Upfit (First Time Interior Completion)

Uplift – the first time interior completion of a virgin (never occupied) shell space in a newly constructed building.

Alteration (Previously Occupied Space) This includes Change of Use.

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Last known legal occupancy use \_\_\_\_\_ Historic Property: Yes \_\_\_\_\_ No \_\_\_\_\_  
Original Building Construction Date: \_\_\_\_\_ Date of Preliminary Meeting: \_\_\_\_\_  
Justification for using the REHAB code: \_\_\_\_\_

g. Basic Building Data – (Required information for all projects)

Construction Type (Table 508) \_\_\_\_\_

Check all that apply: \_\_\_\_\_

Sprinklers (Chapter 9) \_\_\_\_\_

Fire District: \_\_\_\_\_

Flood Hazard Area (FEMA/FIRM) \_\_\_\_\_

Flood Hazard Height (feet) \_\_\_\_\_

Gross Building Area \_\_\_\_\_

Floor \_\_\_\_\_

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Storage \_\_\_\_\_  
Utility and Miscellaneous \_\_\_\_\_  
Incidental Uses: \_\_\_\_\_  
Furnace room where any piece of equipment is over 400,000 Btu per hour input \_\_\_\_\_  
Rooms with boilers where the largest piece of equipment is over 15 psi and 10 horsepower \_\_\_\_\_  
Refrigerant machine room \_\_\_\_\_  
Hydrogen cutoff rooms, not classified as Group H \_\_\_\_\_  
Increase rooms \_\_\_\_\_  
Paint shops, not classified as Group H, located in occupancies other than Group F \_\_\_\_\_  
Laboratories and vocational shops, not classified as Group H, located in a Group E or I-2 occupancy \_\_\_\_\_  
Laundry rooms over 100 square feet \_\_\_\_\_  
Group 1-3 cells equipped with padded surfaces \_\_\_\_\_  
Group 1-2 waste and linen collection rooms \_\_\_\_\_  
Waste and linen collection rooms over 100 square feet \_\_\_\_\_  
Sanitary storage battery systems having a liquid electrolyte capacity of more than 50 gallons, or a lithium-ion capacity of 1,000 pounds used for facility standby power, emergency power or uninterrupted power supply \_\_\_\_\_  
Rooms containing fire pumps \_\_\_\_\_  
Group 1-2 storage rooms over 100 square feet \_\_\_\_\_  
Group 1-2 commercial kitchens \_\_\_\_\_  
Group 1-2 laundries equal to or less than 100 square feet \_\_\_\_\_  
Group 1-2 rooms or spaces that contain fuel-fired heating equipment \_\_\_\_\_  
Special Use: If Applicable \_\_\_\_\_  
Mixed Occupancy/Use (506.5) If Applicable \_\_\_\_\_ No \_\_\_\_\_ Yes Separation: \_\_\_\_\_  
Incidental Use Separation (508.2.5) \_\_\_\_\_  
This separation is not exempt as a Non-Separated Use (see 508.2.5.1).

h. Allowable Area / Occupancy Classification – (Required information for all projects)

Occupancy (Chapter 5) \_\_\_\_\_

Assembly (303) \_\_\_\_\_

Business (304) \_\_\_\_\_

Factory (305) \_\_\_\_\_

Hazardous (307) \_\_\_\_\_

Instructional (308) \_\_\_\_\_

Merchandise (309) \_\_\_\_\_

Residential (310) \_\_\_\_\_

Storage (311) \_\_\_\_\_

Utility and Miscellaneous (312) \_\_\_\_\_

Accessory Occupancies (508) If Applicable \_\_\_\_\_

Assembly (303) \_\_\_\_\_

Business (304) \_\_\_\_\_

Factory (305) \_\_\_\_\_

Hazardous (307) \_\_\_\_\_

Instructional (308) \_\_\_\_\_

Merchandise (309) \_\_\_\_\_

Residential (310) \_\_\_\_\_

Storage (311) \_\_\_\_\_

Utility and Miscellaneous (312) \_\_\_\_\_

Accessory Occupancies (508) If Applicable \_\_\_\_\_

Assembly (303) \_\_\_\_\_

Business (304) \_\_\_\_\_

Factory (305) \_\_\_\_\_

Hazardous (307) \_\_\_\_\_

Instructional (308) \_\_\_\_\_

Merchandise (309) \_\_\_\_\_

Residential (310) \_\_\_\_\_

Storage (311) \_\_\_\_\_

Utility and Miscellaneous (312) \_\_\_\_\_

Accessory Occupancies (508) If Applicable \_\_\_\_\_

Assembly (303) \_\_\_\_\_

Business (304) \_\_\_\_\_

Factory (305) \_\_\_\_\_

Hazardous (307) \_\_\_\_\_

Instructional (308) \_\_\_\_\_

Merchandise (309) \_\_\_\_\_

Residential (310) \_\_\_\_\_

Storage (311) \_\_\_\_\_

Utility and Miscellaneous (312) \_\_\_\_\_

Accessory Occupancies (508) If Applicable \_\_\_\_\_

Assembly (303) \_\_\_\_\_

Business (304) \_\_\_\_\_

Factory (305) \_\_\_\_\_

Hazardous (307) \_\_\_\_\_

Instructional (308) \_\_\_\_\_

Merchandise (309) \_\_\_\_\_

Residential (310) \_\_\_\_\_

Storage (311) \_\_\_\_\_

Utility and Miscellaneous (312) \_\_\_\_\_

Accessory Occupancies (508) If Applicable \_\_\_\_\_

Assembly (303) \_\_\_\_\_

Business (304) \_\_\_\_\_

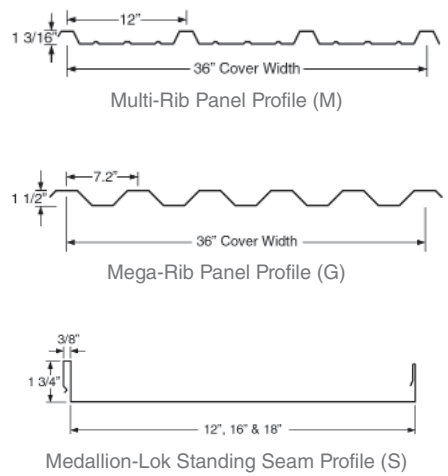
Factory (305) \_\_\_\_\_





24 Ga. Steel Panels

24-gauge galvalume roof panels with a Kynar 500 paint finish. Multi-Rib and Mega-Rib are 36" wide panels that are pre-cut in our factory to fit your shelter. Field adjustment may be necessary for proper fit. Medallion-Lok standing seam roofing is provided un-cut to be cut to fit in the field by others. Matching trim in 26 ga. galvalume and fasteners are provided.



Pre-Cut SIPs

Structural panels (SIPs) that are factory-assembled, 4-5/8" thick, factory laminated and cut to fit on the structure. The composition is 7/16" OSB, 3-1/2" EPS foam core, and a 5/8" skin of T1-11 siding.

Standard Steel Roof Colors

Kynar 500 coated roof panels with 24 gauge Galvalume® substrate

Ash Gray	Bone White	Surrey Beige	Light Stone	Sandstone	Regal White
Medium Bronze	Charcoal	Tudor Brown	Mansard Brown	Dark Bronze	Patrician Bronze
Silver Metallic	Brandywine	Patina Green	Copper Penny	Evergreen	Hartford Green
Terra Cotta	Roman Blue*	Regal Blue	Brite Red	Colonial Red	Casco Orange
Notes: *Roman Blue in Medallion-Lok may incur extra costs. **Galvalume Plus is not Kynar 500 coated.					
Slate Gray	Almond	Galvalume Plus**			



2x6 Tongue and Groove

The 2x6 tongue and groove wood roof deck is Western Lodgepole Pine, kiln dried, #2 or better, one edge V'd, one edge grooved. Fascia is cedar plank. T&G requires finished roofing materials.



Prime Painted

Factory-priming protects the steel components from corrosion throughout the shipping and erection process. The steel is cleaned to remove loose mill scale, loose rust, loose paint, and other loose detrimental foreign matter. The cleaned steel will then be prime painted with quick dry, lead and chromate free alkyl primer. Finish painting in the field is required.



Hot Dipped Galvanized

The hot-dip galvanizing process produces a zinc coating on steel products by immersion of the material in a bath of molten zinc metal. The steel to be coated is first cleaned to remove all oils, greases, soils, mill scale and rust. Because galvanized steel requires no maintenance for decades, its use in public construction is an efficient use of public funds.



E-Coat and Powder Coat

ICON's premier steel coating is a combination of liquid epoxy primer and two coats of TGIC polyester powder coating. The process is:  
1. The steel is shot-blasted to the specification of SSPC-SP10 (shot-blasted to near white condition), removing all oil residue, mill scale, weld spatter and slag.  
2. The steel is immersed in zinc phosphate in an eight stage pretreatment process.  
3. It is immersed in an electrostatically applied liquid epoxy and coated to a uniform 0.7-0.9 mils. This E-coat totally encapsulates the part, preventing rusting.  
4. A double coat of TGIC polyester powder is applied, one coat of color and one clear coating for a final finish that is 8-12 mils thick.

In highly corrosive environments, ICON recommends a hot-dipped zinc galvanizing prior to powder coating. This may produce a less smooth finish once coated.

Powder Coat Colors

(Actual colors may vary from printed samples)

Red Baron	Dow Black	Pedestal Gray	Evenflo White	Dutch Blue	Blue Streak
Wittek Green	Eastern Green	Evergreen	Fern Green	Surrey Beige	Fence Brown
Almond	Ash Gray	RAL 1001	RAL 3005	RAL 5013	RAL 3009
RAL 7002	RAL 7013	RAL 8004	RAL 9001	RAL 9018	RAL 9006

ICON can coat your shelter with powders chosen from the RAL color chart. Shown are several RAL colors that have been popular on ICON projects recently. Actual colors may vary from printed samples. **SELECTING AN RAL COLOR FROM THIS CHART WILL INCUR ADDED COSTS.**







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**Agenda Title:** Gallery Sign

**Summary:**

---

**ATTACHMENTS:**

Description	Upload Date	Type
☐ Staff Analysis	10/11/2017	Presentation
☐ Application and Exhibits	10/11/2017	Exhibit

**Town of Davidson, NC  
Design Review Board: Staff Analysis  
Project Manager: Chad Hall  
October 18, 2017**

**Project:** Wall Sign  
**Location:** 108 South Main Street  
**Applicant:** The Gallery  
**Designer:** Artisan Sign and Graphics (Gary Dickens)  
**Planning Area:** Village Center within Local Historic District

---

The applicant proposes a new wall sign at 108 South Main Street. The sign is to be centered on the facade. The sign area is 5.6 square feet and features 12.5" tall, 1.5" thick HDU letters in white. Lighting exists on site and is not proposed as part of this submittal.

**DAVIDSON PLANNING ORDINANCE:**

**Section 11.2.2.B Required Permits**

*All signs proposed to be affixed to a structure in the Local Historic Overlay District must be approved by the Design & Historic Review Board to determine that the signage meets the provisions of this section and any additional historic district requirements.*

**Section 11.3.1.2 Multi-Tenant Buildings**

*Each tenant on the street on ground-level may display one of the following signs on each façade: wall, projecting, hanging, freestanding, and two additional from the following: sidewalk, awning, canopy, window, or door.*

**Section 11.4.1.2 Wall Sign**

*A sign directly attached and parallel to a building façade or dependent upon a building for its support. Wall signs may consist of sign board, metal, or channel letters mounted directly on wall or via raceway, neon, or paint directly on brick.*

1. *Permitted Location*
  - *Building facades that face the right of way, pedestrian passageways, and/or parking associated with the establishment.*
2. *Area & Dimensions*
  - *Maximum sign area per facade is five percent of the ground floor facade area on which the sign is located OR 24 square feet, whichever is greater. The Design Review Board must approve all signs greater than 24 square feet.*
  - *For multi-bay, multi-tenant buildings, the facade area shall include only that portion of the facade designed for a specific tenant.*
3. *Height*
  - *The top of a wall sign shall not exceed 18 feet above grade.*
4. *Additional Requirements*
  - *Internally illuminated signs, including LED signs, are not permitted.*

- *Signs must either be a minimum of 1.5 inches thick or include a 1.5 to 2 inch border.*

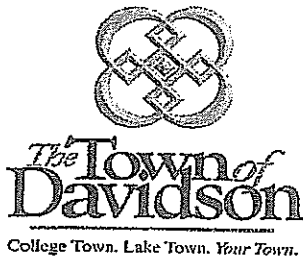
#### **HISTORIC DISTRICT DESIGN GUIDELINES:**

##### ***Signs***

5. *Introduce new signs, if needed, in traditional locations where they do not diminish or compromise the overall historic character of the building, site, or district. Design new signs to be compatible in location, configuration, orientation, height, material, scale, and detail with the historic character of the building, site, and district.*
7. *Construct new signs in traditional materials, such as wood, stone, or metal, or apply lettering and graphics on display windows or awning fabric. It is not appropriate to introduce signage in contemporary materials such as plastics or to introduce internally lighted signage that is incompatible with the overall historic character of the district.*

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T:\Planning\_Shared\_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2017 DRB Agendas\20171018\_DRB Agenda\AVA Gallery-signage\20171011\_Gallery Sign\_Staff\_Analysis.doc



# Design Review

GALLERY  
(Name of Project)

## Sign - Project Description

Application Date: 19 September

Project Location: 108 South Main St.  
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s): \_\_\_\_\_

Planning Area: \_\_\_\_\_

Planning Area Overlay District: \_\_\_\_\_

Master or Conditional Plan: \_\_\_\_\_  
(Include any conditions of approval)

General Statement of Intent: 1 1/2 inch Thick Letters  
to Identify the  
GALLERY

### Project Details:

Project Type: ☐ individual sign ☐ multi-tenant building ☐ sign plan development

Sign Type: ☒ wall sign ☐ projecting sign ☐ hanging sign

☐ freestanding sign ☐ canopy/awning sign ☐ window/door sign

☐ building name ☐ sidewalk sign ☐ temporary sign

Other sign type: \_\_\_\_\_

Dimensions: 12.5 inch High Letters / 64" long

Square Footage: 3.6 square feet.

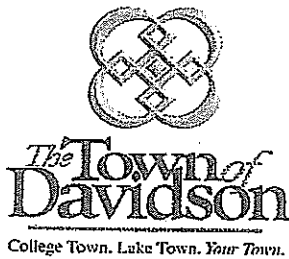
Height from grade: 80' 4"

Sign materials: HIDU

Lighting: NONE in the letters

Existing Signs, include signs to remain and signs to be removed:

NONE FOR THIS  
BUSINESS



# Design Review

GALLERY  
(Name of Project)

## Sign - Application Requirements

Date Received



Application Fee per Town of Davidson Fee Schedule



Contact Information



Project Description  
(including General Statement of Intent)



Statement of Compliance with Section 9



Any Approved Sign Plan or Conditional Planning Area for Signs  
(including all renderings, plans, and conditions of approval)



Site and Building Plan Indicating the Location of all Signs



Color Photos  
(including existing and adjacent sites and building(s) showing signage taken from the perspective of the public streets adjacent to the site)



List of all Existing Signs with their Location and Dimensions



Color Photo of Building(s) with Proposed Sign(s) Superimposed



Landscape Schematic Design in accordance with Section 8.6



Representative Materials and Colors



Proposed Lighting Type and Location

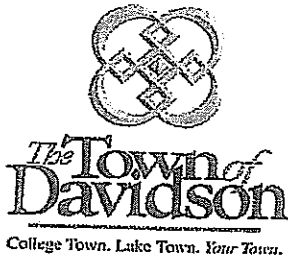


Statement of Compliance with Planning Ordinance Section 14

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

Gary Dickens  
Applicant's Signature

18 Sept 17  
Date



# Design Review GALLERY

(Name of Project)

## Contact Information

### Applicant's Information GARY Dickens

Name: ARTISAN Signs & Graphics  
E-Mail: GARY@ARTISANSIGNSANDGRAPHICS.COM  
Mailing Address: 18335 Old Statesville, Rd Suite 2  
Cornelius, NC 28031  
Business Phone: 704-655-9100 Mobile Phone: 704-905-7855

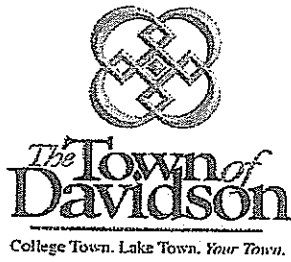
### Property Owner's Information

(If Different from Applicant)

Name: ERIC Dogen  
E-Mail: ERIC@VISIONCAPITALMGT.COM  
Mailing Address: PO Box 1750  
DAVIDSON, NC 28036  
Business Phone: 704-894-9639 Mobile Phone: —

### Architect's Information

Name of Firm: SAME AS APPLICANT.  
Architect's Name: \_\_\_\_\_  
E-Mail: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Business Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_



# Design Review

GALLERY  
(Name of Project)

## Sign - Development Process

Date Completed

☐

Initial Meeting

☒

Application and Fee

☐

Design Review Board Preliminary Review, if applicable

☐

Planning Director Review for Compliance with Planning Ordinance

☐

Design Review Board Approval

☐

Sign Permit Approval

### 11.4.1.2 WALL SIGN

A sign directly attached and parallel to a building façade or dependent upon a building for its support. Wall signs may consist of sign board, metal, or channel letters mounted directly on wall or via raceway, neon, or paint directly on brick.

#### 1. Permitted Location

7D

Building facades that face the right of way, pedestrian passageways, and/or parking associated with the establishment.

#### 2. Area & Dimentions

7D

Maximum sign area per facade is five percent of the ground floor facade area on which the sign is located OR 24 square feet, whichever is greater. The Design Review Board must approve all signs greater than 24 square feet.

For multi-bay, multi-tenant buildings, the facade area shall include only that portion of the facade designed for a specific tenant.

#### 3. Height

7D

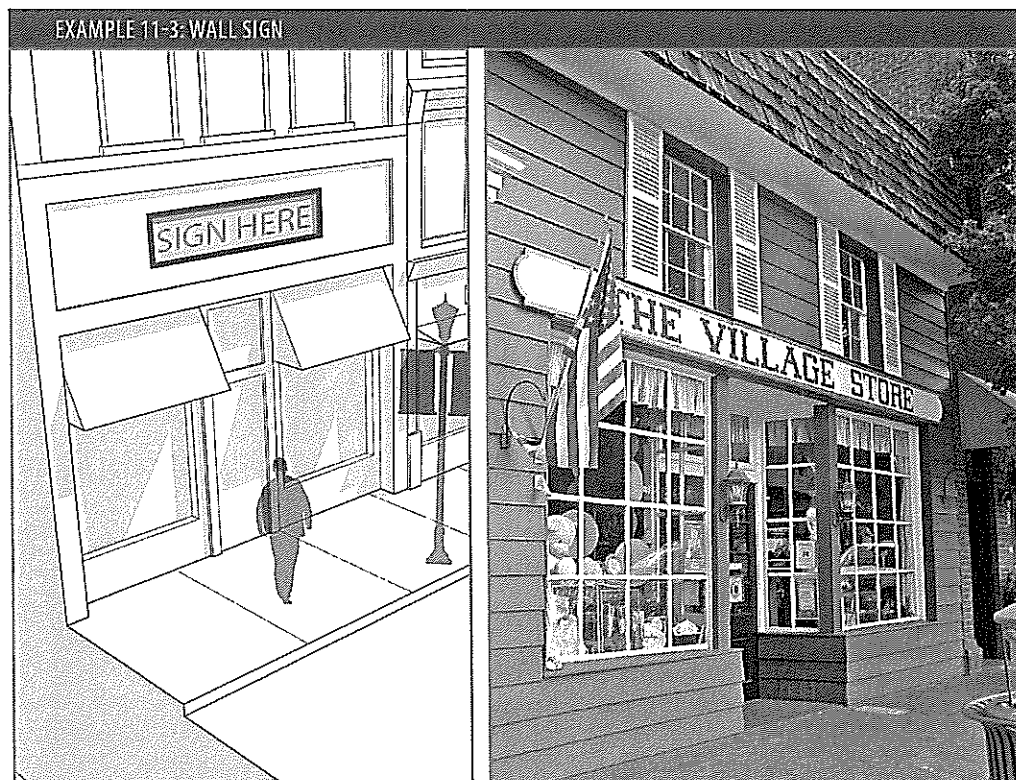
The top of a wall sign shall not exceed 18 feet above grade.

#### 4. Additional Requirements

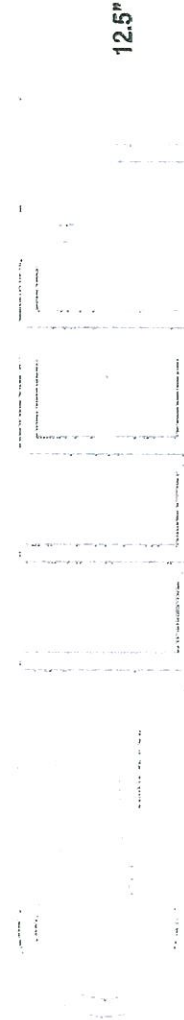
7D

Internally illumintaed signs, including LED signs, are not permitted.

Signs must either be a minimum of 1.5 inches thick or include a 1.5 to 2 inch border.







64"  
1 1/2" White HDU letters

12.5"

Date	08/24/2017_R2
Designer	MP
Salesperson	GD
Sign Style:	Cut Letters
Additional:	
Material	1/2" Cut Acrylic
Trim	N/A
Face	N/A
Mounting	N/A
Colors	No PMS
Job Description	
Installation method	
Approval	

**Artisan**  
signs & graphics  
Creatively promoting your brand

18335 Old Statesville Rd.  
Cornelius, NC 28031  
704-655-9100  
www.artisansignsandgraphics.com



---

**Agenda Title:** DCPC Sign

**Summary:**

---

**ATTACHMENTS:**

<b>Description</b>		<b>Upload Date</b>	<b>Type</b>
❏	Staff Analysis	10/11/2017	Presentation
	Application and Exhibits	10/11/2017	Exhibit

**Town of Davidson, NC**  
**Design Review Board: Staff Analysis**  
**Project Manager: Chad Hall**  
**October 18, 2017**

**Project:** Monument Sign  
**Location:** 100 North Main Street  
**Applicant:** Davidson College Presbyterian Church  
**Designer:** Rapid Signs  
**Planning Area:** College Campus within Local Historic District

---

The applicant proposes a monument sign at the northeast corner of North Main Street and Concord Road; this will replace an existing monument sign. The sign will be located on the back side of the sidewalks and is to be shaped in an arc, with “wings.” Materials for the monument structure are brick with a concrete cap. The sign area is proposed with raised aluminum plate lettering on an aluminum sign panel. Centered on the panel in the upper portion is the church logo and website. The sign panel also includes a raised 1.5” outside border. The sign area is 16 square feet and the monument is to be four feet tall.

Landscaping will be provided in front of the sign. Low wattage lighting will illuminate the sign; lighting not presently shown.

**DAVIDSON PLANNING ORDINANCE:**

***Section 11.2.2.B Required Permits***

*All signs proposed to be affixed to a structure in the Local Historic Overlay District must be approved by the Design & Historic Review Board to determine that the signage meets the provisions of this section and any additional historic district requirements.*

***Section 11.5.4 Monument Signs for Religious Institutions and Schools***

- A. Description: A freestanding sign having the entire bottom of the sign affixed to the ground and used for the purpose of identifying a Civic or Educational/Institutional use only, as defined in Section 2.
- B. Permitted Location: One institutional ground sign is allowed along the primary frontage of a permitted Civic or Educational/Institutional use.
- C. Maximum Area: 24 square feet
- D. Maximum Height: Four feet
- E. Number: One ground sign is permitted per Civic or Educational/Institutional development if no Freestanding Signs are used per Section 11.3.4.
- F. The sign may contain an area for changeable typeface to display messages throughout the year.

## **HISTORIC DISTRICT DESIGN GUIDELINES:**

### ***Signs***

5. *Introduce new signs, if needed, in traditional locations where they do not diminish or compromise the overall historic character of the building, site, or district. Design new signs to be compatible in location, configuration, orientation, height, material, scale, and detail with the historic character of the building, site, and district.*
7. *Construct new signs in traditional materials, such as wood, stone, or metal, or apply lettering and graphics on display windows or awning fabric. It is not appropriate to introduce signage in contemporary materials such as plastics or to introduce internally lighted signage that is incompatible with the overall historic character of the district.*

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# Certificate of Appropriateness

DCPL SIGN

(Name of Project)

## Application Requirements

### Date Received

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\_\_\_\_\_  
\_\_\_\_\_

- ☐ Application Fee per Town of Davidson Fee Schedule
- ☒ Contact Information
- ☒ Project Description  
(including General Statement of Intent)
- ☐ Statement of Compliance with Section 9 and Section 22
- ☐ Master Plan or Conditional Planning Area  
(including all documents, plans, maps, and conditions of approval)
- ☐ Environmental Inventory in accordance with Section 8.2  
(including adjacent properties and buildings)
- ☐ Color Photos  
(including existing and adjacent sites and building(s) taken from the perspective of the public streets adjacent to the site)
- ☐ Site Schematic Design in accordance with Section 8.8
- ☐ Building Schematic Design in accordance with Section 8.4
- ☐ Landscape Schematic Design in accordance with Section 8.6
- ☐ Building Perspective in accordance with Section 8.4 D
- ☐ Building Materials/Colors
- ☐ 4-Sided Building Elevations and Color Front Elevations

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

 BRAD JONES  
Applicant's Signature

10/5/2017  
Date



## Certificate of Appropriateness

DCPC SIGN

(Name of Project)

### Contact Information

#### Applicant's Information

Name:

DAVIDSON COLLEGE PRESBYTERIAN CHURCH

E-Mail:

brad.jones@bam1.com (BRAD JONES)

Mailing Address:

100 N. Main St

DAVIDSON NC 28035

Business Phone:

704-506-5942

Mobile Phone:

704-506-5942

#### Property Owner's Information

(If Different from Applicant)

Name:

E-Mail:

SAME AS ABOVE

Mailing Address:

Business Phone:

Mobile Phone:

#### Architect's Information

Name of Firm:

N/A

Architect's Name:

E-Mail:

Mailing Address:

Business Phone:

Mobile Phone:





## Certificate of Appropriateness

ALPC SIGN

(Name of Project)

### Project Description

Application Date:

10/5/2017

Project Location:

100 N. MAIN ST DAVIDSON NC

(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s):

007-012-12

Planning Area:

Master or Conditional Plan:

(Include any conditions of approval)

General Statement of Intent:

Replacing existing church sign  
with new one

#### Project Details:

Project Type:

☐

new structure

☐

addition

☐

exterior alteration

☒

sign

☐

vendor cart

☐

demolition

Building Type:

Building Materials:

Brick + mortar sign

Colors:

See attached

Architectural Features:

CONCRETE capstone that matches  
existing feature at church

Existing Site Conditions:

(include significant physical, environmental, and cultural features;  
significant and heritage trees, existing structures; and infrastructure  
and street layout)

See attached for details



## CERTIFICATE OF APPROPRIATENESS

The Design Review Board hereby certifies that the application

DAVIDSON COLLEGE PRESBYTERIAN CHURCH

Name of Applicant

DCPC SIGN

Name of Project

100 N. MAIN ST DAVIDSON NC 28035

Address

is approved for:

☐ new structure ☐ addition or expansion ☐ exterior alteration or reconstruction ☐ relocation  
☐ demolition ☐ sign(s) ☐ vendor cart ☐ exterior lighting ☐ exterior paint color(s)  
☐ other

The following conditions are attached to this approval:

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This certificate is not a permit. This certificate does not relieve any party of the responsibility of filing for and obtaining all required permits or of following all other applicable codes, ordinances, and regulations. This certificate does not negate any protective covenants or deed restrictions on the property. Any change in the applicant's plans requires the filing of a revised application with the Town of Davidson, NC.

\_\_\_\_\_  
Chair, Historic Preservation Commission

\_\_\_\_\_  
Date





option 1 - masonry wall with curved, fabricated metal background overall size: 48in tall x 8ft with 24in 'wings'



Existing Campus Sign



Church Building



Current Sign at Church

Rapid Signs, LLC  
 Rapid Signs, LLC  
 415 West Meeting St.  
 Lancaster SC 29720  
 United States  
 Phone: 803-286-7446  
 Fax : 803-285-0086  
 rapidsigns@comporium.net  
 www.rapidsignsllc.com



## Quote 1607 - ID Signage

Expiration Date : 09/16/2017

<b>Quote for</b>	<b>Contact</b>	<b>Shipping/Install</b>
Davidson College Presbyterian Church 100 N. Main St. Davidson NC 28036 United States	Brad Jones Phone : (704) 892-5641 Email : brad.jones@baml.com Address : 100 N. Main St. Davidson NC 28036 United States	

<b>Quote #</b>	<b>Quote Date</b>	<b>Sales Rep</b>	<b>Payment Terms</b>	<b>PO</b>	<b>PO Date</b>
1607	11/30/2015	Mark Baker mhbaker@comporium.net	50/50		

### Items

#	Item	Qty	Unit Price	Total	Tax
1	<b>Option (1) curved aluminum panel</b> 24"x96"x1/4" single sided, curved aluminum plate sign panel with raised aluminum plate lettering and border (per approved drawing). Background panel to be rolled from .250" aluminum plate and to fit curved brick wall (radius to be determined). Lettering and border to be CNC router cut from .250" aluminum plate. Includes coordinating with brick mason and providing a CNC cut template.	1	\$5,825.00	\$5,825.00	\$466.00
2	<b>Installation for the above</b> transport and installation to Davidson, NC	1	\$540.00	\$540.00	\$0.00

### Total

<b>Sub Total</b>	<b>Total Tax(%)</b>	<b>Final Price</b>
<b>\$6,365.00</b>	<b>\$466.00 (8.0%)</b>	<b>\$6,831.00</b>

Downpayment (50.0 %) \$3,415.50

**Notes** : Does not include permit cost or staff time to obtain permit at \$95.00 per hr.

for Davidson College Presbyterian Church

Signature

Date

We agree to your terms and conditions. Please proceed with the order.



---

**Agenda Title:** Tree Removal Request

**Summary:**

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**ATTACHMENTS:**

<b>Description</b>		<b>Upload Date</b>	<b>Type</b>
❏	Staff Analysis	10/11/2017	Presentation
	Application	10/11/2017	Exhibit

**Town of Davidson, NC  
Design Review Board: Staff Analysis  
Project Manager: Chad Hall  
October 18, 2017**

**Project:** Tree Removal  
**Location:** 107 North Main Street  
**Applicant:** Sandy Carnegie  
**Designer:** (None)  
**Planning Area:** Village Center within Local Historic District

---

The applicant proposes to remove two crepe myrtle trees flanking the entry sidewalk at 107 North Main Street. The applicant has been maintaining the trees for years, but is reporting issues with root zones and, most recently, a fungus on the trees.

**DAVIDSON PLANNING ORDINANCE:**

**Section 9.3.3 Tree Removal**

- A. *Permit Required: A permit shall be required for the removal or destruction of a large or small mature tree or trees on any property, whether publicly or privately owned. The permit shall be issued when the Planning Director has determined that at least one of the following apply:*
1. *The tree to be removed is dead, diseased or irreparably damaged, according to a certified arborist;*
  2. *The tree endangers the health or safety of the general public or structures on the property or adjacent properties;*
  3. *The tree is not a specimen tree, as defined by this ordinance;*
  4. *The tree is not within a designated conservation area, such as common open space or property protected by conservation easement;*
  5. *The tree is located within the permitted building envelop;*
  6. *Tree removal is part of a greater development plan for which an approved landscape plan has been issued pursuant to this section; an approved development plan for which an approved grading and landscape plan has been issued shall serve as the tree permit.*
- B. *For built-upon properties of record by July 2008 within the Town's incorporated limits, no large maturing tree larger than twelve inches in diameter at breast height may be removed within the maximum front, rear, or side yard setback without a permit from the town. Topping of trees is strictly prohibited. In addition, no activity that may affect a tree in the front yard setback may proceed without a tree permit. Exception: A permit is not required for the area of an approved plan designated as single family or duplex residence exclusive of open space.*

- C. *Removal of a mature tree located within in a locally designated historic district requires a Certificate of Appropriateness in addition to a tree permit. Mature trees shall be replaced by a tree of similar species type. The tree must meet the requirements of Section 9.8 and meet the objectives of the Tree Canopy Management Plan.*

#### **HISTORIC DISTRICT DESIGN GUIDELINES:**

##### ***Plantings and Site Features***

1. *Retain and preserve plantings and site features that contribute to the overall historic character of a district property or the district as a whole.*
2. *Retain and preserve the historic plantings and site features that relate district buildings to the settings—including site topography, retaining walls, mature trees, street tree canopies, hedges, foundation plantings, pedestrian alleys, and walkways.*
3. *Maintain and protect both constructed and landscape features through appropriate maintenance and pruning of plants and trees. Trim and prune trees so that their canopy is preserved. It is not appropriate to radically change the shape of a mature tree by “topping” it. Repair the surfaces and details of constructed site features using repair techniques appropriate to the specific material.*
6. *Replace damaged or diseased significant site plantings; including mature trees, hedges, and foundation plantings; with new plantings that are similar in species and that will have a similar size and appearance to the originals when they mature. It is not appropriate to remove a planting that contributes to the overall character of the historic district unless it is dead, diseased, or damaged.*

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# Certificate of Appropriateness

TREE (2) REMOVAL AT 107 N. MAIN STREET

(Name of Project)

## Application Requirements

### Date Received

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

☒

Application Fee per Town of Davidson Fee Schedule

☒

Contact Information

☒

Project Description  
(including General Statement of Intent)

☐

Statement of Compliance with Section 9 and Section 22

☐

Master Plan or Conditional Planning Area  
(including all documents, plans, maps, and conditions of approval)

☐

Environmental Inventory in accordance with Section 8.2  
(including adjacent properties and buildings)

☐

Color Photos  
(including existing and adjacent sites and building(s) taken from the perspective of the public streets adjacent to the site)

☐

Site Schematic Design in accordance with Section 8.8

☐

Building Schematic Design in accordance with Section 8.4

☐

Landscape Schematic Design in accordance with Section 8.6

☐

Building Perspective in accordance with Section 8.4 D

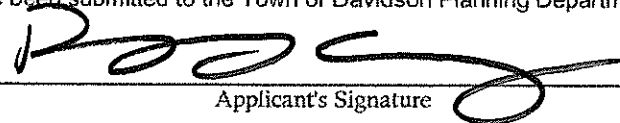
☐

Building Materials/Colors

☐

4-Sided Building Elevations and Color Front Elevations

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

  
Applicant's Signature

10/5/2017

Date



## Certificate of Appropriateness

TREE (2) REMOVAL AT 107 N. MAIN STREET

(Name of Project)

### Contact Information

#### Applicant's Information

Name: SANDY CARNEGIE  
E-Mail: pdcarnegie@gmail.com  
Mailing Address: P.O. BOX 363, DAVIDSON, NC 28036  
Business Phone: 704-892-1699 Mobile Phone:

#### Property Owner's Information

(If Different from Applicant)

Name: 107 N. MAIN, LLC  
E-Mail: pdcarnegie@gmail.com  
Mailing Address: P.O. BOX 363, DAVIDSON, NC 28036  
Business Phone: 704-892-3620 Mobile Phone:

#### Architect's Information

Name of Firm: N/A  
Architect's Name:  
E-Mail:  
Mailing Address:  
Business Phone: Mobile Phone:



## Certificate of Appropriateness

TREE (2) REMOVAL AT 107 N. MAIN STREET

(Name of Project)

### Project Description

Application Date: 10/5/2017

Project Location: 107 N. MAIN STREET, DAVIDSON, NC 28036  
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s): 003-257-03

Planning Area: VILLAGE COMMERCE AND VILLAGE CENTER-HISTORIC OVERLAY

Master or Conditional Plan: N/A  
(Include any conditions of approval)

General Statement of Intent: TO REMOVAL 2 DISEASED CREPE MYRTLES FROM FRONT  
YARD TO OPEN FRONT OF HOUSE SO VISIBLE FROM STREET

#### Project Details:

Project Type: ☐ new structure ☐ addition ☒ exterior alteration  
☐ sign ☐ vendor cart ☐ demolition

Building Type: N/A

Building Materials: N/A

Colors: N/A

Architectural Features: N/A

#### Existing Site Conditions:

(include significant physical, environmental, and cultural features; significant and heritage trees, existing structures; and infrastructure and street layout)

THE CREPE MYRTLES ARE NOT INDIGEOUS TREES AND HAVE NO CULTURAL OR HISTORICAL VALUE. THEY HIDE THE HOUSE STYLE WHICH APPEARS TO BE FOURSQUARE OR FEDERAL





## CERTIFICATE OF APPROPRIATENESS

The Design Review Board hereby certifies that the application

SANDY CARNEGIE

Name of Applicant

TREES (2) REMOVAL AT 107 N. MAIN STREET

Name of Project

107 N. MAIN STREET, DAVIDSON, NC 28036

Address

is approved for:

☐ new structure ☐ addition or expansion ☐ exterior alteration or reconstruction ☐ relocation  
☒ demolition ☐ sign(s) ☐ vendor cart ☐ exterior lighting ☐ exterior paint color(s)  
☐ other

The following conditions are attached to this approval:

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This certificate is not a permit. This certificate does not relieve any party of the responsibility of filing for and obtaining all required permits or of following all other applicable codes, ordinances, and regulations. This certificate does not negate any protective covenants or deed restrictions on the property. Any change in the applicant's plans requires the filing of a revised application with the Town of Davidson, NC.

Chair, Historic Preservation Commission

Date



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**Agenda Title:** Bexley Awnings

**Summary:**

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**ATTACHMENTS:**

Description	Upload Date	Type
☐ Staff Analysis	10/11/2017	Presentation
☐ Application and Exhibits	10/11/2017	Exhibit

**Town of Davidson, NC  
Design Review Board: Staff Analysis  
Project Manager: Chad Hall  
October 18, 2017**

**Project:** Addition of Awnings on front façade at Bexley leasing unit  
**Location:** 455 Davidson Gateway Drive  
**Applicant:** Bexley Davidson (Rachel Deas)  
**Designer:** (n/a)  
**Planning Area:** Lakeshore

---

The applicant proposes changes to the front façade at the leasing office for Bexley Davidson. At present, between the brick columns on the front facade are ornamental architectural elements, which are a grid painted in white. In order to increase visibility of the office, the proposal is to add green awnings between the columns.

No signage is proposed on the awnings. No lighting is proposed as part of this project.

**DAVIDSON PLANNING ORDINANCE:**

***Section 4.4.1.F. Architectural Details***

6. *The main entry to a building should be emphasized at the street level. Appropriate methods include, but are not limited to:*
  - a. *Recessing the door within a larger cased opening.*
  - b. *Flanking the door with columns, decorative fixtures or other details.*
  - c. *An awning or canopy, providing a sheltered transition to the interior.*

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# Design Review

Berley Davidson Awning Installation  
(Name of Project)

## Application Requirements

Date Received

\_\_\_\_\_  
\_\_\_\_\_  
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- ☒ Application Fee per Town of Davidson Fee Schedule
- ☒ Contact Information
- ☒ General Statement of Intent  
(Use, building type, approx. square footage, height, design features)
- ☐ Statement of Compliance with Section 2
- ☐ Master Plan or Conditional Planning Area  
(Including all documents, plans, maps, and conditions of approval)
- ☐ Environmental Inventory in accordance with Section 14.15.1  
(Including adjacent properties and buildings)
- ☒ General Description  
(Including a description and color photographs to existing / adjacent site)
- ☐ Site Schematic Design in accordance with Section 14.15.7
- ☐ Building Schematic Design in accordance with Section 14.15.3  
(Including rendered elevations of each façade per 14.15.3 C)
- ☐ Landscape Schematic Design in accordance with Section 14.15.5
- ☒ Building Perspective
- ☒ Building Materials/Colors  
(Roofing, siding, doors, windows, etc.)

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

[Signature]

Applicant's Signature

8/30/17  
Date



## Design Review

Berley Davidson Awning Installation  
(Name of Project)

### Contact Information

#### Applicant's Information

Name: Berley Davidson - Property Manager Rachel Deas  
E-Mail: rdeas@weinsteinproperties.com  
Mailing Address: 455 Davidson Gateway Dr  
Davidson, NC 28036  
Business Phone: 704-439-0550 Mobile Phone: 757-439-1802

#### Property Owner's Information

(If Different from Applicant)

Name: Weinstein Properties - Regional Property Director - Lee Horton  
E-Mail: lhorton@weinsteinproperties.com  
Mailing Address: 3951 Stillmen Parkway  
Glen Allen, VA 23060  
Business Phone: 919-653-1945 Mobile Phone: 804-283-4725

#### Architect's Information

Name of Firm: N/A  
Architect's Name: \_\_\_\_\_  
E-Mail: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Business Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_



## Design Review

Becky Davidson Awning Installation  
(Name of Project)

### Project Description

Application Date: 8/30/17

Project Location: Becky dt Davidson - 455 Davidson Gateway Drive

Tax Parcel(s): \_\_\_\_\_

Planning Area: \_\_\_\_\_

Overlay District: \_\_\_\_\_

Master or Cond. Plan  
(Attach Conditions of Approval) \_\_\_\_\_

Gen. Statement of Intent: Install Awning over front entrance to leasing office at Becky Davidson to increase visibility

### Project Details:

- Project Type:
  - ☐ Individual Bldg.
  - ☐ Master Plan
  - ☐ Conditional Planning Area
  - ☐ Sign - OTHER - Awning Installation
- Building Type:
  - ☐ Detached House
  - ☐ Townhouse
  - ☐ Attached House (Tri- or Quadplex)
  - ☐ Institutional
  - ☐ Live/Work
  - ☒ Multi-family (Apts., Condos, Flats)
  - ☐ Workplace
  - ☐ Storefront
  - ☐ Accessory Structure
- Use(s): Increase visibility for customers
- Height & Stories: \_\_\_\_\_
- Square Footage: \_\_\_\_\_
- Building Materials: Aluma (L120) / Colork120 roofing material

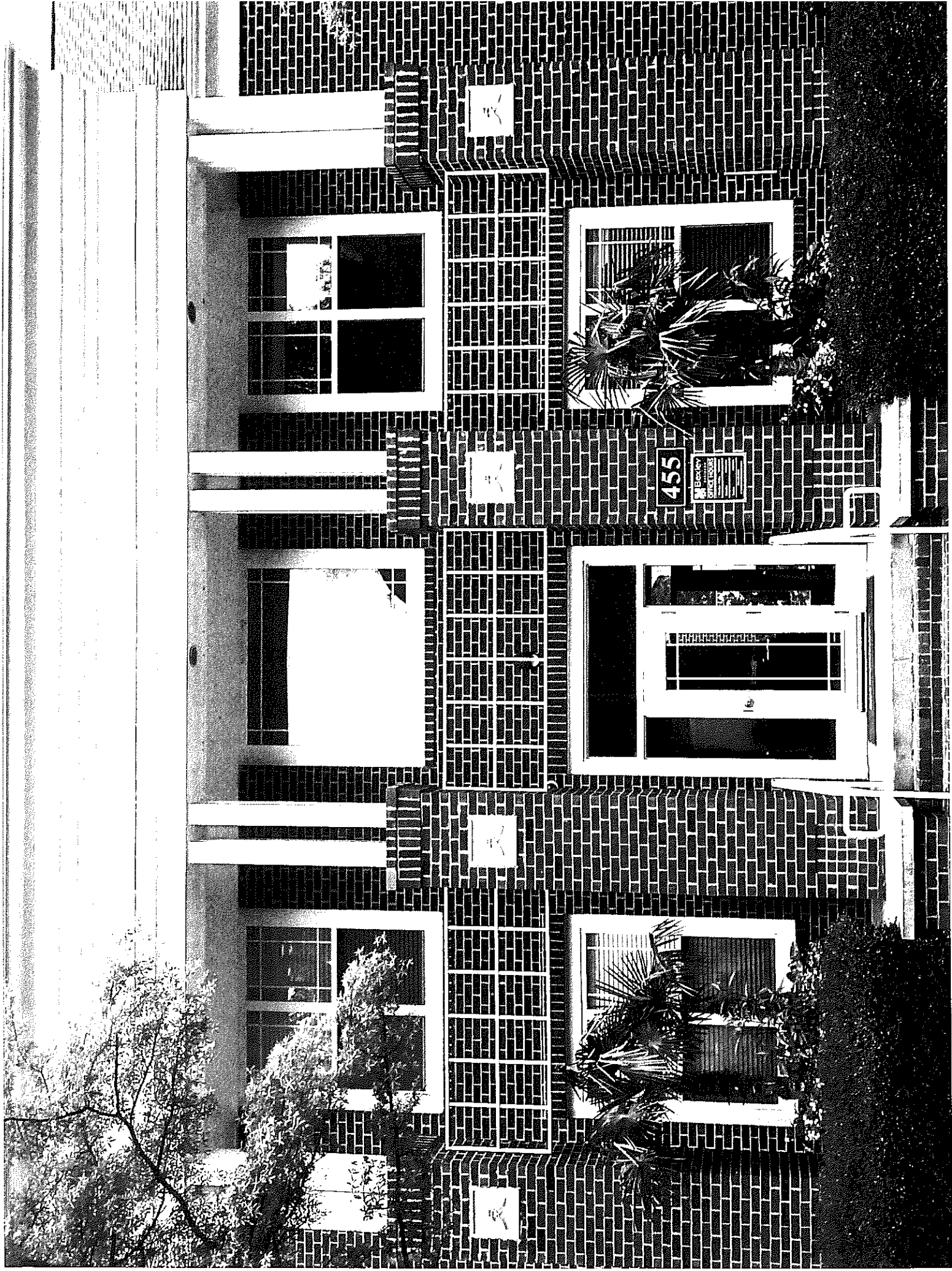
### Architectural Features:

### Existing Site

### Conditions:

See 14.12.2.D

See photographs  
Landscaped building adjacent to street



455

BECKY  
STRUCTURES







---

**Agenda Title:** Davidson Bay Mail Kiosk

**Summary:**

---

**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
<input type="checkbox"/> Staff Analysis	10/11/2017	Presentation
<input type="checkbox"/> Application	10/11/2017	Exhibit
<input type="checkbox"/> Site	10/11/2017	Exhibit
<input type="checkbox"/> Elevation	10/11/2017	Exhibit
<input type="checkbox"/> Shingle color	10/11/2017	Exhibit

**Town of Davidson, NC  
Design Review Board: Staff Analysis  
Project Manager: Chad Hall  
October 18, 2017**

**Project:** Mail Kiosk  
**Location:** 930 Naples Drive (Davidson Bay)  
**Applicant:** Davidson Bay (Syd Howell)  
**Designer:** Gerry Goldbach  
**Planning Area:** Village Infill

---

The applicant proposes a mail kiosk station at 930 Naples Drive in a common open space area at Davidson Bay.

The kiosk station is approximately 15'x15' and features a hip roof. The structure is an open-air structure with columns at the corners. The kiosks will be central within the structure. There is to be a concrete foundation.

Materials are listed as hardiclad wood. The kiosk structure colors for the walls, columns, trim and are to be white and shingles are proposed as "weathered wood." The kiosks, or cluster mail boxes, are clear anodized aluminum.

The Davidson Planning Ordinance does not have language pertaining to mail kiosks, other than stating that individual mailboxes are not permitted.

Staff is in the process of creating Additional Regulations for kiosk locations, mainly ensuring that they are not installed directly on a sidewalk, but rather off of it so that pedestrian movement can continue unimpeded. If the box will require being loaded from the rear, staff will require enough sidewalk area around the box so that the postmaster does not have to stand in grass/mud. It is also unclear at this time if staff will be requiring any landscaping/screening associated with cluster box locations.

**DAVIDSON PLANNING ORDINANCE:**

**4.4 GENERAL BUILDING DESIGN STANDARDS**

**Section 4.4.1 Standards**

**E. Materials**

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*

**4.5 SPECIFIC BUILDING TYPE RECOMMENDATIONS**

**Section 4.5.1 Institutional Buildings**

*Institutional buildings are typically used for public or semi-public purposes. These buildings must be designed appropriately to fit within neighborhoods as integral parts of the community.*

*Institutional buildings serve as places of assembly. They have a sense of prominence within their respective neighborhoods. Their uses may include churches, libraries, post offices, and schools. All institutional buildings are subject to the Individual Building process and Design Review Board approval.*

*A. The scale and architectural sophistication of these buildings should support their civic importance and complement Davidson's existing civic buildings.*

### **Section 6.3.2 Development Prohibitions**

*The following elements shall be prohibited from all types of development:*

*E. Individual mailboxes.*

---

T:\Planning\_Shared\_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2017 DRB Agendas\20171018\_DRB Agenda\Dav Bay-mail kiosk\20171011\_Dav Bay-Kiosks\_Staff Analysis.doc





Dear Developer,

The Town of Davidson and the Planning staff appreciate your interest in our community as a development opportunity and hope you find your venture a pleasant and rewarding experience.

This packet contains step-by-step information to make the design review process easier to understand and complete. In order to ensure that your project results in a development that serves both your needs and the community's needs, it is reviewed under the regulations of the Town of Davidson Planning Ordinance, in particular Section 1 General Principles for Planning in Davidson, Section 2 Planning Areas, and Section 4 Site & Building Design Standards. The General Principles are:

- We must preserve Davidson's character and sense of community.
- We must preserve and enhance Davidson's unique downtown.
- We must encourage alternative means of active transportation.
- We must use our scarce land resources wisely.
- We must create an environment that fosters diversity.
- We must manage growth so the town can provide public facilities and services apace with development.
- We must enhance our quality of life through architecture and design.

The Planning Ordinance is available in its entirety on the Town of Davidson website:  
<http://townofdavidson.org/DocumentCenter/View/6553>.

The Design Review Board works hand in hand with the developer and the architect to ensure the scope of work approved by the Design Review Board, including all conditions of approval and agreements, is satisfactorily achieved. The enclosed information should help guide you through this process.

A project manager from the Planning Department will work closely with you throughout the process and is available to answer any questions or concerns you may have. You may reach them by the phone number or email on the business card included in this packet.

We look forward to working with you to make Davidson the best small town in North Carolina.

Sincerely,

Jason Burdette, AICP  
Planning Director



## Design Review Application Packet Table of Contents

### Introduction

1. Design Review Welcome Letter
2. Table of Contents

### Forms, Process, & Requirements

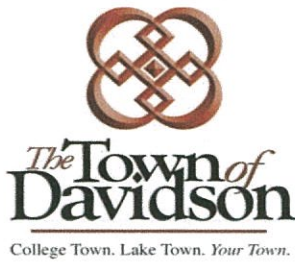
3. Overview: Design Review / Development Process
4. Application Requirements
5. Contact Information
6. Project Description
7. Statement of Compliance
8. Planning Ordinance Excerpt: Design Review Process & Documentation Requirements
9. Verification Process
10. Verification Letter – Construction Documents
11. Verification Letter – Construction / As-Built

### Mecklenburg County Requirements

12. Address Requirements
13. Air Quality Zoning Instructions

### Additional Information & Instructions

14. Planning Ordinance Excerpt: Termination of Applications & Approvals
15. Town of Davidson Fee Schedule



# Design Review

(Name of Project)

## Development Process

Date Completed	Outline of Steps & Checklist
_____	<input type="checkbox"/> 1. Initial Meeting
_____	<input type="checkbox"/> 2. Application and Fee
_____	<input type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
_____	<input type="checkbox"/> 4. Planning Director Site Schematic Design Review
_____	<input type="checkbox"/> 5. Design Review Board Approval
_____	<input type="checkbox"/> 6. Building Construction Documents
_____	<input type="checkbox"/> 7. Site and Landscape Construction Documents
_____	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
_____	<input type="checkbox"/> 9. Building Permit Approval
_____	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
_____	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
_____	<input type="checkbox"/> 12. Certificate of Occupancy

*\* For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*





# Design Review

\_\_\_\_\_  
(Name of Project)

## Application Requirements

### Date Received

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- ☐ Application Fee per Town of Davidson Fee Schedule
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*(Use, building type, approx. square footage, height, design features)*
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*(Including all documents, plans, maps, and conditions of approval)*
- ☐ Environmental Inventory in accordance with Section 14.15.1  
*(Including adjacent properties and buildings)*
- ☐ General Description  
*(Including a description and color photographs to existing / adjacent site)*
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- ☐ Building Schematic Design in accordance with Section 14.15.3  
*(Including rendered elevations of each façade per 14.15.3 C)*
- ☐ Landscape Schematic Design in accordance with Section 14.15.5
- ☐ Building Perspective
- ☐ Building Materials/Colors  
*(Roofing, siding, doors, windows, etc.)*

*As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.*

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Date



## Design Review

DAVIDSON BAY MAILBOXES

(Name of Project)

### Contact Information

#### Applicant's Information

Name:

Syd Howell

E-Mail:

showell@davidsonbay.com

Mailing Address:

416 ARMOUR ST

DAVIDSON, NC 28036

Business Phone:

Mobile Phone: 704 608 4433

#### Property Owner's Information

(If Different from Applicant)

Name:

DOMINIC LIBURDI

E-Mail:

dliburdi@gmail.com

Mailing Address:

416 ARMOUR ST.

DAVIDSON NC 28036

Business Phone:

Mobile Phone: 248 760 3427

#### Architect's Information

Name of Firm:

GERALD GOLDBACH ARCHITECT

Architect's Name:

W. NEIL FORTUNE

E-Mail:

Mailing Address:

P.O. Box 11068

CHARLOTTE NC 28220

Business Phone:

704 366 3639

Mobile Phone:



## Design Review

DAVIDON Bay Mailboxes Risk  
(Name of Project)

### Project Description

Application Date:

Project Location:

Tax Parcel(s):

Planning Area:

Overlay District:

Master or Cond. Plan

(Attach Conditions of Approval)

Gen. Statement of  
Intent:

### Project Details:

• Project Type:



Individual Bldg.



Master Plan



Conditional Planning Area



Sign

• Building Type:



Detached House



Townhouse



Attached House (Tri- or Quadplex)



Institutional



Live/Work



Multi-family (Apts., Condos, Flats)



Workplace



Storefront



Accessory Structure

• Use(s):

• Height & Stories:

• Square Footage:

• Building Materials:



MAILBOXES FOR NEIGHBORHOOD.



1 STORIE



224



HARDIE CLAD WOOD, CEMENT FOUNDATION

Architectural

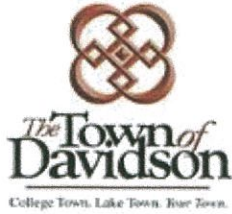
Features:

Existing Site

Conditions:

See 14.12.2.D





# Design Review

MAILBOX Kiosk  
(Name of Project)

## Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.

☐

### Planning Ordinance

<http://www.townofdavidson.org/1006/Planning-Ordinance>

(Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)

☐

### Section 2 Planning Areas

☐

Permitted Use/Add'l Req.

☐

Not Permitted

☐

Permitted Building Type

☐

Not Permitted

☐

Meets Setback Criteria

☐

Does Not Meet

☐

Meets Open Space Criteria

☐

Does Not Meet

☐

Meets Density Criteria

☐

Does Not Meet

☐

### Section 4 Design Standards

☐

General Site Design Criteria (4.3)

☐

General Building Design Criteria (4.4)

☐

Specific Building Type Criteria (4.5)

☐

Existing Industrial Campuses Criteria (4.6)

☐

Renovation of Existing Structures Criteria (4.7)

☐

### Section 8 Parking & Driveways

☐

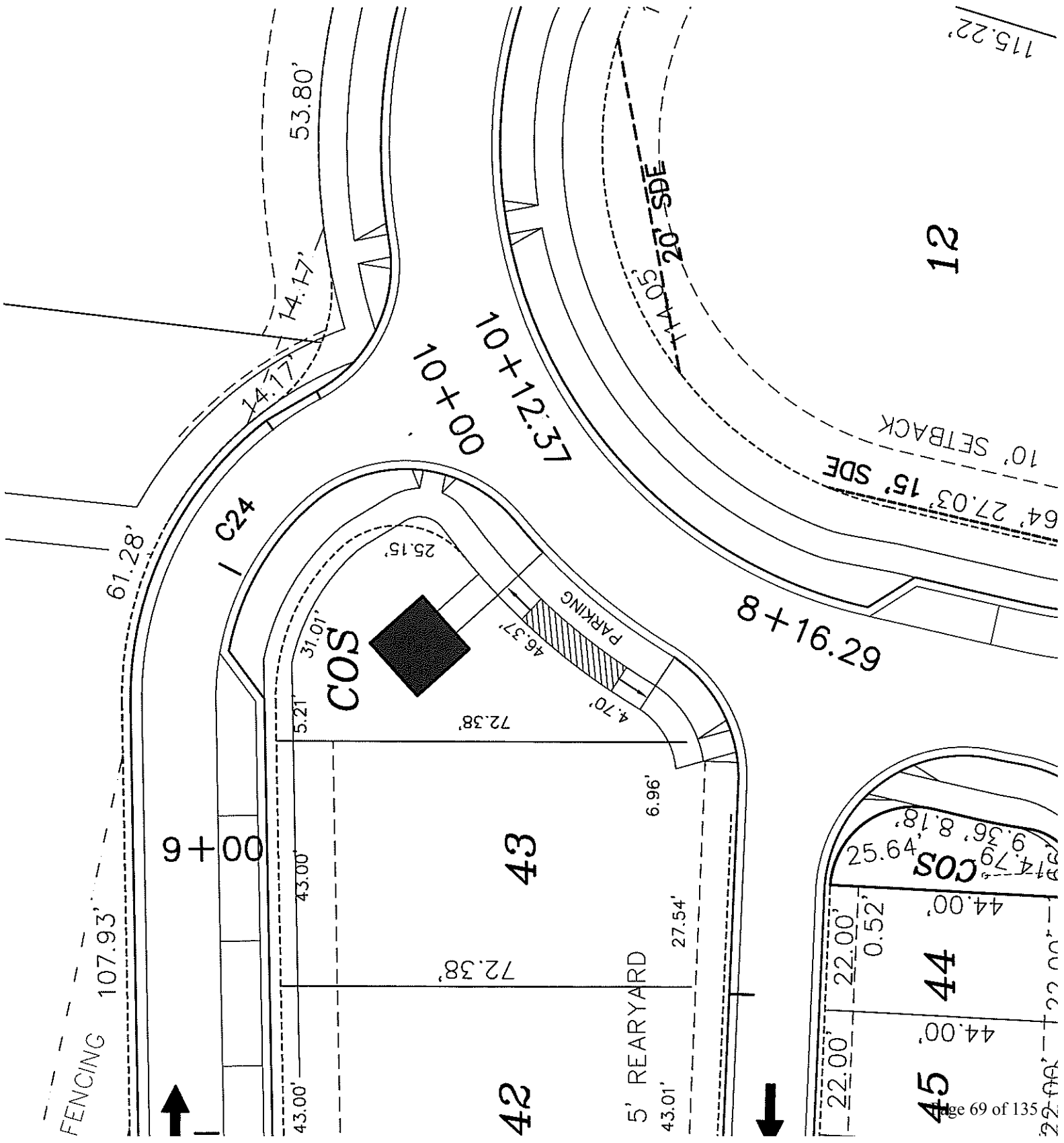
### Section 9 Tree Preservation, Landscaping & Screening

☐

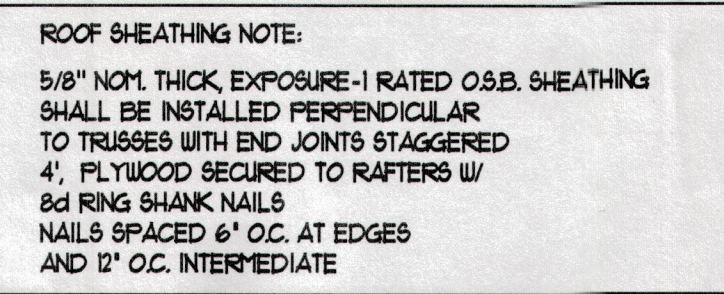
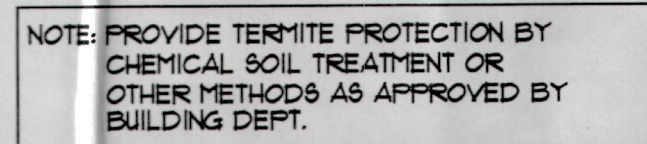
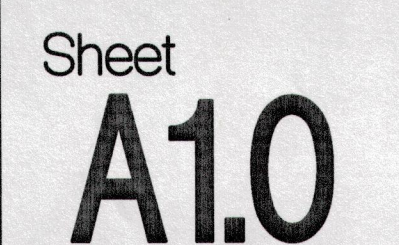
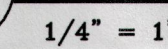
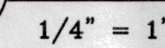
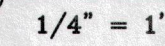
### Section 10 Lighting

☐

### Section 22 Local Historic District Guidelines






$$3/4'' = 1'$$

$$3/4'' = 1$$










---

**Agenda Title:** Accessory Structure - 105 College Dr

**Summary:**

---

**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
▣ Staff Analysis	10/11/2017	Presentation
▣ Application	10/11/2017	Exhibit
▣ Site	10/11/2017	Exhibit
▣ Elevations and Plans	10/11/2017	Exhibit



**Town of Davidson, NC  
Design Review Board: Staff Analysis  
Project Manager: Chad Hall  
October 18, 2017**

**Project:** Accessory Structure (over 650 square feet)  
**Location:** 105 College Drive  
**Applicant:** Lloyd Hartsell for George and Barbara Guise  
**Designer:** Lloyd Hartsell Custom Homes  
**Planning Area:** Village Infill (Yellow Overlay)

---

The applicant is making repairs and expanding a detached garage in the rear yard at 105 College Drive, accessed from Lorimer Road. There is an existing detached garage at this location that suffered damage when a tree limb fell upon the structure. In addition to the repairs, the scope includes adding a living area above the garage, which was previously one story.

The footprint of the existing structure is in excess of 650 square feet (743); the upstairs addition also requires a set of stairs to be added on the back side of the detached garage (interior to the lot in the rear yard), expanding the footprint further. The proposed detached garage footprint after the stairwell addition is proposed to be 871 square feet, still below 30% of the footprint of the principal structure and not in excess of 900 square feet.

The proposed additions to the detached garage features a front facing shed dormer centered on the roof facing Lorimer Road. On the rear, the stairwell addition is centered on the rear elevation.

The design is similar to the original detached garage. Materials match the principal dwelling with white hardiboard siding, natural stone and asphalt shingles. Colors are to remain the same and match the home.

**DAVIDSON PLANNING ORDINANCE:**

***Section 4.5.8 Accessory Structures***

***B. Size of Accessory Structure***

- 2. Any accessory structure over 650 square feet of first floor area and all accessory structure ancillary to non-residential building types shall be reviewed by the Design Review Board, in accordance with the procedures in Section 14.*

***Section 4.4.1 General Building Design Standards***

***E. Materials***

- 1. Materials shall be selected for suitability to the type of building and design for which they are used.*
- 4. Building materials and colors shall be:*
  - a. Complementary to the materials already being used in the neighborhood.*

*F. Architectural Details*

- 1. Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.*
  - 4. Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*
- 

T:\Planning\_Shared\_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2017 DRB Agendas\20171018\_DRB Agenda\105 College Dr-acc structure\20171011\_105 College Dr-Access Structure\_Staff Analysis.doc





## Design Review

Guise Residence 105 College Drive

(Name of Project)

### Contact Information

#### Applicant's Information

Name:

Lloyd Hartzell Custom Homes, Inc.

E-Mail:

lhartzell4@outlook.com

Mailing Address:

2332 Vernon Drive

Charlotte, NC 28211

Business Phone: 704-363-5727

Mobile Phone: Same

#### Property Owner's Information

(If Different from Applicant)

Name:

George & Barbara Guise

E-Mail:

geoguisse@gmail.com

Mailing Address:

105 College Drive

Davidson NC 28036

Business Phone:

704-999-6868

Mobile Phone:

Same

#### Architect's Information

Name of Firm:

N/A

Architect's Name:

E-Mail:

Mailing Address:

Business Phone:

Mobile Phone:



# Design Review

Guise Residence 105 College Drive

(Name of Project)

## Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.



### Planning Ordinance

<http://www.townofdavidson.org/1006/Planning-Ordinance>

(Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)



### Section 2 Planning Areas



Permitted Use/Add'l Req.



Not Permitted



Permitted Building Type



Not Permitted



Meets Setback Criteria



Does Not Meet



Meets Open Space Criteria



Does Not Meet



Meets Density Criteria



Does Not Meet



### Section 4 Design Standards



General Site Design Criteria (4.3)



General Building Design Criteria (4.4)



Specific Building Type Criteria (4.5)



Existing Industrial Campuses Criteria (4.6)



Renovation of Existing Structures Criteria (4.7)



### Section 8 Parking & Driveways



### Section 9 Tree Preservation, Landscaping & Screening



### Section 10 Lighting



### Section 22 Local Historic District Guidelines

## 105 College Drive Statement of Compliance

Planning ordinance- garage at entry level/ one bedroom suite above.

### Planning Areas

- Using the garage for a garage and the suite as a living area for family member.
- Upstairs suite
- The only portion of added footprint is the stairwell which measure 7' x 16'4".  
The current home and garage structures are beyond the proposed stairwell location.

### Design Standards

- There is currently a garage at 105 College Drive. The suite we propose to add above the garage only slightly alters the look of the current garage. The building materials and architectural features will be the same as the current garage, which is the same as the home on the property. The only noticeable changes will be the addition of the dormer, the addition of the stairway entry, and the roof pitch will change from a 10:12 to a 12:12 pitch. Actually not sure the roof pitch will be noticeable, as the roof on the home is substantially higher.



# Design Review

Grove Residence 105 College Drive  
(Name of Project)

## Project Description

Application Date: 9/28/2017

Project Location: 105 College Drive, Davidson NC 28036

Tax Parcel(s): 00702103

Planning Area: Davidson

Overlay District: ? Mecklenburg

Master or Cond. Plan  
(Attach Conditions of Approval)

Gen. Statement of Intent: The addition of an apartment above the current garage.

### Project Details:

• Project Type:

☐ Individual Bldg. ☐ Master Plan ☐ Conditional Planning Area

☐ Sign

• Building Type:

☐ Detached House ☐ Townhouse ☐ Attached House (Tri- or Quadplex)

☐ Institutional ☐ Live/Work ☐ Multi-family (Apts., Condos, Flats)

☐ Workplace ☐ Storefront ☐ Accessory Structure

• Use(s):

garage / apartment

• Height & Stories:

2

• Square Footage:

garage level = 898 Apartment = 619

• Building Materials:

Hard Siding, natural stone. Same as home.

Architectural Features:

shutters & roof, paint, stone, siding to match existing home.

Existing Site Conditions:

Residential single family home.

See 14.12.2.D



**PLOT PLAN FOR PERMIT APPLICATION  
ONE/TWO FAMILY, MODULAR, MOBILE HOME OR ZONING USE**

<b>LOCATION</b>	STREET #	(N,S,E,W)	STREET NAME	(AV, RD, ST, etc)	<b>PERMIT #</b>
	105		College Drive	Drive	
	SUITE/UNIT(S):				
<b>EXAMPLES / PLOT PLAN</b>	TAX JURISDICTION: (Check One)				
	<input type="checkbox"/> 0-Mecklenburg <input type="checkbox"/> 1-Charlotte <input checked="" type="checkbox"/> 2-Davidson <input type="checkbox"/> 3-Cornellius <input type="checkbox"/> 4-Pineville <input type="checkbox"/> 5-Matthews <input type="checkbox"/> 6-Huntersville <input type="checkbox"/> 7-Mint Hill				
	TAX PARCEL #     JOB #				
<div style="display: flex; justify-content: space-between;"> <div style="width: 40%;"> </div> <div style="width: 55%;"> <p align="center"><b>- INSTRUCTIONS -</b></p> <p>In the space provided below, draw plot plan as neatly and accurately as possible, from survey if available.</p> <ol style="list-style-type: none"> <li>1. Draw street(s) and right-of-way(s).</li> <li>2. Draw property lines with dimensions.</li> <li>3. Draw proposed and existing buildings showing any attached porch(es), deck(s), chimney(s), carport(s), or garage(s), etc...</li> <li>4. Show distances of buildings from property lines or other structures.</li> <li>5. Separate application and plot plan required for each building.</li> </ol> </div> </div>					
<div style="display: flex; justify-content: space-between;"> <div style="width: 40%;"> </div> <div style="width: 55%;"> <p align="center"><b>- PLOT PLAN -</b></p> </div> </div>					

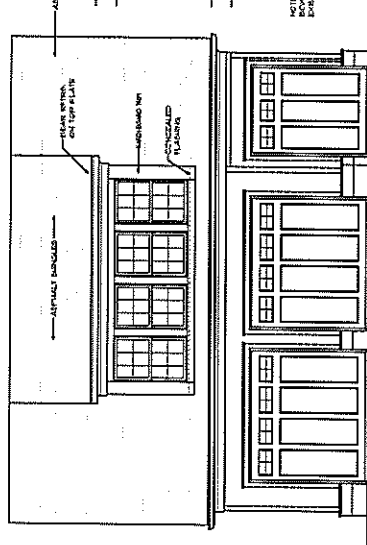
ALL EXISTING AND PROPOSED BUILDING(S) ON LOT ARE SHOWN WITH MEASUREMENTS INDICATED

Lloyd Hartsell	9/13/2017	Lloyd Hartsell
APPLICANT'S SIGNATURE	DATE	PRINT APPLICANT'S NAME

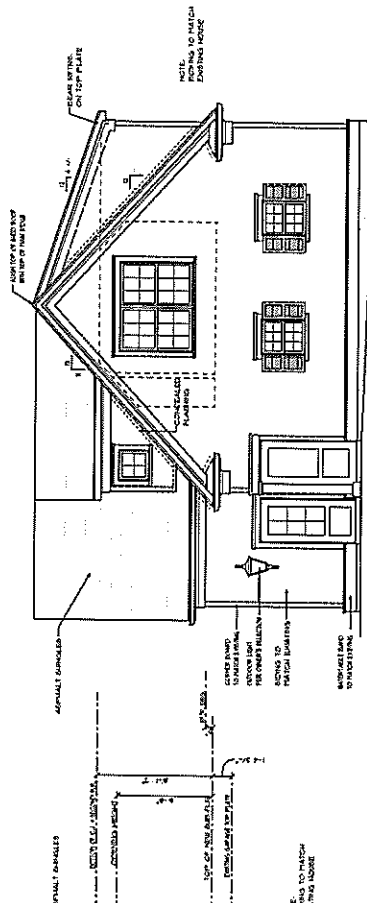
CHARLOTTE-MECKLENBURG BUILDING STANDARDS DEPARTMENT  
P.O. BOX 31507 • CHARLOTTE, NC 28231 • 704.378.2833  
9-83

**ORIGINAL**

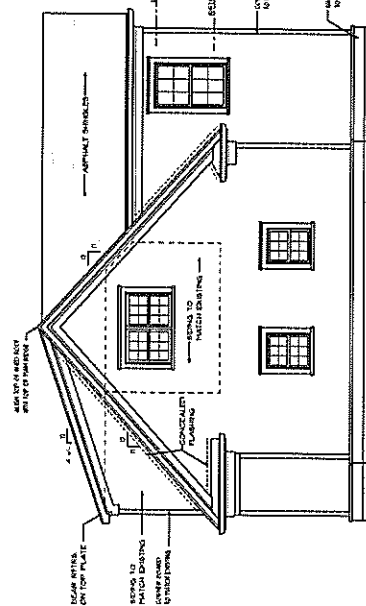
APPROVED BY
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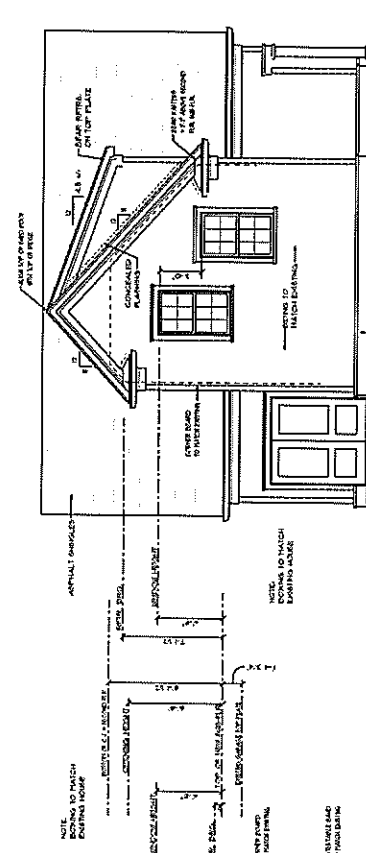
FRONT ELEVATION  
SCALE 1/4" = 1'-0"



LEFT ELEVATION  
SCALE 1/4" = 1'-0"



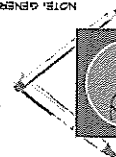
RIGHT ELEVATION  
SCALE 1/4" = 1'-0"



REAR ELEVATION  
SCALE 1/4" = 1'-0"

PROJECT: **GUISE GARAGE ADDITION**  
105 COLLEGE DRIVE  
DAVIDSON, NORTH CAROLINA

ENGINEER BY:  
ROBERT P. OLEN  
3121 PARKWAY DR.  
DAVIDSON, NC 28026  
704-321-5201



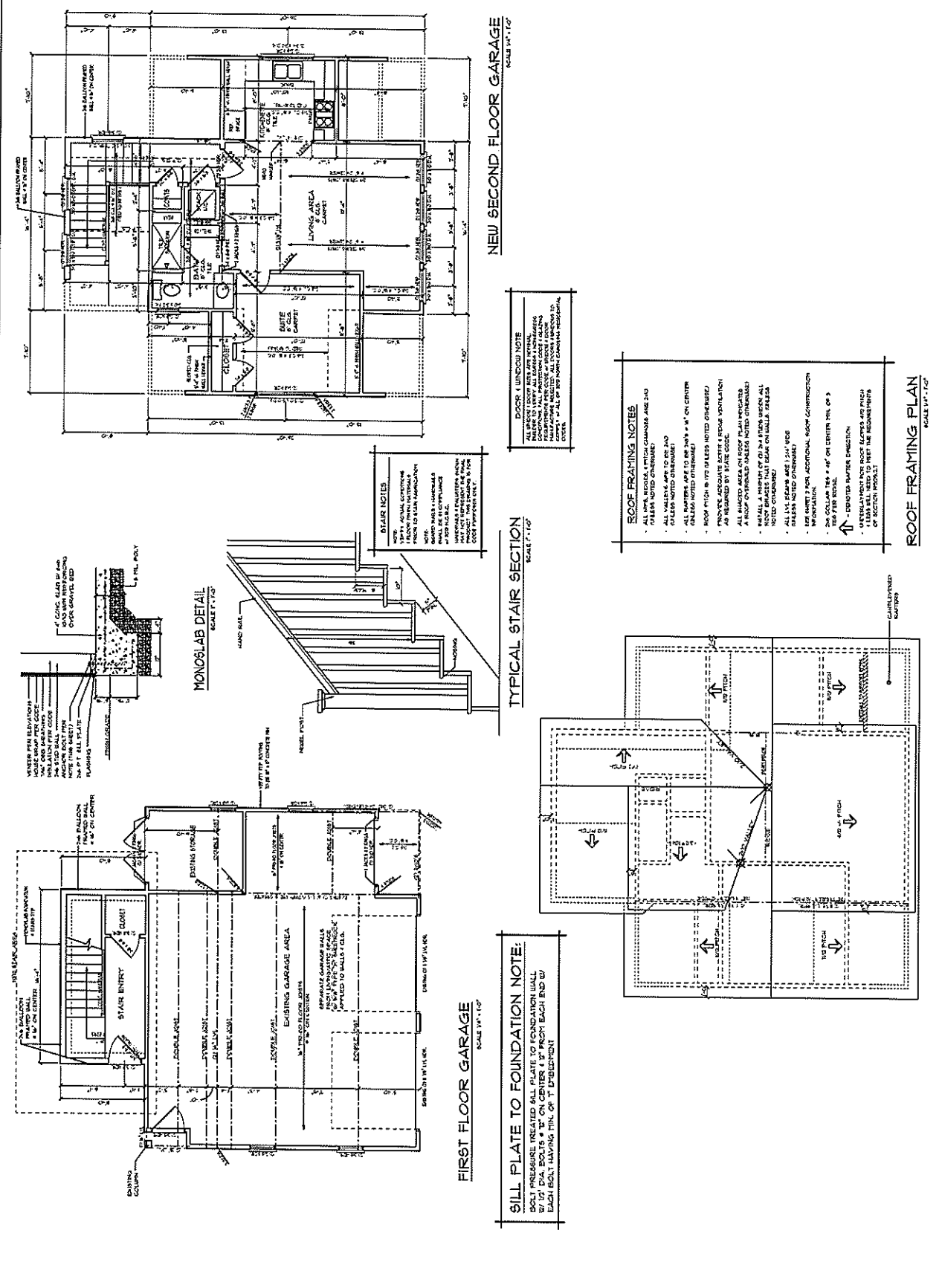
704-321-5201  
I am a duly Licensed Professional Engineer in the State of North Carolina.  
I hereby certify that I am the Engineer of Record for the project described herein.  
I am not providing any services for this project that I am not qualified to provide.

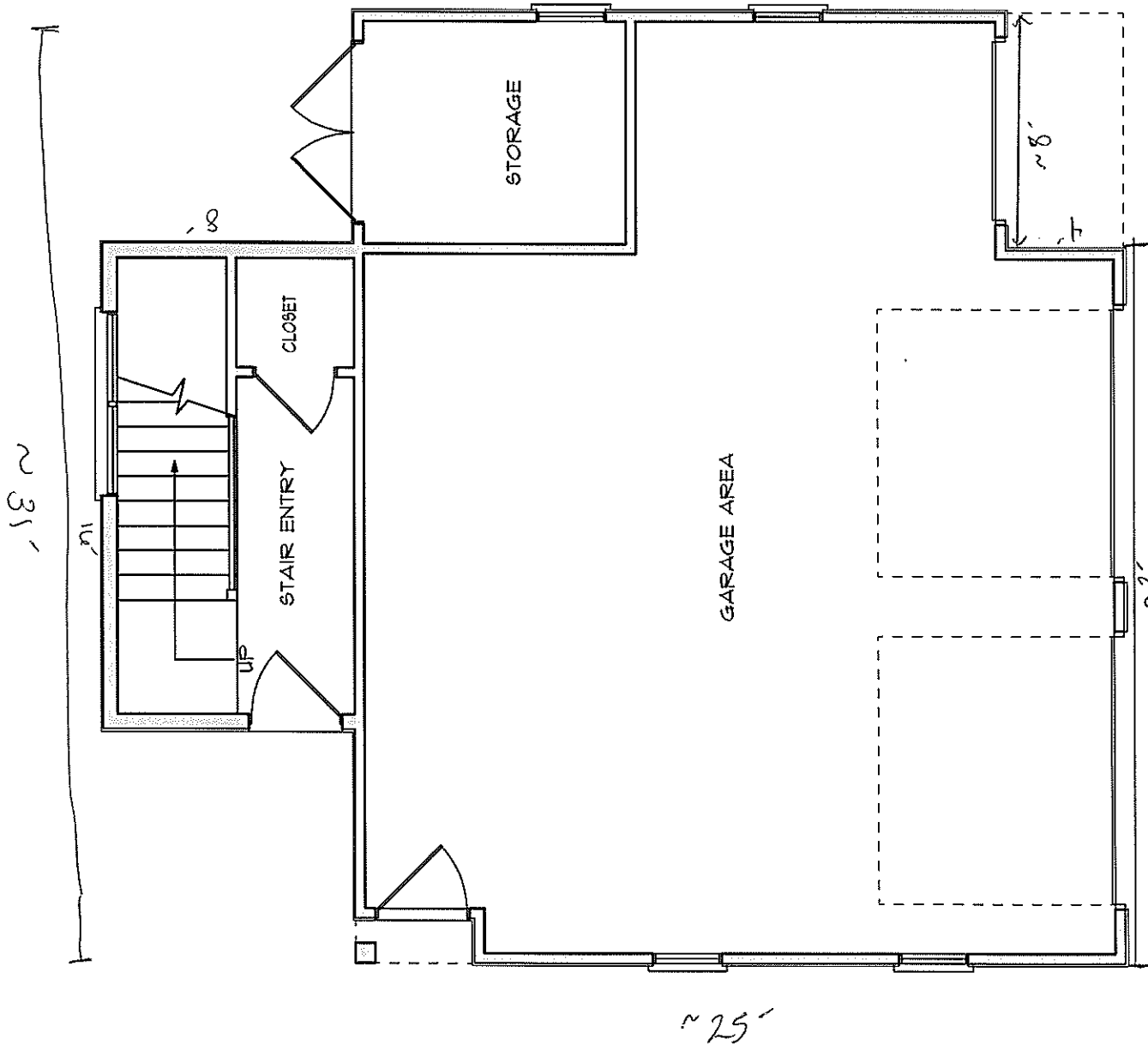
NOTE: GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ANGLES IN FIELD.

DATE: **SEPT. 10, 2017**

SHEET

3





**FIRST FLOOR GARAGE**

SCALE 3/16" = 1'-0"

105 College Dr. George Guise

$31 \times 25 = 775 \text{ SF}$   
 $- 4 \times 8 = (32)$   


---

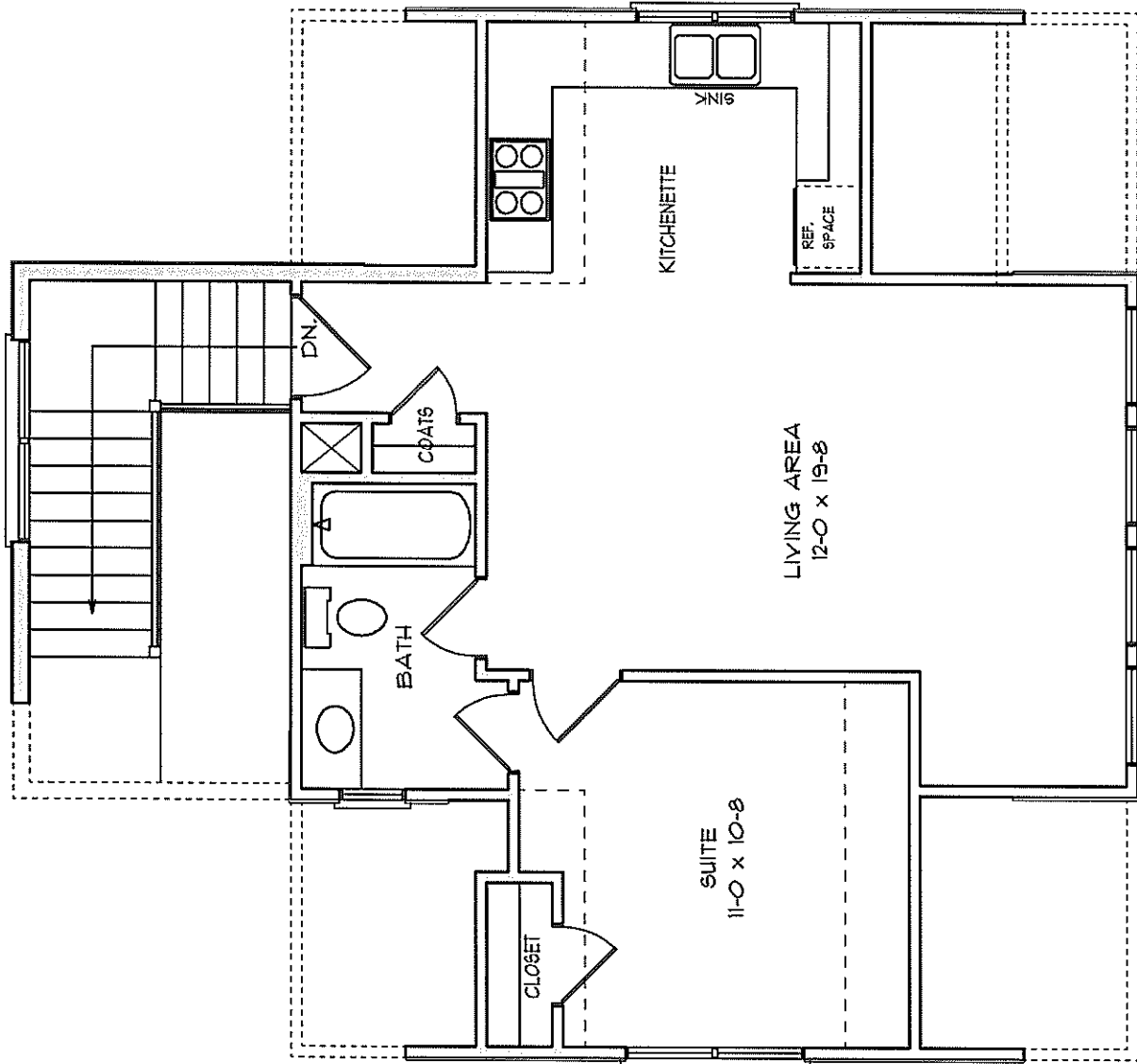
 $743 \text{ SF}$   
 $+ 10 \times 8 = 128$   


---

 $871 \text{ SF}$   
**TOTAL**  
 Footprint.

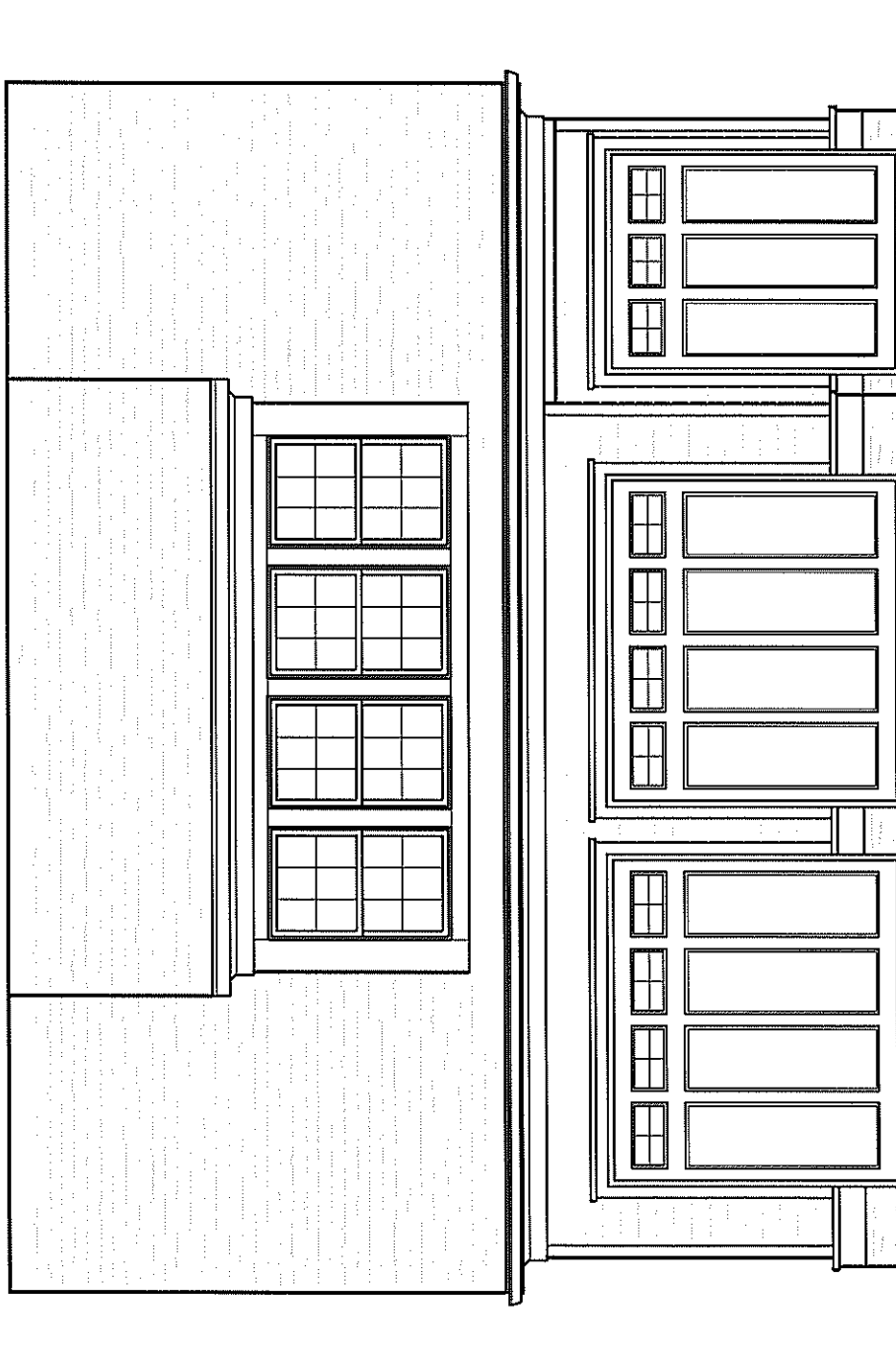
DRB approval  
 36% of primary  
 footprint? suffice  
 polaris will suffice

775  
 - 32  
 743



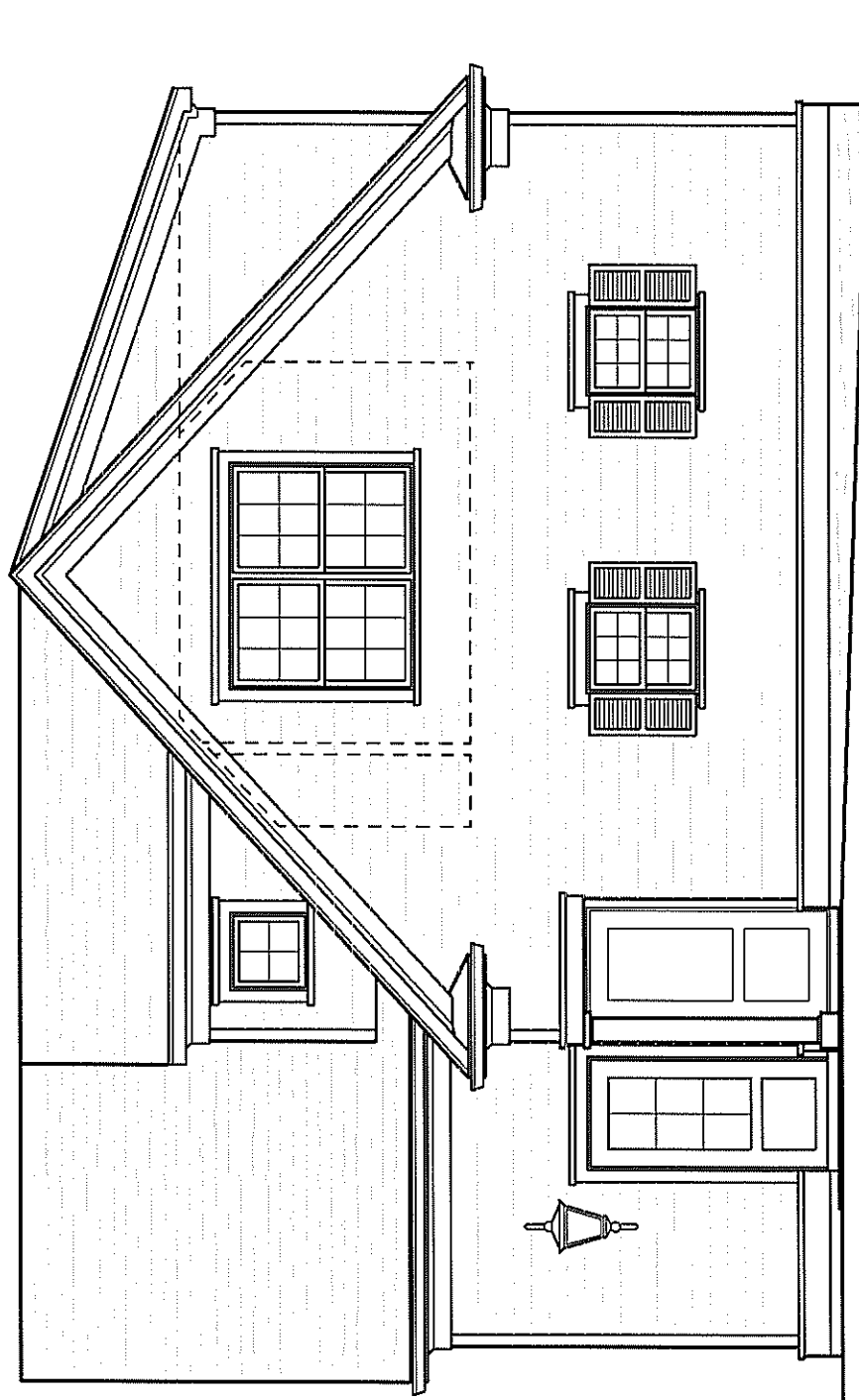
## NEW SECOND FLOOR GARAGE

SCALE 3/16" = 1'-0"



# FRONT ELEVATION

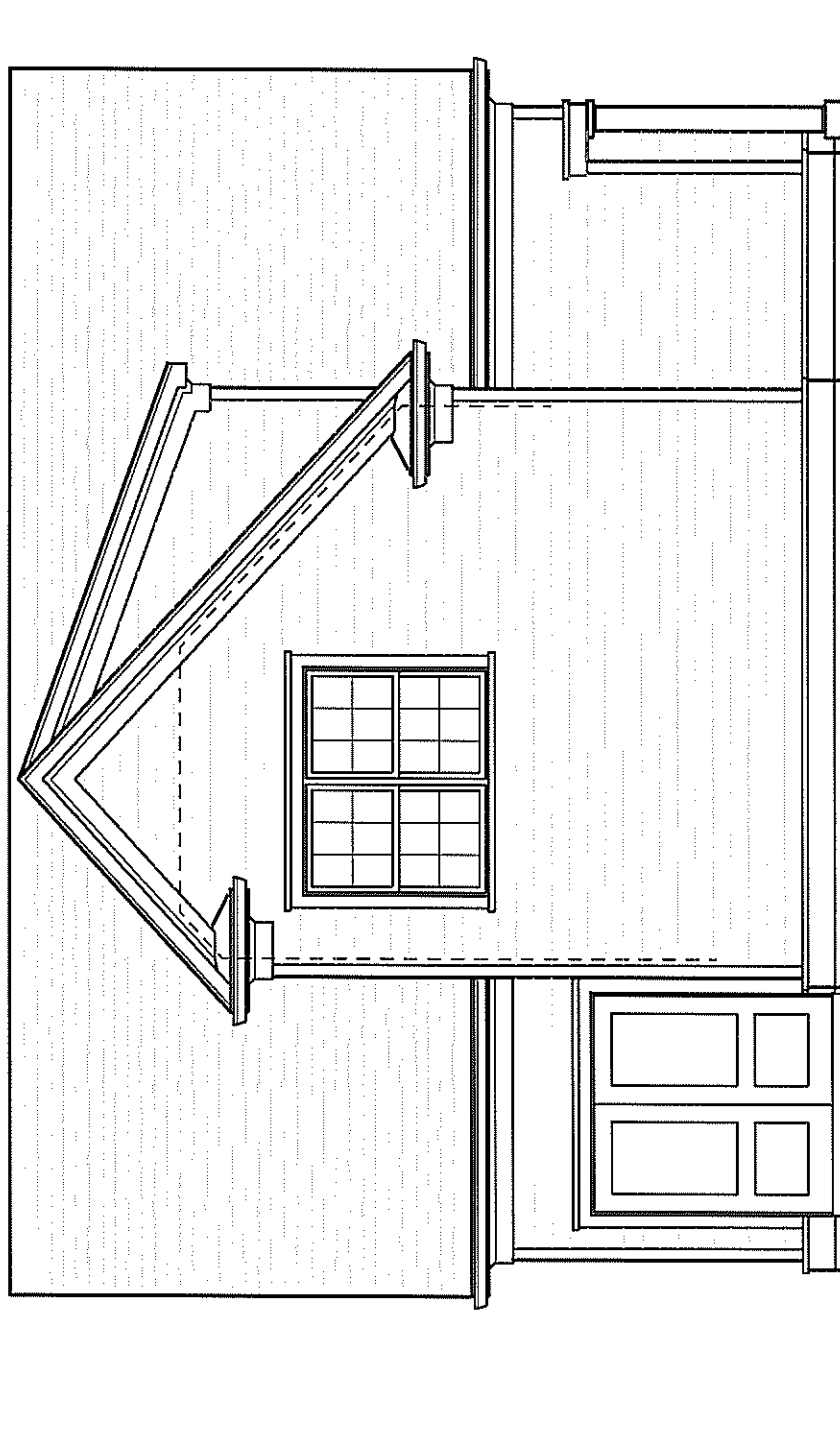
SCALE 3/16" = 1'-0"



# LEFT ELEVATION

SCALE 3/16" = 1'-0"





## REAR ELEVATION

SCALE 3/16" = 1'-0"



---

**Agenda Title:** Accessory Structure - 517 Lorimer Rd

**Summary:**

---

**ATTACHMENTS:**

Description	Upload Date	Type
☐ Staff Analysis	10/11/2017	Presentation
☐ Application and Exhibits	10/11/2017	Exhibit

**Town of Davidson, NC  
Design Review Board: Staff Analysis  
Project Manager: Chad Hall  
October 18, 2017**

**Project:** Accessory Structure (over 650 square feet)  
**Location:** 517 Lorimer Road  
**Applicant:** Palmer Brown  
**Designer:** MNM Architecture  
**Planning Area:** Village Infill (Yellow Overlay)

---

The applicant is remodeling the home at 517 Lorimer Road; as part of this work, a detached garage is proposed that is over 650 square feet. The detached garage will be accessed from an alley. In order to save some trees on the property, the Planning Director has granted permission for the detached garage to be located in the side yard.

Square footage for the detached garage is listed at 1,257 total (742 lower level; 515 upper level). The proposed detached garage footprint is proposed to be below 30% of the footprint of the principal structure and not in excess of 900 square feet.

Materials for the detached garage mirror that of the house, being brick. It is proposed that both the house and garage will be painted white.

**DAVIDSON PLANNING ORDINANCE:**

**Section 4.5.8 Accessory Structures**

*B. Size of Accessory Structure*

2. *Any accessory structure over 650 square feet of first floor area and all accessory structure ancillary to non-residential building types shall be reviewed by the Design Review Board, in accordance with the procedures in Section 14.*

**Section 4.4.1 General Building Design Standards**

*E. Materials*

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*
4. *Building materials and colors shall be:*
  - a. *Complementary to the materials already being used in the neighborhood.*

*F. Architectural Details*

1. *Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.*
4. *Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*

---

T:\Planning\_Shared\_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2017 DRB Agendas\20171018\_DRB  
Agenda\517 lorimer-acc structure\20171011\_517 Lorimer-Access Structure\_Staff Analysis.doc

**Design Review**  
**Brown – Detached Garage**  
**517 Lorimer Rd.**

- Application is submitted for approval of a detached garage in conjunction with a remodeling project.
- The garage footprint is less than 30% of the footprint of the primary structure so overall size is permitted under Section 4.5.8(B)(1) of the Town Planning Ordinance; however, the footprint is greater than 650 sq ft so design review is required under Section 4.5.8(B)(2).
- The garage and overall project meet all requirements of the Planning Ordinance with exception of Section 4.5.8(C)(2) which requires the garage/accessory structure to be in the rear yard only.
- The Planning Director has approved exception to this requirement as reflected on the attached site plan to preserve three large trees, the smallest of which is great than 9ft in circumference and 3 ft in diameter.
- As reflected on the attached elevations, the design and materials of the garage would be consistent with that of the primary house, being a traditional design with brick façade. The only change in appearance from the current house would be to paint both the house and garage white to enable the brick to be consistent for the entirety of the house and the garage.



## Design Review

BROWN - DAVIDSON GARAGE  
(Name of Project)

### Project Description

Application Date:

OCT. 5, 2017

Project Location:

517 LORIMER RD., DAVIDSON

Tax Parcel(s):

00702213

Planning Area:

VILLAGE INFILL

Overlay District:

PENLOW OVERLAY

Master or Cond. Plan

(Attach Conditions of Approval)

Gen. Statement of

Intent:

BUILDING DETACHED GARAGE.  
GREATER THAN 600 SQ. FT. BUT  
LESS THAN 30% OF THE FOOTPRINT  
OF PRIMARY STRUCTURE.

Project Details:

• Project Type:

☐ Individual Bldg. ☐ Master Plan ☐ Conditional Planning Area

☐ Sign

• Building Type:

☐ Detached House ☐ Townhouse ☐ Attached House (Tri- or Quadplex)  
☐ Institutional ☐ Live/Work ☐ Multi-family (Apts., Condos, Flats)  
☐ Workplace ☐ Storefront ☒ Accessory Structure

• Use(s):

SINGLE FAMILY RESIDENTIAL

• Height & Stories:

2 STORIES, 24.5 ft.

• Square Footage:

12<sup>TH</sup> FLOOR - 742', 2<sup>ND</sup> FLOOR - 515', TOTAL - 1257

• Building Materials:

BRICK

Architectural

Features:

TRADITIONAL BRICK CONSISTENT  
WITH PRIMARY STRUCTURE

Existing Site

Conditions:

See 14.12.2.D

SINGLE FAMILY RESIDENTIAL



**The Town of  
Davidson**  
College Town. Lake Town. Your Town.

## Design Review

BROWN - DETACHED GARAGE  
(Name of Project)

### Contact Information

#### Applicant's Information

Name: PAUL BROWN  
E-Mail: palmer.brown@compass-usa.com  
Mailing Address: 9705 WATKIN CT.  
WINTERVILLE, NC 28078  
704.  
328-4073 Mobile Phone: 968-1970


#### Property Owner's Information

(If Different from Applicant)

Name: \_\_\_\_\_  
E-Mail: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Business Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_

#### Architect's Information

Name of Firm: MNM ARCHITECTS  
Architect's Name: MILIE NICHOLSON  
E-Mail: mnicholson@mamasnitch.com  
Mailing Address: 2100 ~~333~~ SOUTH BVD.  
CHARLOTTE, NC 28203  
704.  
332-6763 Mobile Phone: 661-3056

<div><div>Design Review</div><div>BROWN - DAVIDSON GARAGE</div><div>(Name of Project)</div><div>Statement of Compliance</div></div>	
	<p>For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.</p>
<div></div>	<div><div><input checked="" type="checkbox"/> <b>Planning Ordinance</b> <a href="http://www.townofdavidson.org/1006/Planning-Ordinance">http://www.townofdavidson.org/1006/Planning-Ordinance</a> (Includes all relevant criteria such as Planning Area, Permitted Uses &amp; Building Types)</div><div><input checked="" type="checkbox"/> <b>Section 2 Planning Areas</b><div><div><input checked="" type="checkbox"/> Permitted Use/Add'l Req. <input type="checkbox"/> Not Permitted</div><div><input checked="" type="checkbox"/> Permitted Building Type <input type="checkbox"/> Not Permitted</div><div><input checked="" type="checkbox"/> Meets Setback Criteria <input type="checkbox"/> Does Not Meet</div><div><input checked="" type="checkbox"/> Meets Open Space Criteria <input type="checkbox"/> Does Not Meet</div><div><input checked="" type="checkbox"/> Meets Density Criteria <input type="checkbox"/> Does Not Meet</div></div></div><div><input type="checkbox"/> <b>Section 4 Design Standards</b><div><div><input checked="" type="checkbox"/> General Site Design Criteria (4.3)</div><div><input checked="" type="checkbox"/> General Building Design Criteria (4.4)</div><div><input type="checkbox"/> Specific Building Type Criteria (4.5) - SEE ATTACHED</div><div><input checked="" type="checkbox"/> Existing Industrial Campuses Criteria (4.6)</div><div><input checked="" type="checkbox"/> Renovation of Existing Structures Criteria (4.7)</div></div></div><div><input checked="" type="checkbox"/> <b>Section 8 Parking &amp; Driveways</b></div><div><input checked="" type="checkbox"/> <b>Section 9 Tree Preservation, Landscaping &amp; Screening</b></div><div><input checked="" type="checkbox"/> <b>Section 10 Lighting</b></div><div><input checked="" type="checkbox"/> <b>Section 22 Local Historic District Guidelines</b></div></div>



# BROWN RESIDENCE

517 LORIMER RD  
DAVIDSON, NORTH CAROLINA

OWNER:	Palmer Brown 517 Lorimer Rd Davidson, NC 28036
ARCHITECT OF RECORD:	McClure Nicholson Montgomery Architects 2108 South Blvd., Suite 110 Charlotte, NC 28223 704.332.6763 Contact: Miller Nicholson, AIA LEED AP.
CODE REFERENCE:	2012 NC Residential Code
MAIN HOUSE HEATED SQUARE FOOTAGE:	
EXISTING:	2,718 SQFT
EXISTING: (RENOVATED)	2,327 SQFT
EXISTING: (REMOVED)	341 SQFT
NEW: (ADDITION)	1,611 SQFT
TOTAL: (ADD+REN)	3,944 SQFT
DETACHED GARAGE:	
GARAGE (UNHEATED)	661 SQFT
GARAGE (HEATED)	81 SQFT
BONUS ROOM	515 SQFT
TOTAL HEATED	546 SQFT
NUMBER OF STORIES:	
EXISTING:	2
NEW:	2
TOTAL:	2



**McCLURE  
NICHOLSON  
MONTGOMERY**

## LEGEND:

### ARCHITECTURAL

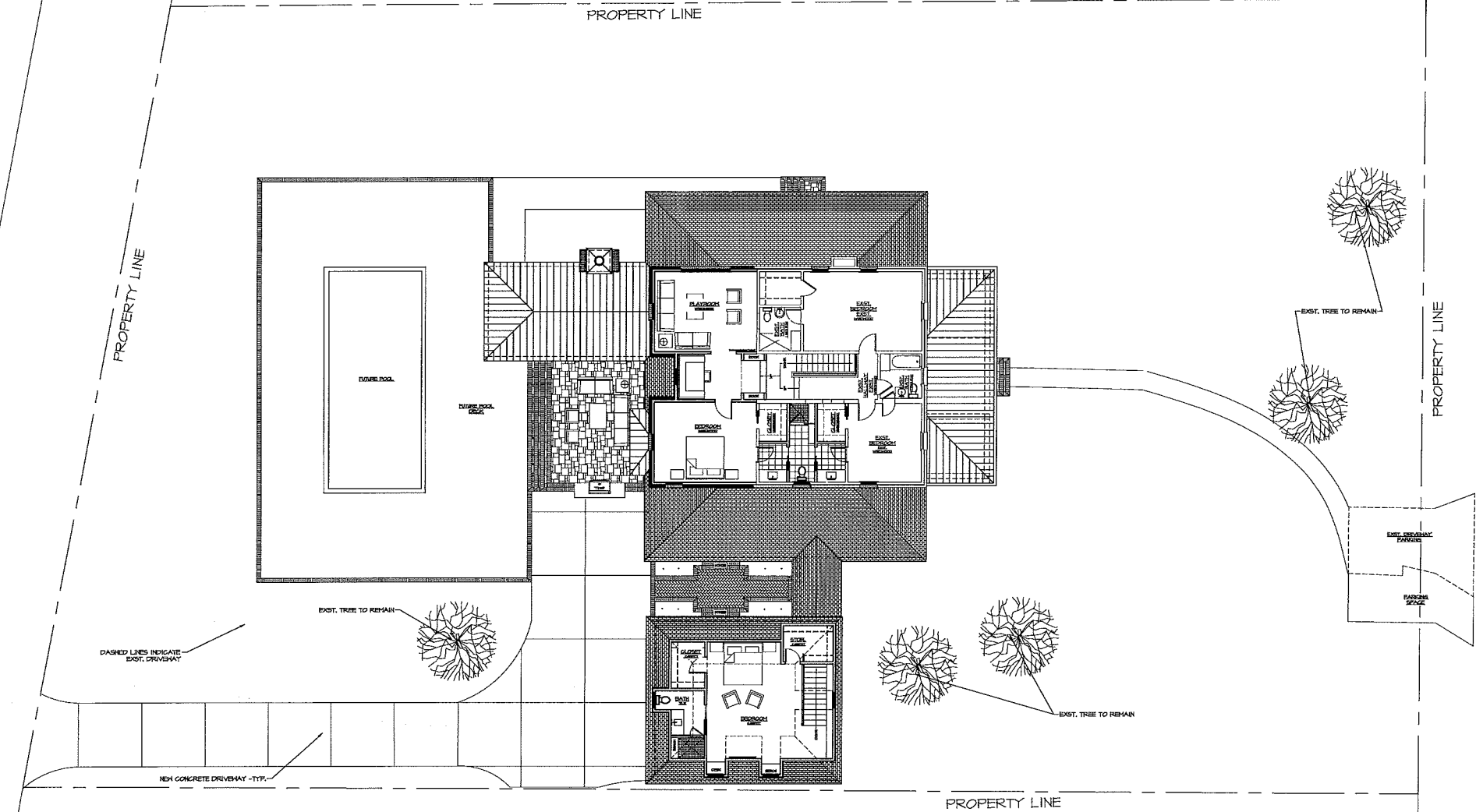
A-0	PROJECT INFORMATION
A-1.0	SITE PLAN
A-1.1	FLOOR PLAN
A-1.2	FLOOR PLAN
A-2.0	EXTERIOR ELEVATIONS
A-2.1	EXTERIOR ELEVATIONS
A-3.0	BUILDING SECTION

### STRUCTURAL

2108 South Blvd - Suite 110 - Charlotte - NC  
Tel. 704.332.6763 - Fax 704.334.0262 - [www.mnmarchitects.com](http://www.mnmarchitects.com)

A-0

FLOOR TO AREA RATIO	
LOT SIZE	25,240 SQFT
USING	21,000 SQFT
MAX. ALLOWED	3,940 SQFT
MAIN HOUSE	
1ST FLOOR	2,474 SQFT
2ND FLOOR	1,463 SQFT
TOTAL	3,942 SQ FT
DETACHED GARAGE	
GARAGE	1,142 SQFT
BONUS ROOM	319 SQFT
TOTAL	1,291 SQFT



SITE PLAN OPTION I  
SCALE: 1/8"=1'-0"



**McCLURE  
NICHOLSON  
MONTGOMERY**  
 architects

2109 South Boulevard, Suite 110  
 Charlotte, N.C. 28203  
 Phone: 704.332.0763  
 Fax: 704.334.0282

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BROWN RESIDENCE  
 517 LORIMER ROAD  
 DAVIDSON, NC

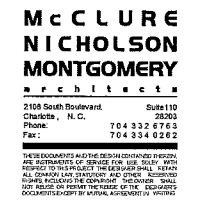
LORIMER ROAD  
 40' PUBLIC RIGHT OF WAY

Project Number 714-2017	
ISSUE:	
01/26/11	OWNER REVIEW
REVISION	

NOT FOR CONSTRUCTION

SHEET TITLE:  
 SITE PLAN

A-1.0



**BROWN RESIDENCE**  
517 LORIMER ROAD  
DAVIDSON, NC

Project Number: 719-2017

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ISSUE 1

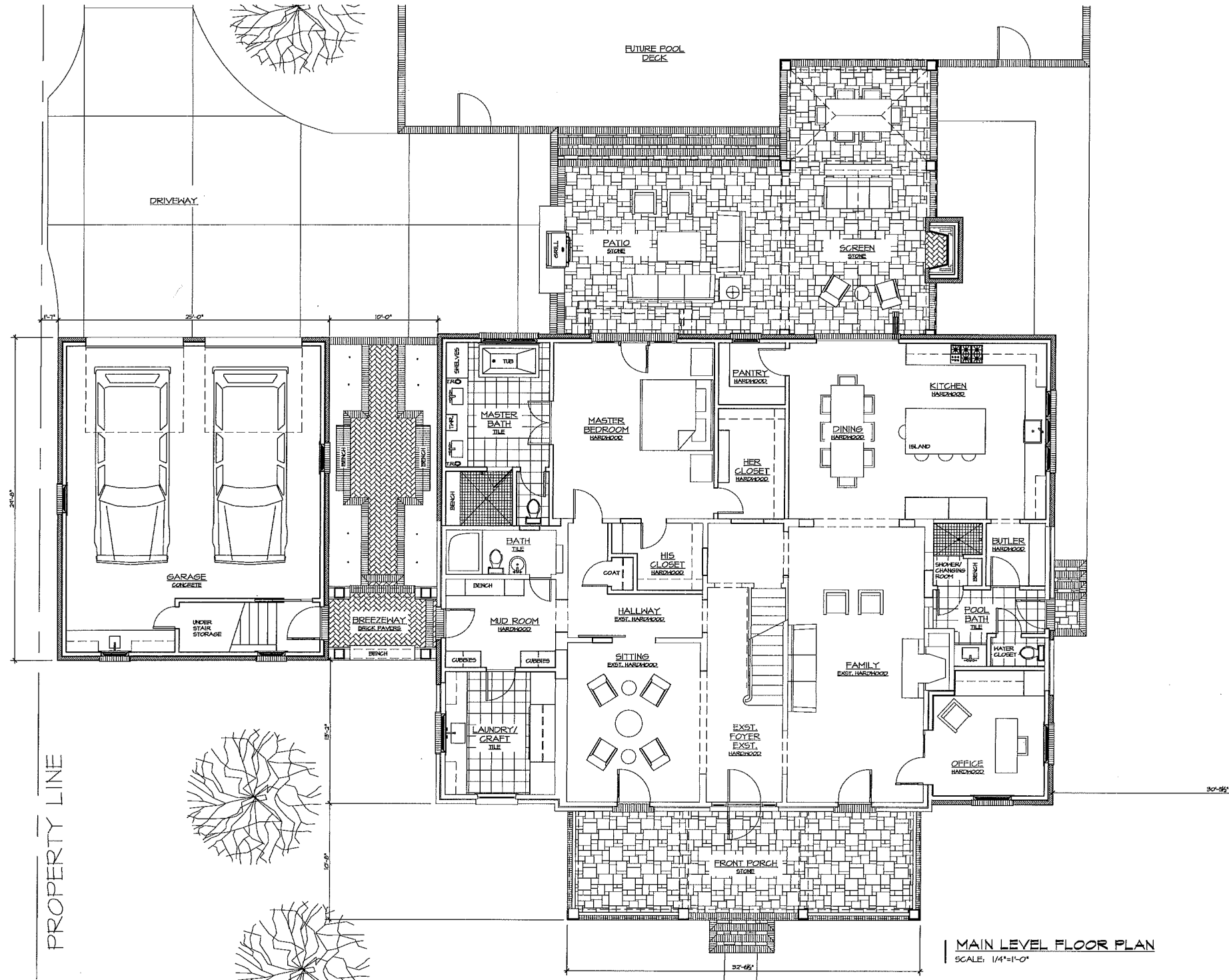
09/26/17 OWNER REVIEW

---

REVISION

SHEET TITLE:  
FLOOR PLAN

A-1.1

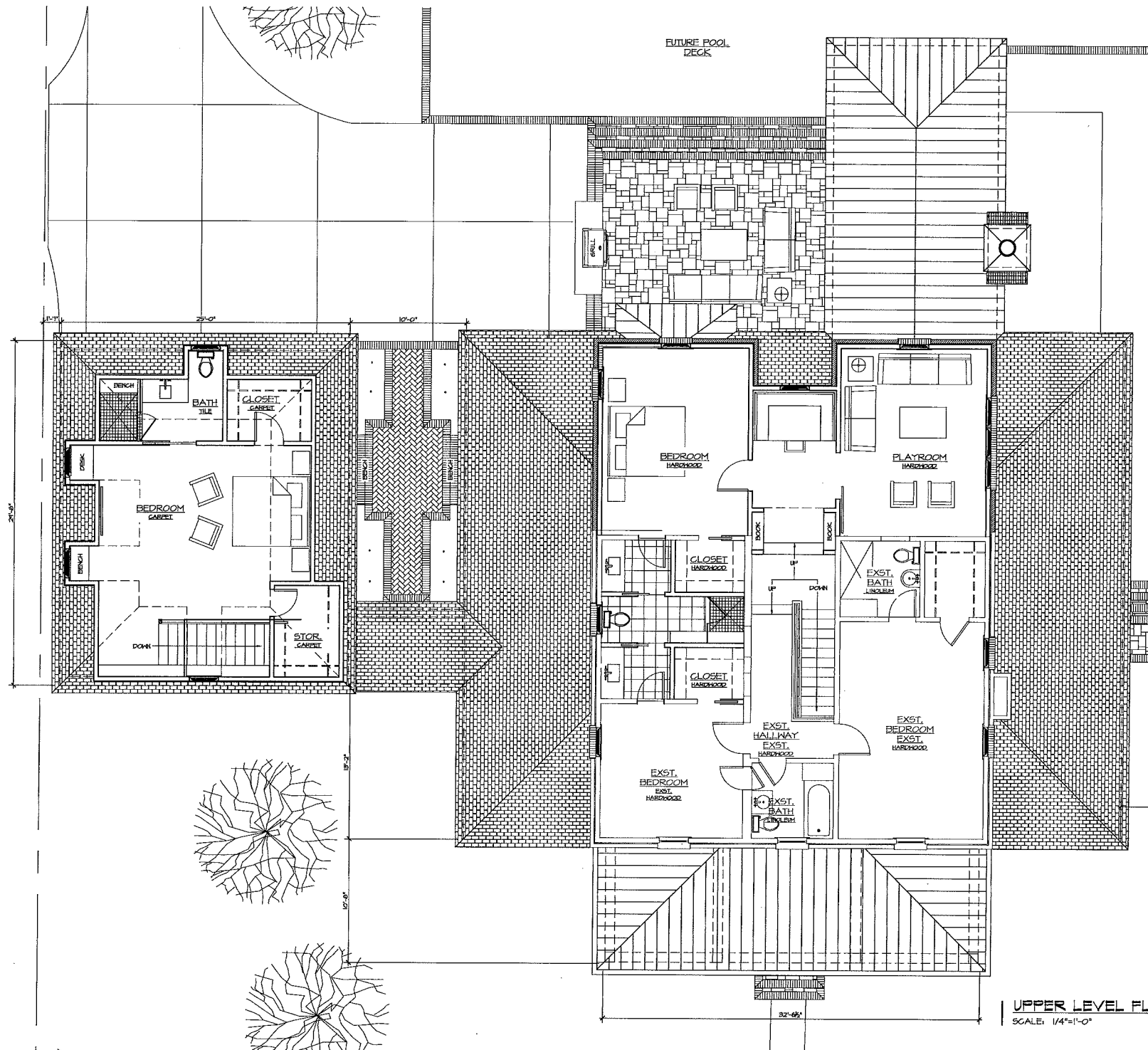




**McCLURE  
NICHOLSON  
MONTGOMERY**  
ARCHITECTS

2108 South Boulevard Suite 110  
Charlotte, N.C. 28203  
Phone: 704.332.8763  
Fax: 704.334.0282

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PROPERTY LINE

**BROWN RESIDENCE**  
517 LORIMER ROAD  
DAVIDSON, NC

Project Number: 719-2017  
ISSUE:  
09/26/17 OWNER REVIEW

REVISION
----------

NOT FOR CONSTRUCTION

SHEET TITLE:  
**FLOOR PLAN**

**A-1.2**

**UPPER LEVEL FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**McCLURE  
NICHOLSON  
MONTGOMERY**  
architects

2108 South Boulevard, Suite 110  
Charlotte, N.C. 28203  
Phone: 704.332.6763  
Fax: 704.334.0262

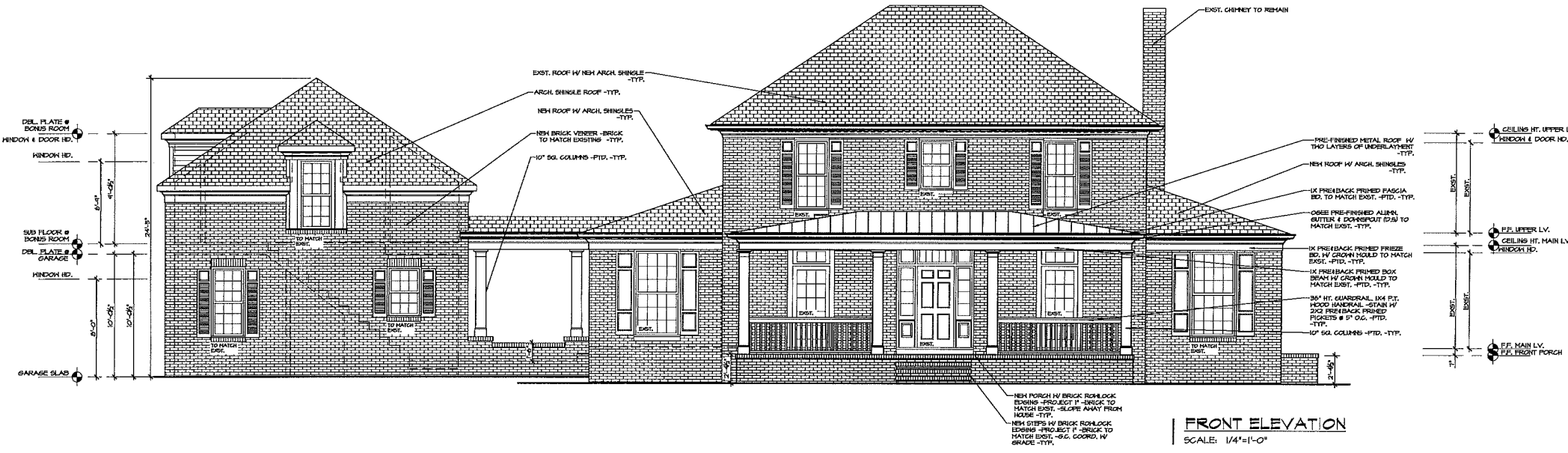
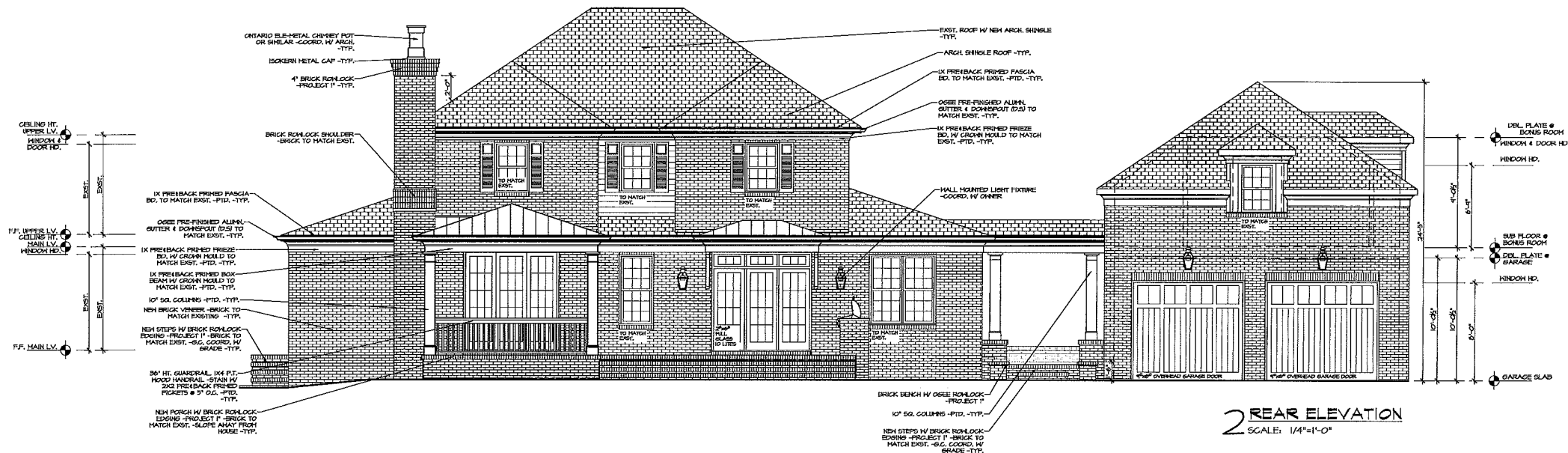
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**BROWN RESIDENCE**  
517 LORIMER ROAD  
DAVIDSON, NC

Project Number: TH-2017  
Issue:  
01/26/11 OWNER REVIEW  
REVISION

SHEET TITLE:  
**ELEVATIONS**

**A-2.0**





**McCLURE  
NICHOLSON  
MONTGOMERY**  
architects

2108 South Boulevard  
Charlotte, N.C. 28203  
Phone: 704.332.6763  
Fax: 704.334.0262

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DAVIDSON, NC

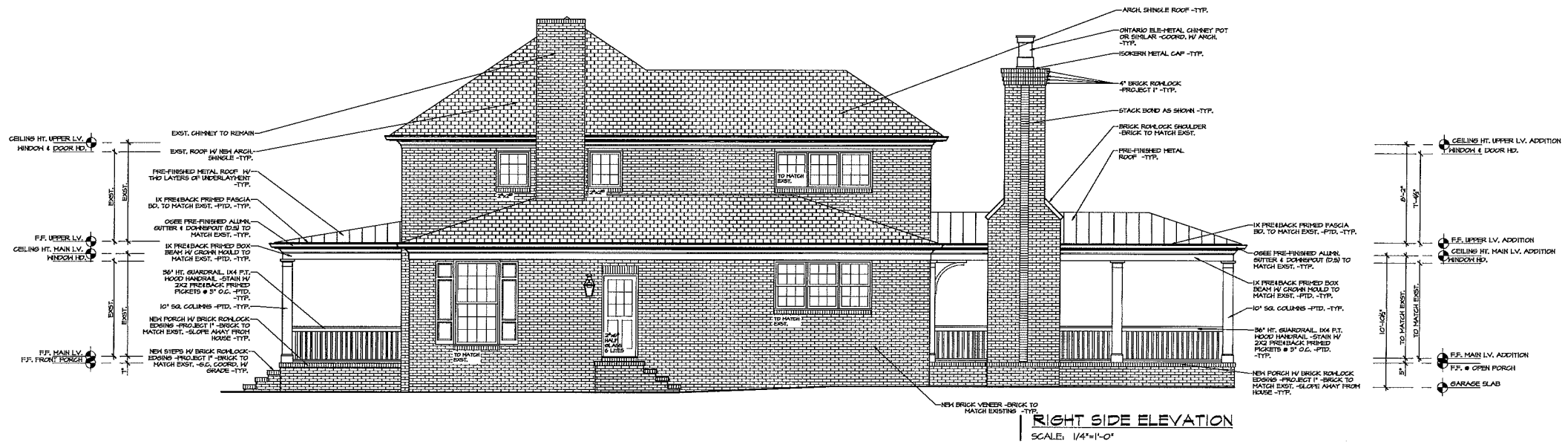
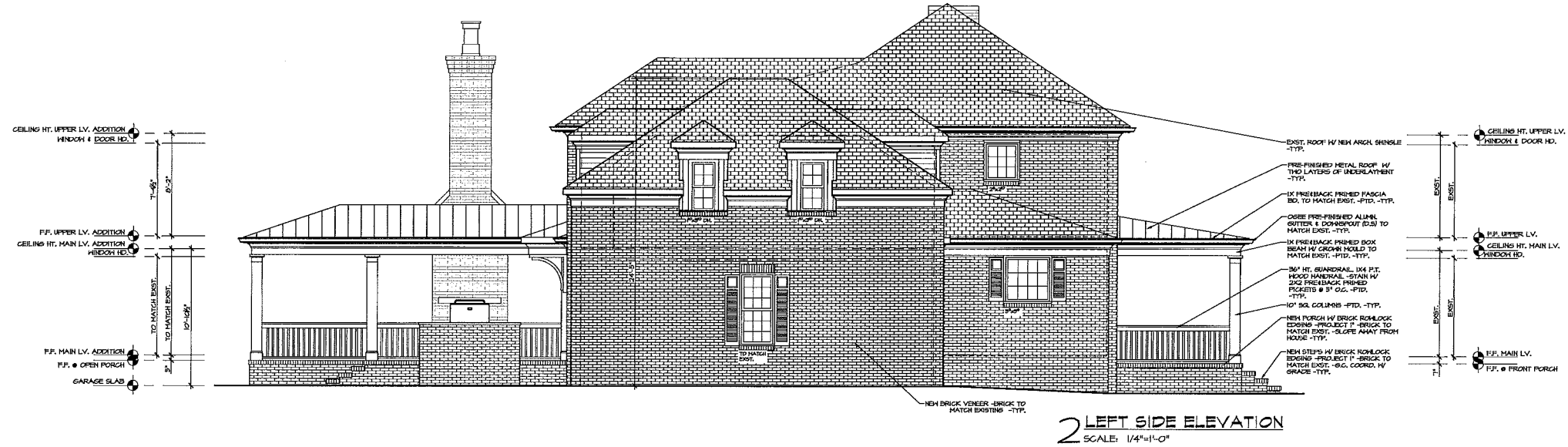
Project Number: 719-2017  
ISSUE: 01/26/11 OWNER REVIEW

REVISION

NOT FOR CONSTRUCTION

SHEET TITLE:  
**ELEVATIONS**

**A-2.1**







McCLURE  
NICHOLSON  
MONTGOMERY  
ARCHITECTS

2108 South Boulevard, Suite 110  
Charlotte, N.C. 28203  
Phone: 704.332.6763  
Fax: 704.334.0262

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BROWN RESIDENCE  
517 LORIMER ROAD  
DAVIDSON, NC

Project Number: 71R-2017  
ISSUE:  
04/26/17 OWNER REVIEW

REVISION

NOT FOR CONSTRUCTION

SHEET TITLE:  
BUILDING  
SECTION

A-3.0



SECTION THRU BREEZEWAY  
SCALE: 1/4"=1'-0"



---

**Agenda Title:** Davidson Elementary Addition FYI

**Summary:**

---

**ATTACHMENTS:**

<b>Description</b>		<b>Upload Date</b>	<b>Type</b>
<input type="checkbox"/>	Application	10/11/2017	Exhibit
<input type="checkbox"/>	Plans	10/11/2017	Exhibit
<input type="checkbox"/>	Slides	10/11/2017	Exhibit



# Design Review

Davidson Elementary School K-8 Conversion

(Name of Project)

## Development Process

Date Completed	Outline of Steps & Checklist
08/01/17	<input checked="" type="checkbox"/> 1. Initial Meeting
09/27/17	<input checked="" type="checkbox"/> 2. Application and Fee
10/18/2017	<input checked="" type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
	<input type="checkbox"/> 4. Planning Director Site Schematic Design Review
	<input type="checkbox"/> 5. Design Review Board Approval
	<input type="checkbox"/> 6. Building Construction Documents
	<input type="checkbox"/> 7. Site and Landscape Construction Documents
	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
	<input type="checkbox"/> 9. Building Permit Approval
	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
	<input type="checkbox"/> 12. Certificate of Occupancy

*\* For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*



# Design Review

CMS Davidson Elementary School K-8 Conversion  
(Name of Project)

## Application Requirements

### Date Received

09/27/17



Application Fee per Town of Davidson Fee Schedule

09/27/17



Contact Information

09/27/17



General Statement of Intent  
(Use, building type, approx. square footage, height, design features)

09/27/17



Statement of Compliance with Section 2

N/A



Master Plan or Conditional Planning Area  
(Including all documents, plans, maps, and conditions of approval)

09/27/17



Environmental Inventory in accordance with Section 14.15.1  
(Including adjacent properties and buildings)

09/27/17



General Description  
(Including a description and color photographs to existing / adjacent site)

09/27/17



Site Schematic Design in accordance with Section 14.15.7

09/27/17



Building Schematic Design in accordance with Section 14.15.3  
(Including rendered elevations of each façade per 14.15.3 C)

09/27/17



Landscape Schematic Design in accordance with Section 14.15.5

09/27/17



Building Perspective

09/27/17



Building Materials/Colors  
(Roofing, siding, doors, windows, etc.)

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

*Chris Tymoff*

Applicant's Signature

09/27/17

Date



# Design Review

Davidson Elementary K-8 Conversion

(Name of Project)

## Contact Information

### Applicant's Information

Name: Chris Tymoff

E-Mail: ctymoffe@littleonline.com

Mailing Address: 5815 Westpark Drive  
Charlotte, NC 28217

Business Phone: 704-561-5115 Mobile Phone: \_\_\_\_\_

### Property Owner's Information

(If Different from Applicant)

Name: Mike Higgins for CMS Capital Program Services

E-Mail: m.higgins@cmsk12.nc.us

Mailing Address: 3301 Stafford Drive  
Charlotte, NC 28208

Business Phone: \_\_\_\_\_ Mobile Phone: 704-201-3406

### Architect's Information

Name of Firm: Little Diversified Architectural Consulting

Architect's Name: Tom Balke

E-Mail: tbalke@littleonline.com

Mailing Address: 5815 Westpark Drive  
Charlotte, NC 28217

Business Phone: 704-561-3414 Mobile Phone: 704-718-0974



# Design Review

Davidson Elementary School K-8 Conversion

(Name of Project)

## Project Description

Application Date: 09/27/17

Project Location: 635 South Street

Tax Parcel(s): 00704123

Planning Area: Village Infill

Overlay District: Village Infill Overlay

Master or Cond. Plan: N/A  
(Attach Conditions of Approval)

Gen. Statement of Intent: A new three story classroom wing is being added to allow for the addition of 6th-8th grades

### Project Details:

- Project Type: ☒ Individual Bldg. ☐ Master Plan ☐ Conditional Planning Area
- ☐ Sign
- Building Type: ☐ Detached House ☐ Townhouse ☐ Attached House (Tri- or Quadplex)
- ☒ Institutional ☐ Live/Work ☐ Multi-family (Apts., Condos, Flats)
- ☐ Workplace ☐ Storefront ☐ Accessory Structure
- Use(s): Elementary School
- Height & Stories: 3 stories - 48'
- Square Footage: 36,269 SF
- Building Materials: Primarily brick

### Architectural Features:

Existing Site Conditions: There is an existing elementary school on the site including several mobile classrooms that will be removed in conjunction with the construction of the new classrooms.

See 14.12.2.D





# Design Review

Davidson Elementary School K-8 Conversion

(Name of Project)

## Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.



### Planning Ordinance

<http://www.townofdavidson.org/1006/Planning-Ordinance>

(Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)



### Section 2 Planning Areas



Permitted Use/Add'l Req.



Not Permitted



Permitted Building Type



Not Permitted



Meets Setback Criteria



Does Not Meet



Meets Open Space Criteria



Does Not Meet



Meets Density Criteria



Does Not Meet



### Section 4 Design Standards



General Site Design Criteria (4.3)



General Building Design Criteria (4.4)



Specific Building Type Criteria (4.5)



Existing Industrial Campuses Criteria (4.6)



Renovation of Existing Structures Criteria (4.7)



### Section 8 Parking & Driveways



### Section 9 Tree Preservation, Landscaping & Screening



### Section 10 Lighting



### Section 22 Local Historic District Guidelines



September 27, 2017

Mr. Chad Hall  
Town of Davidson, North Carolina

#### CMS Davidson PK-8 Building Addition

#### General Statement of Intent:

The purpose of the project is to add grades 6-8 to the existing Davidson Elementary School. The addition will consist of a 3 story classroom wing behind a portion of the existing school. Additional on-site vehicular stacking will be provided to help the facility comply with the NCDOT requirements and a new fire access drive will also be provided. A new soccer field will be constructed where the existing baseball field and mobile classrooms are currently located. Stormwater management will be required to meet the Post Construction Control Ordinance.

#### Section 2 - Planning Areas:

There is no Master Plan or Conditional Planning Area the project will be required to comply with. The Planning Area is the Village Overlay.

#### Section 4 – Design Standards:

The Town of Davidson Architectural and Site standards have been taken into consideration related to the building addition and associated site improvements.

#### Section 8 – Parking and Driveways

All new parking and driveways have been designed to meet the Town of Davidson requirements related to access location and parking configuration. There are no new parking spaces planned for the school. There are a few spaces for the greenway access that will be reconstructed.

#### Section 9 Tree Preservation, Landscape & Screening

A Site Survey is provided which indicates the location of significant vegetation, streams and adjacent facilities including one of the major access points to the Davidson Greenway. The majority of the developable portions of the site have been built upon. See photos for additional documentation of the site conditions.

We have also include a Landscape Plan which indicates the additional screening required along the street frontage for parking.

#### Section 10 – Lighting

Any new site lighting will meet the Town of Davidson requirements related to light trespass.

#### Section 22 – Local Historic District Guidelines

This section does not fall within this district, therefore the site does not need to comply with the requirements.

5815 Westpark Drive  
Charlotte NC 28217

Voice 704.525.6350  
Fax 704.561.8700

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A Design Development Site Plan is provided which indicates the location of the existing and proposed building and other vehicular access associated with the on-site stacking. All planned improvements meet the requirements of Section 14.15.7 of the Town of Davidson Planning Ordinance.

Schematic Building Design and Elevations are provided which indicate compliance with Section 14.15.3 of the Town of Davidson Planning Ordinance.

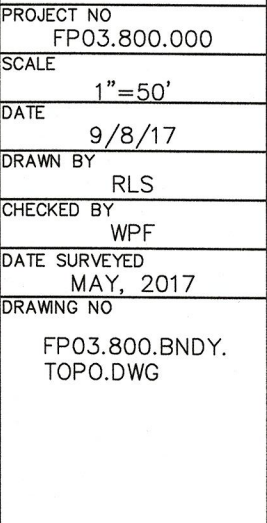
Schematic Landscape Plan indicating compliance with the parking lot screening requirements per Section 14.15.5 of the Town of Davidson Planning Ordinance is also provided.

Please feel free to contact us with any questions you may have on this preliminary design submittal.

Thank you.

Sincerely,  
Chris Tymoff







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DIVERSIFIED ARCHITECTURAL CONSULTING

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Little 2016 —



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NOT FOR  
CONSTRUCTION

0% DESIGN  
DEVELOPMENT

9/22/17

D.	REASON	DATE
----	--------	------

PRINCIPAL IN CHARGE

DM BALKE, AIA  
PROJECT MANAGER

**RORY FOCHT, PE**

CHRIS TYMOFF AIA

MS DAVIDSON K-8  
CONVERSION

12445801

## WHITE PLAN

c 200

## DEVELOPMENT SUMMARY

**PLANNED CLASSROOMS - 54 (INCLUDING MODULAR CLASSROOMS)**

**PARKING SETBACK - VEHICLE OVERHANG MUST BE ON PROPERTY**

**PARKING REQUIREMENTS** - 2.0 MINIMUM SPACES (108)  
AND 2.25 MAXIMUM PER CLASSROOM (122)

PARKING PROVIDED - 111 NOT INCLUDING SHARED USE SPACES WITH PARK AND GREENWAY

**STORMWATER MANAGEMENT - PER TOWN OF DAVIDSON PCCO STANDARDS**

RELOCATED  
PLAYGROUND WITH  
NEW STAIRS AND  
ADA RAMP

## HALF COURT BASKETBALL

SURVEYED STREAM  
TOP OF BANK

GENERAL LOCATION OF  
BMP/STORMWATER  
MANAGEMENT - MUST BE  
OUT OF STREAM SIDE ZONE

## — RUNNING LANES ON EXISTING BUS

35 DAILY USE PARKING SPACES  
114 SHARED / EVENT  
PARKING SPACES  
15 BUS SPACES WITH  
3 ADDITIONAL AT THE CURB LINE

## HALF COURT BASKETBALL

LOCATION OF  
RELOCATED  
PLAYGROUND

NEW CLASSROOM  
WING - MAIN FLOOR  
FFE = 761.67±

—FOUR MODULAR  
CLASSROOMS AND  
ONE RESTROOM

NEW 20' WIDE  
FIRE ACCESS DRIVE

165'x300'  
SOCCER FIELD

EXISTING GREENWAY PARKING SPACES LOST DUE TO DRIVEWAY EXTENSION ARE ADDED BACK TO MAINTAIN EXISTING PARKING COUNT

- 1,700 LF OF SINGLE LINE  
(2,000 WITH DOUBLE  
STACKED LENGTH)  
STACKING FOR DROP OFF  
AND PICK UP

35 EXISTING ———  
PARKING SPACES

**ADD "PIPE SWING GATE" TO  
BLOCK VEHICLES FROM  
ENTERING BUS LOT DURING  
SCHOOL HOURS**

## 76 EXISTING PARKING SPACES

## ACCESS TO GREENWAY AND PARKING LOTS

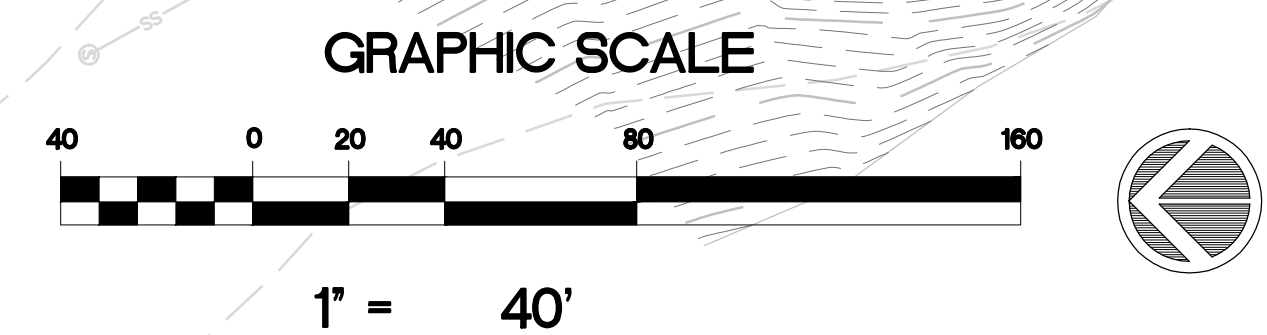
### GRAPHIC SCALE

$$1'' = 40'$$

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C 300



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DEVELOPMENT

9/22/17

D.	REASON	DATE

PRINCIPAL IN CHARGE  
**DOM BALKE, AIA**

---

PROJECT MANAGER  
**MERRY FOCHT, PE**

---

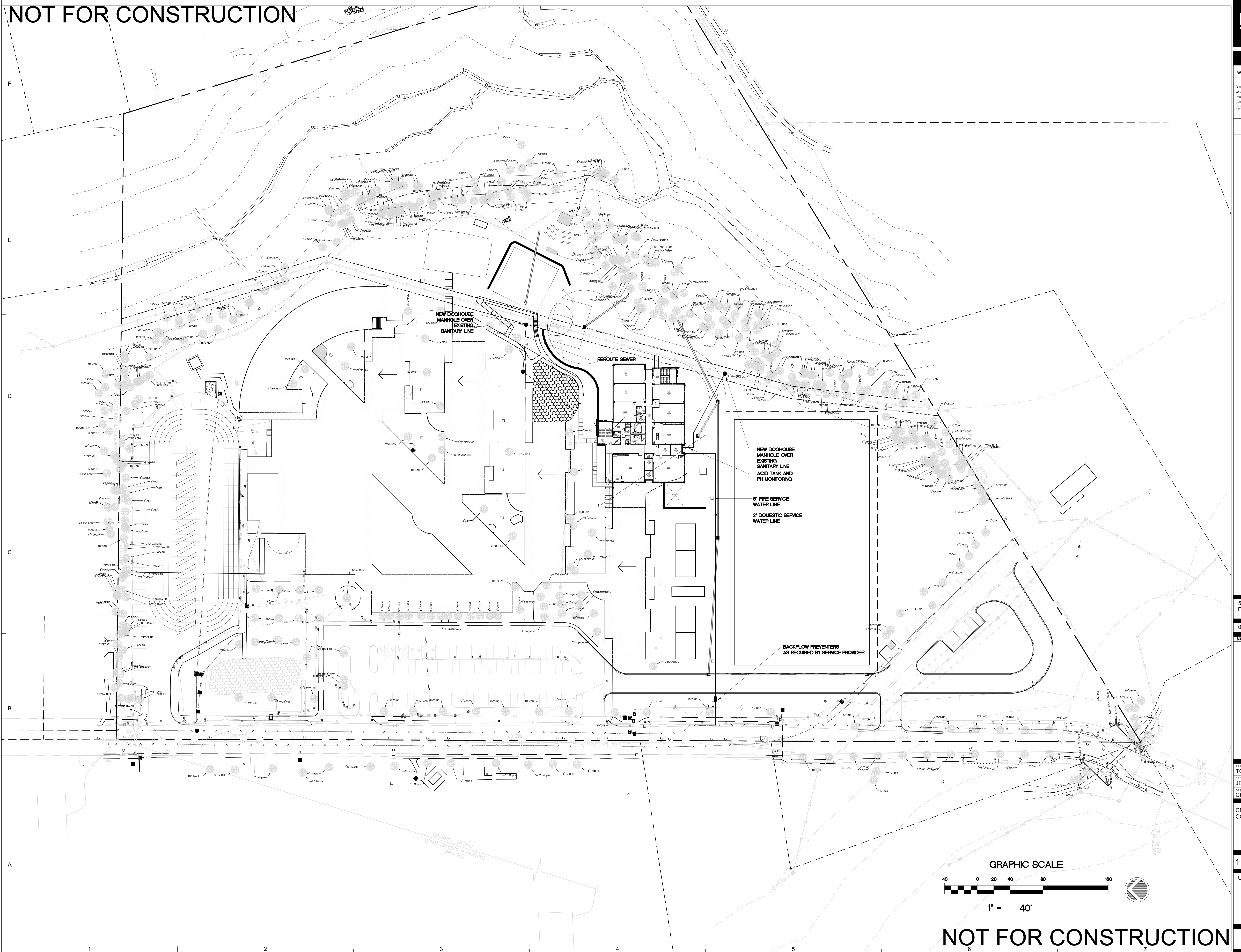
DESIGN TEAM  
**CHRIS TYMOFF, AIA**

MS DAVIDSON K-8  
CONVERSION

12445801

UTILITY PLAN

C 500



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DEVELOPMENT

9/22/17

D.	REASON	DATE

PRINCIPAL IN CHARGE  
DOM BALKE, AIA

---

PROJECT MANAGER  
TERRY FOCHT, PE

---

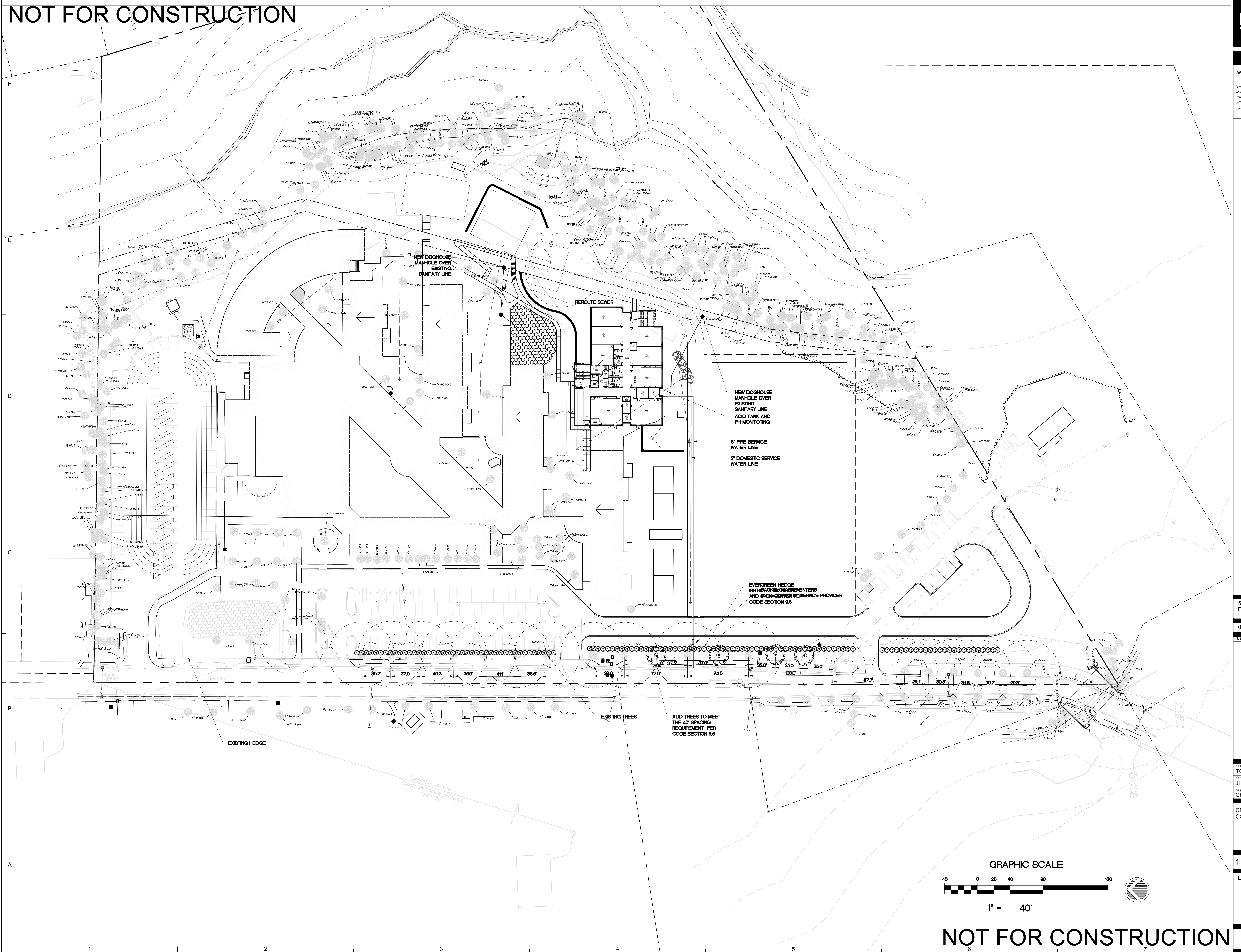
DESIGN TEAM  
CHRIS TYMOFF, AIA

MS DAVIDSON K-8  
CONVERSION

12445801

LANDSCAPE PLAN

100



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# Existing Context



Aerial View



# Existing Context



Main Entry Drive



Existing Lower School Building



Main Entry



Existing Lower School Building

## Site Photos – Existing Conditions



# Floor Plans



Level 1

11,083 gsf



Total: 36,269 gsf



# Floor Plans



Level 2

12,775 gsf





# Floor Plans



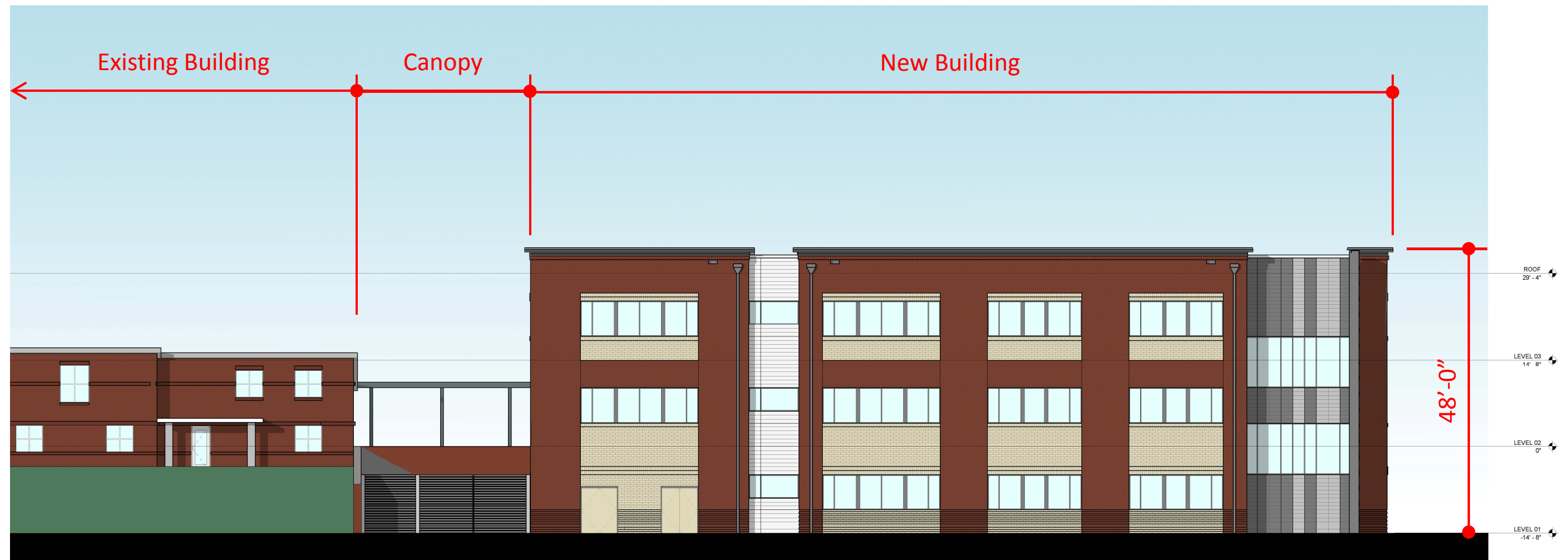
### Level 3

12,411 gsf





# Elevations



South Elevation



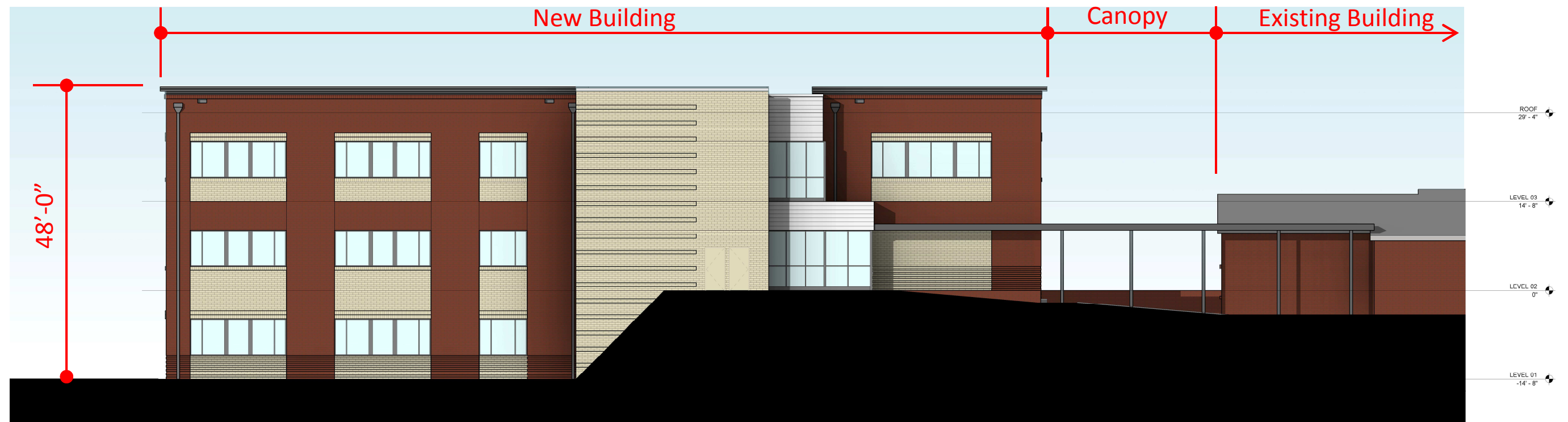
# Elevations



West Elevation



# Elevations



North Elevation

# Elevations



East Elevation



# Exterior Views



View adjacent to South St. looking North East



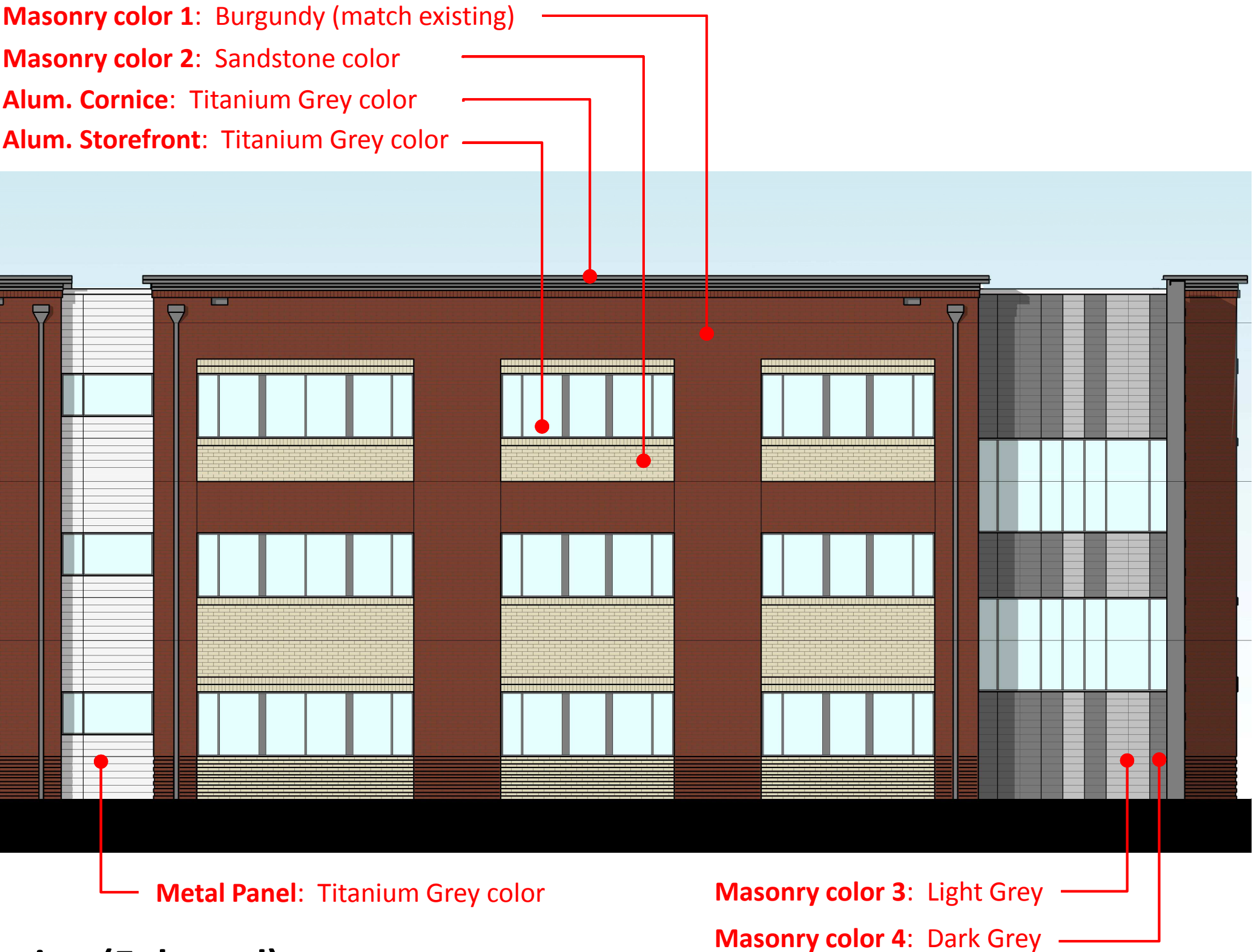
# Exterior Views



View of Main façade looking North



# Materials



South Elevation (Enlarged)

# Materials



Masonry color 1: Burgundy (match existing)



Masonry color 3: Light Grey



Masonry color 4: Dark Grey



Masonry color 2: Sandstone color



Alum. Cornice/ Alum. Storefront/ Metal Panel:  
Titanium Grey color





---

**Agenda Title:** Cotton Mill FYI

**Summary:**

---

**ATTACHMENTS:**

Description	Upload Date	Type
☐ Plans and Elevations	10/11/2017	Exhibit



## Design Review

DAVIDSON MILL EXTENSION IMPROVEMENTS  
(Name of Project)

### Contact Information

#### Applicant's Information

Name: JOHN MANG  
E-Mail: JMANG@INTECGROUP.NET  
Mailing Address: 214 W. TREMONT AVE SUITE 301  
CHARLOTTE, NC 28203  
Business Phone: 704-372-7910 Mobile Phone: 704-507-9427

#### Property Owner's Information

(If Different from Applicant)

Name: BOB MCINTOSH  
E-Mail: BOB@MCINTOSH-LAWFIRM.COM  
Mailing Address: THE MCINTOSH LAW FIRM  
PO BOX 2270 DAVIDSON NC 28036  
Business Phone: 704-892-1699 Mobile Phone: \_\_\_\_\_

#### Architect's Information

Name of Firm: INTER GROUP INC  
Architect's Name: JOHN MANG  
E-Mail: JMANG@INTECGROUP.NET  
Mailing Address: 214 W. TREMONT AVE SUITE 301  
CHARLOTTE, NC 28203  
Business Phone: 704-372-7910 Mobile Phone: 704-507-9427





## Design Review

DAVIDSON MILL EXTERIOR IMPROVEMENTS  
(Name of Project)

### Project Description

Application Date:

9/29/17

Project Location:

209 DELBURG STREET

Tax Parcel(s):

020326108

Planning Area:

VE

Overlay District:

Master or Cond. Plan

(Attach Conditions of Approval)

Gen. Statement of Intent:

ADDITION OF ELEVATOR & MINOR EXTERIOR IMPROVEMENTS

### Project Details:

• Project Type:



Individual Bldg.



Master Plan



Conditional Planning Area



Sign

• Building Type:



Detached House



Townhouse



Attached House (Tri- or Quadplex)



Institutional



Live/Work



Multi-family (Apts., Condos, Flats)



Workplace



Storefront



Accessory Structure

• Use(s):

BUSINESS

• Height & Stories:

30'-0" +/- 2 STORIES

• Square Footage:

52100 +/-

• Building Materials:

BRICK

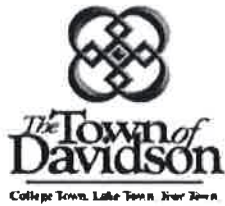
Architectural

Features:

Existing Site

Conditions:

See 14.12.2.D



# Design Review

Davidson Mill Exterior Improvements

(Name of Project)

## Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.



### Planning Ordinance

<http://www.townofdavidson.org/1006/Planning-Ordinance>

(Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)



### Section 2 Planning Areas



Permitted Use/Add'l Req.



Not Permitted



Permitted Building Type



Not Permitted



Meets Setback Criteria



Does Not Meet



Meets Open Space Criteria



Does Not Meet



Meets Density Criteria



Does Not Meet



### Section 4 Design Standards



General Site Design Criteria (4.3)



General Building Design Criteria (4.4)



Specific Building Type Criteria (4.5)



Existing Industrial Campuses Criteria (4.6)



Renovation of Existing Structures Criteria (4.7)



### Section 8 Parking & Driveways



### Section 9 Tree Preservation, Landscaping & Screening



### Section 10 Lighting



### Section 22 Local Historic District Guidelines





INTEC Group  
214 W. TREMONT AVENUE  
SUITE 301  
CHARLOTTE, NC 28203  
T: 704.372.7910  
F: 704.372.7911  
www.intecgroup.net

## STATEMENT OF COMPLIANCE

Date:	September 29, 2017		
From:	John Mang, AIA	Permit No:	TBD
Project Name:	The McIntosh Law Office	Project No:	#1232-01
Discipline/Reviewer:	Town of Davidson	Dated:	TBD

**SECTION 2:** 209 Delburg St. falls into the Village Edge Planning Area. The new additions to the south-side of the building will not affect the building's current use or type. The additions will also meet the setback criteria, open space criteria and density criteria set forth by the planning area.

**SECTION 4:** The new additions to the south-side of the building are designed to accommodate the design standards set forth in section 4 of the planning ordinance, especially 4.7: Renovation of Existing Structures. Less than 50% of the building façade will be affected.

**SECTION 8:** The new additions to the south-side of the building will cause the need to re-stripe a few parking spaces on site (see A101 for new striping pattern in the covered parking area). The Village Edge planning area requires the site to have approximately 60 parking spaces (dependent on occupancy type, which will not changing in this project). The site currently holds 172 parking spaces with an additional 10 on-street spaces. The new building features will reduce the total off-street parking by 2 spaces (170 spaces).

**SECTION 9:** The new additions to the south-side of the building will not affect tree planting, landscaping or screening.

**SECTION 10:** The new additions to the south-side of the building will not affect lighting on site.

**SECTION 22:** 209 Delburg St. is located outside of the Town's historical overlay district; however, all new building features will be designed in a similar manner to match the existing building. Materials include brick, painted (white) wood frame structure and green metal roof/rails.

**Response by:** Josh Kieb, Assoc. AIA

**Date:** September 29, 2017



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Friday, September 29, 2017 1:15pm | G:\Data\12200 209 Delburg Street\12201 - The McIntosh Law Firm\01 Current\12201\_01\_G001\_Cover\_Sheet.dwg

# THE MCINTOSH LAW FIRM

CORPORATE HEADQUARTERS RENOVATION  
209 DELBURG STREET, DAVIDSON, NC 28036

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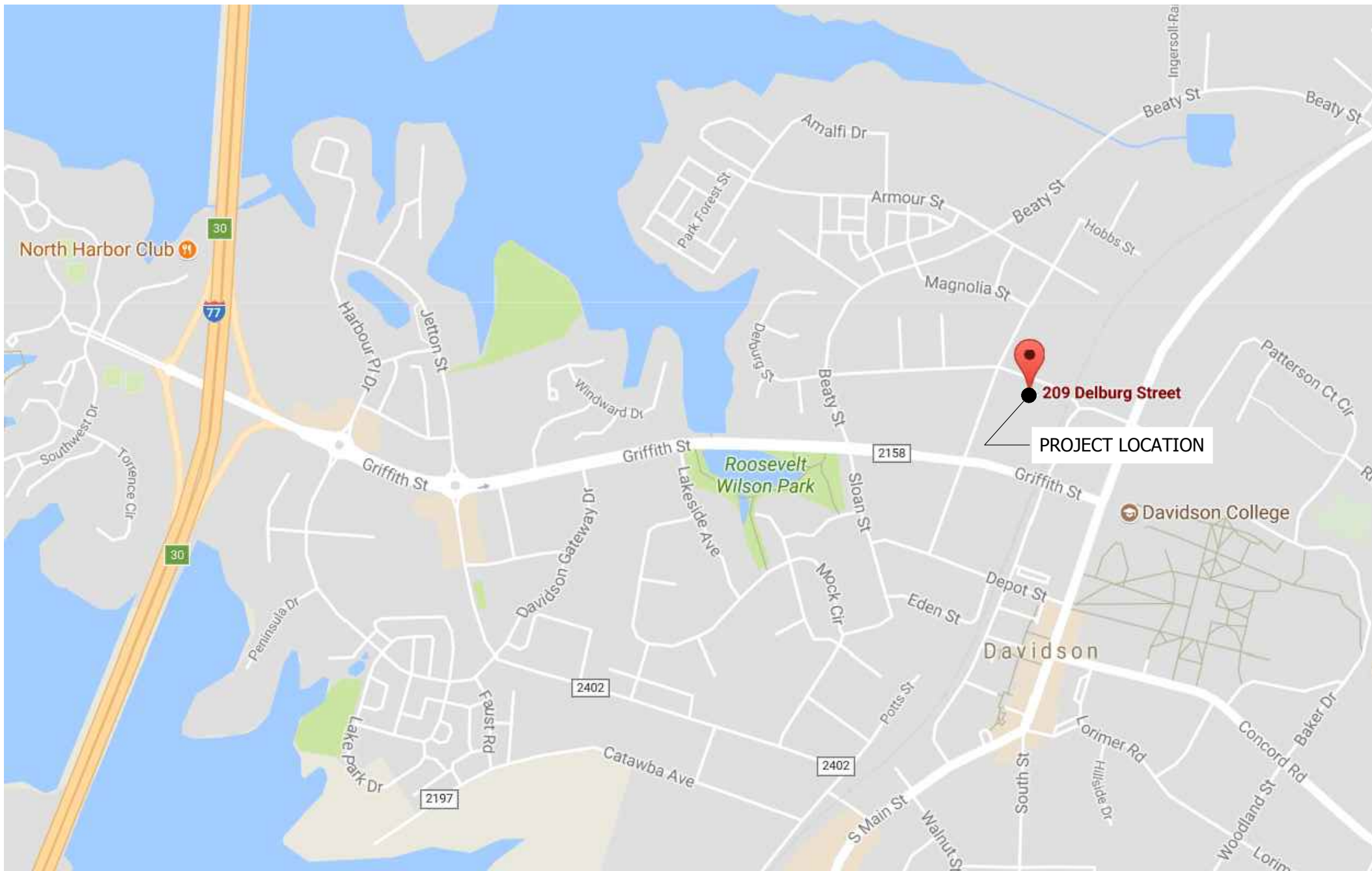
## ARCHITECT

INTEC GROUP, INC.  
214 W. TREMONT AVE.  
SUITE 301  
CHARLOTTE, NC 28203  
(704) 372-7910

## OWNER/AGENT

THE MCINTOSH LAW FIRM  
209 DELBURG ST., SUITE 203  
DAVIDSON, NC 28036

LOCATION MAP



EXISTING SITE - SCOPE OF WORK



DRAWING INDEX

PAGE	SHEET NAME
G001	COVER SHEET
A101	PICTURES & SITE PLAN
A102	PLANS, ELEVATIONS & SECTIONS

INTEC

INTEC Group, Inc.  
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SUITE 301  
CHARLOTTE, NC 28203  
P: 704.372.7910  
www.intecgroup.net

PROJECT

THE MCINTOSH LAW FIRM  
CORP. HEADQUARTERS RENOVATION  
209 DELBURG STREET, DAVIDSON, NC  
CANOPY ADDITIONS

STAMP

DRAWING LOG

SHEET INFORMATION

DATE OF DRAWING: 09/27/2017  
DRAWN BY: JK  
JOB NUMBER: 1232.01

COVER SHEET

G001



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Friday, September 29, 2017 | 1:58pm | C:\Data\123200-209 Delburg Street\123201 - The McIntosh Law Firm\03. CURRENT\1232-01\_A101\_Site.dwg



FIG. 1: EXISTING BRICK COLUMN INTEGRATED WITH WHITE PLYWOOD AND GREEN-PAINTED METAL.



FIG. 2: EXISTING BUILT FORM CONTAINING METAL-PAN STAIRS AND SECOND-FLOOR PLATFORM.



FIG. 3: EXISTING GUARDRAIL MOTIF TO BE MAINTAINED IN NEW WORK.



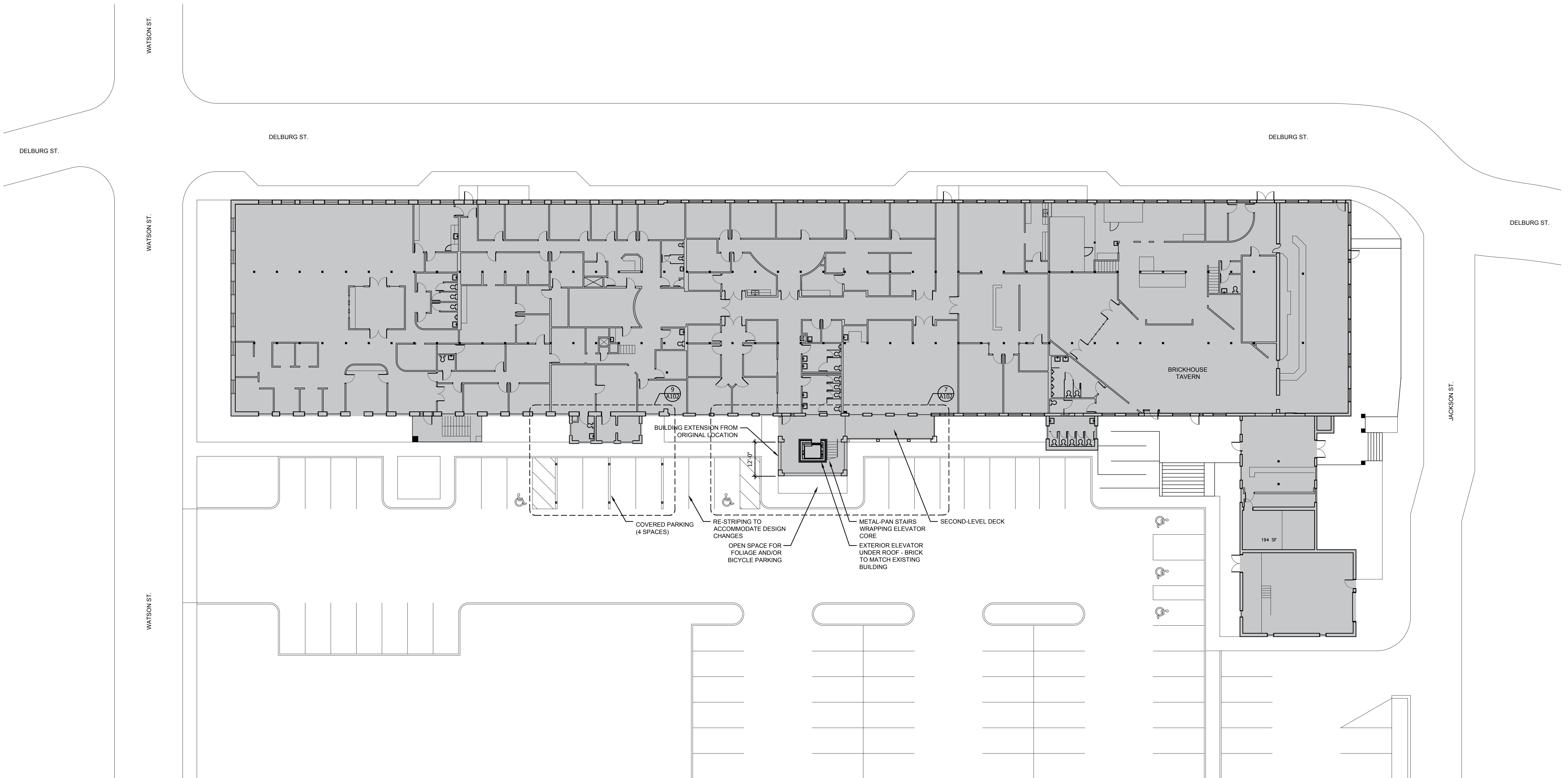
FIG. 4: EXISTING WOOD ROOF. NEW WORK TO REPLICATE ROOF STRUCTURE.



FIG. 5: EXISTING SIDEWALK IS VERY STEEP AND NARROW. NEW SIDEWALK WILL WIDEN THE WALK AND ALLOW THE SLOPE TO BECOME MORE SHALLOW.



FIG. 6: EXISTING ELEVATION AT THE POINT OF ELEVATOR ADDITION TO BE MAINTAINED.



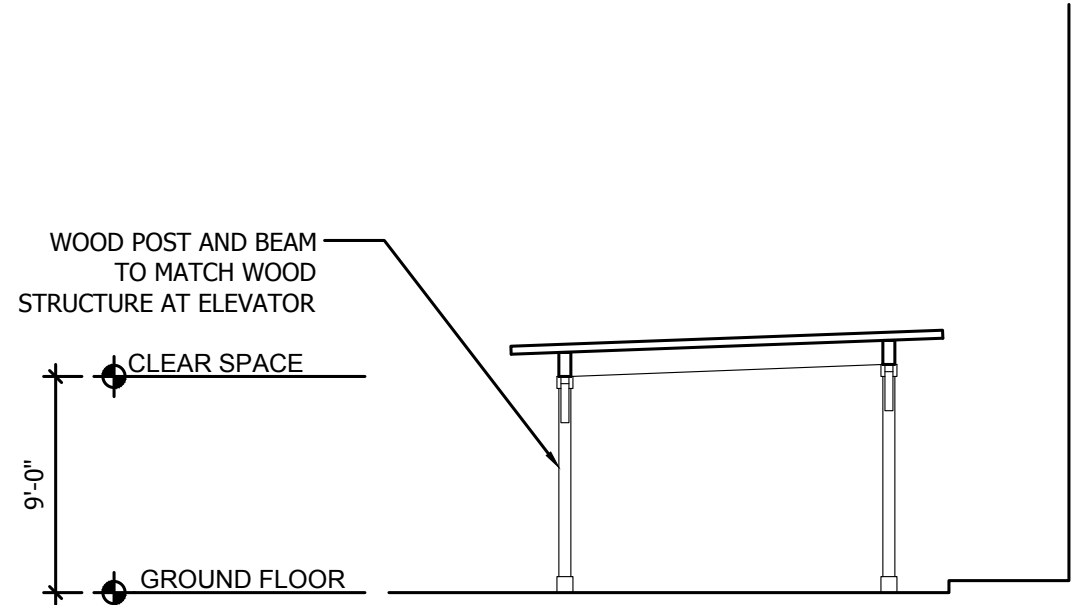


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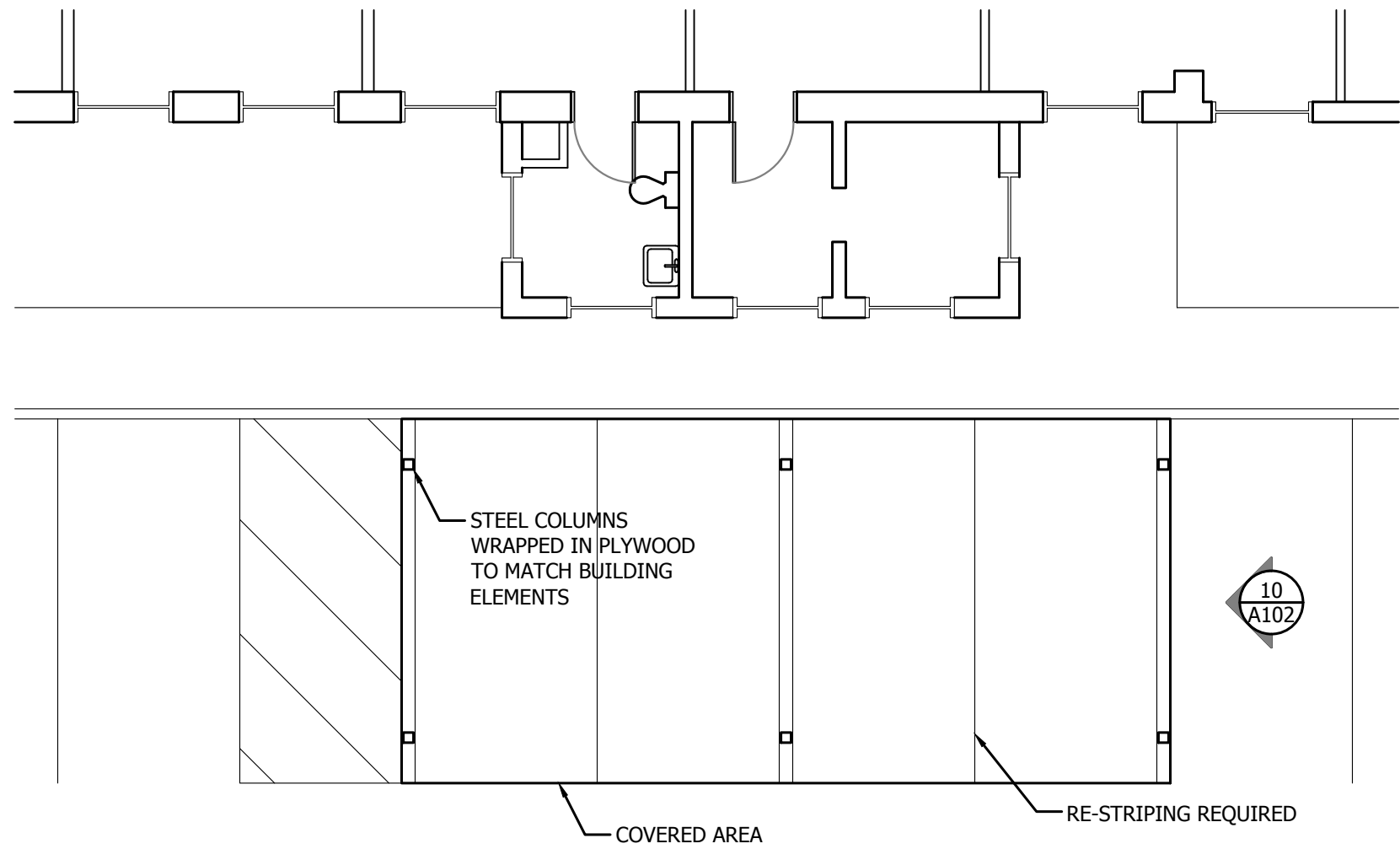
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INTEC

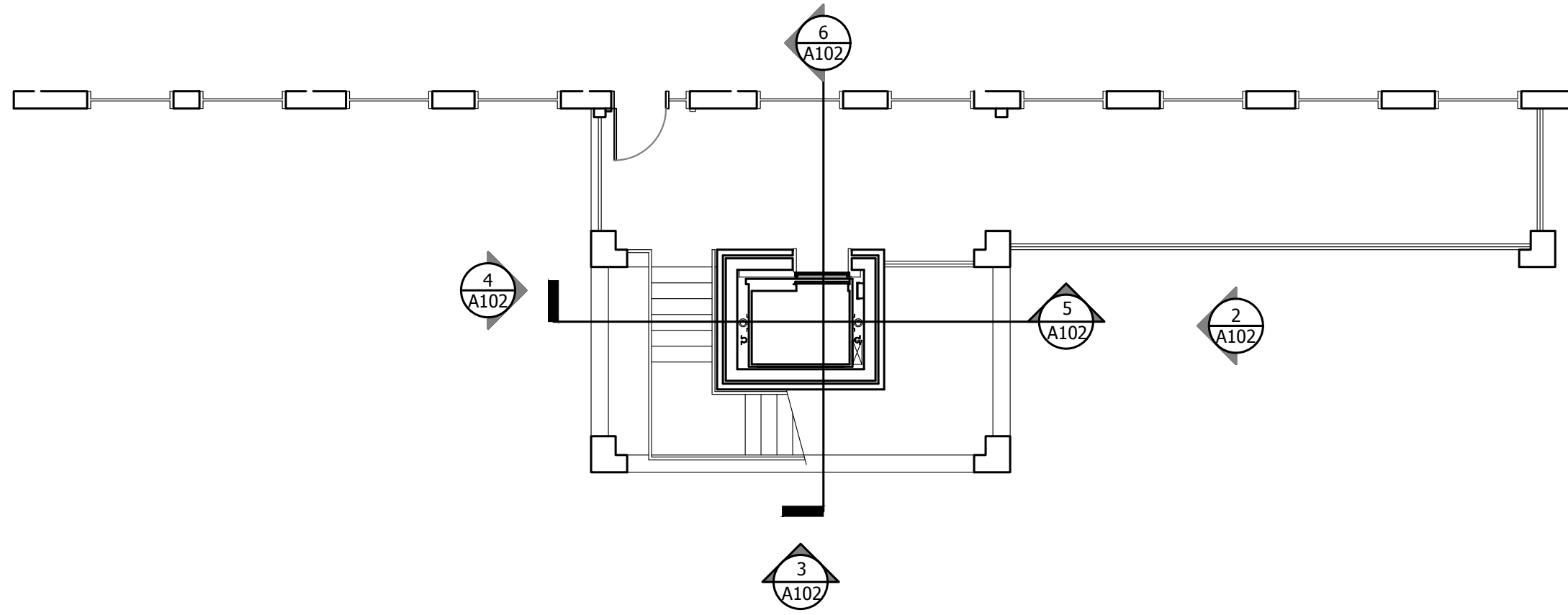
INTEC Group, Inc.  
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CHARLOTTE, NC 28203  
P: 704.372.7910  
www.intecgroup.net



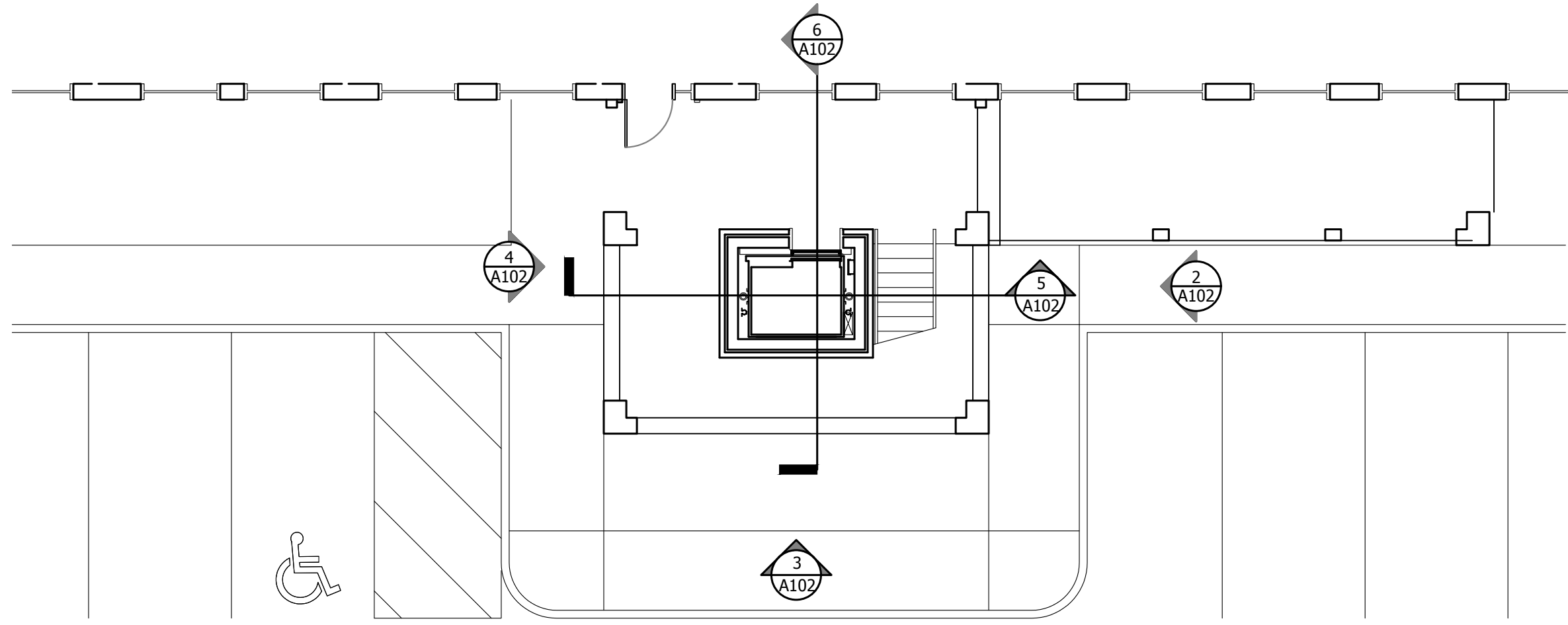
10 COVERED PARKING SECTION  
SCALE: 1/8" = 1'-0"



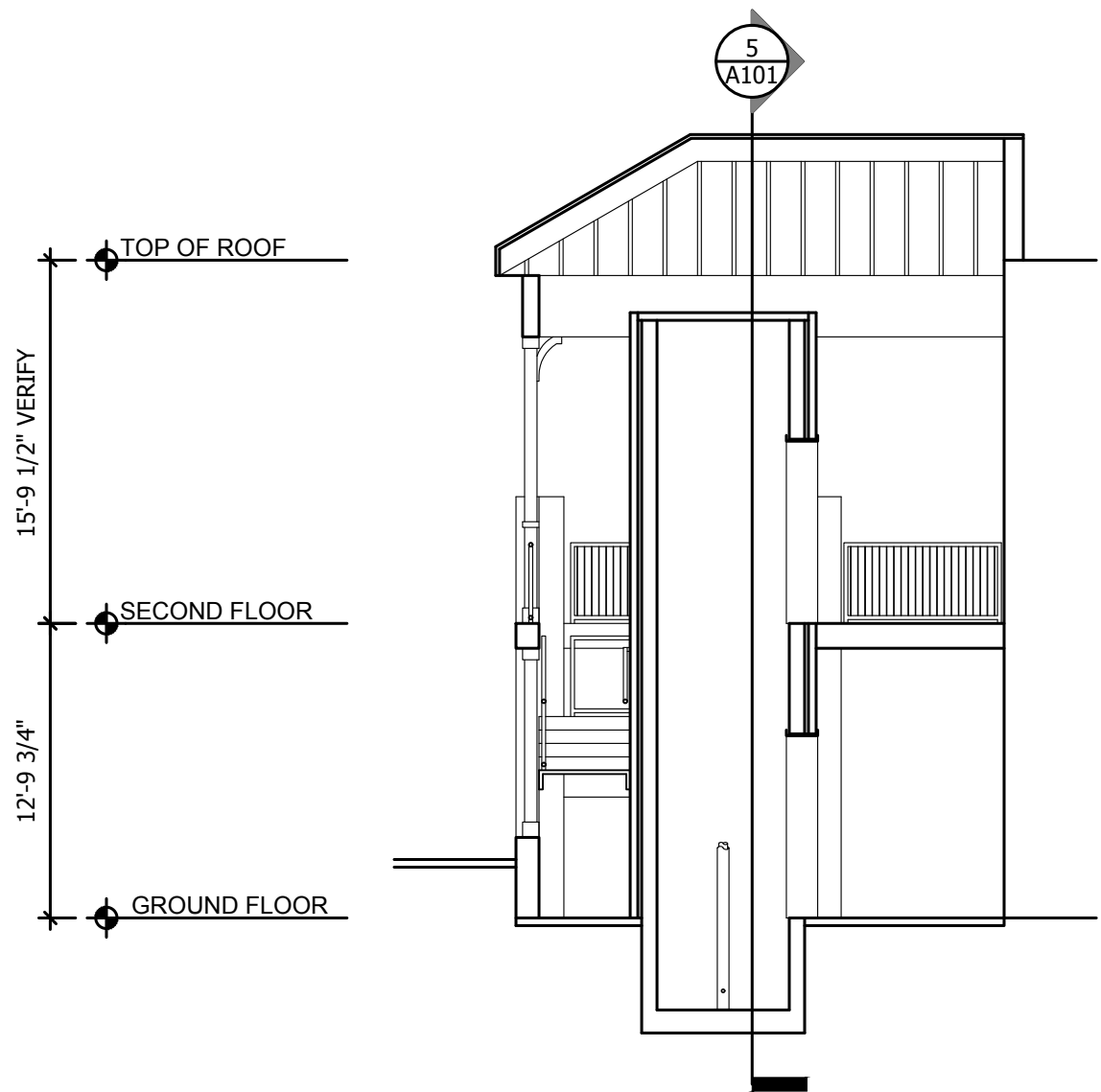
9 COVERED PARKING PLAN  
SCALE: 1/8" = 1'-0"



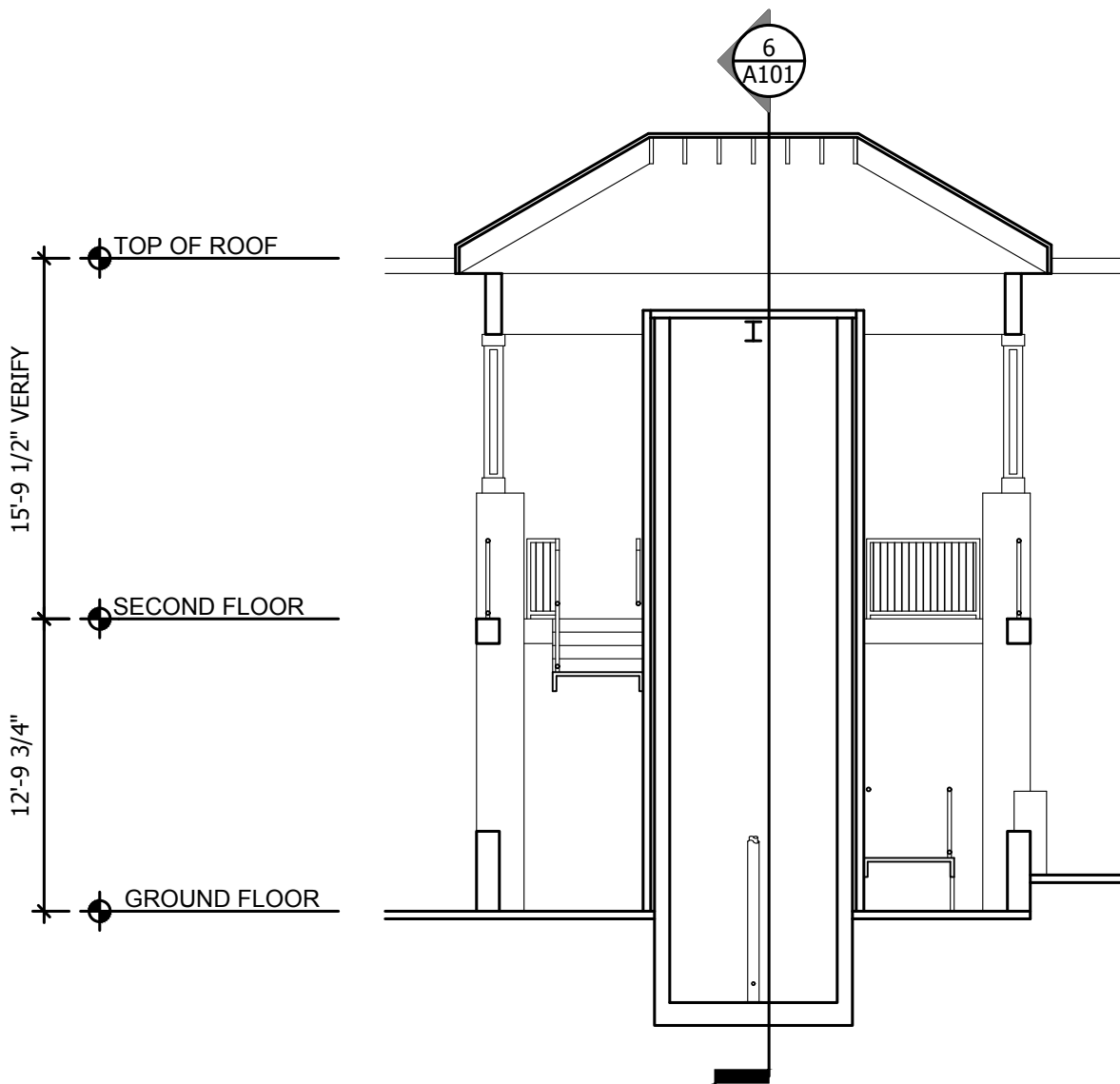
8 ENTRANCE SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



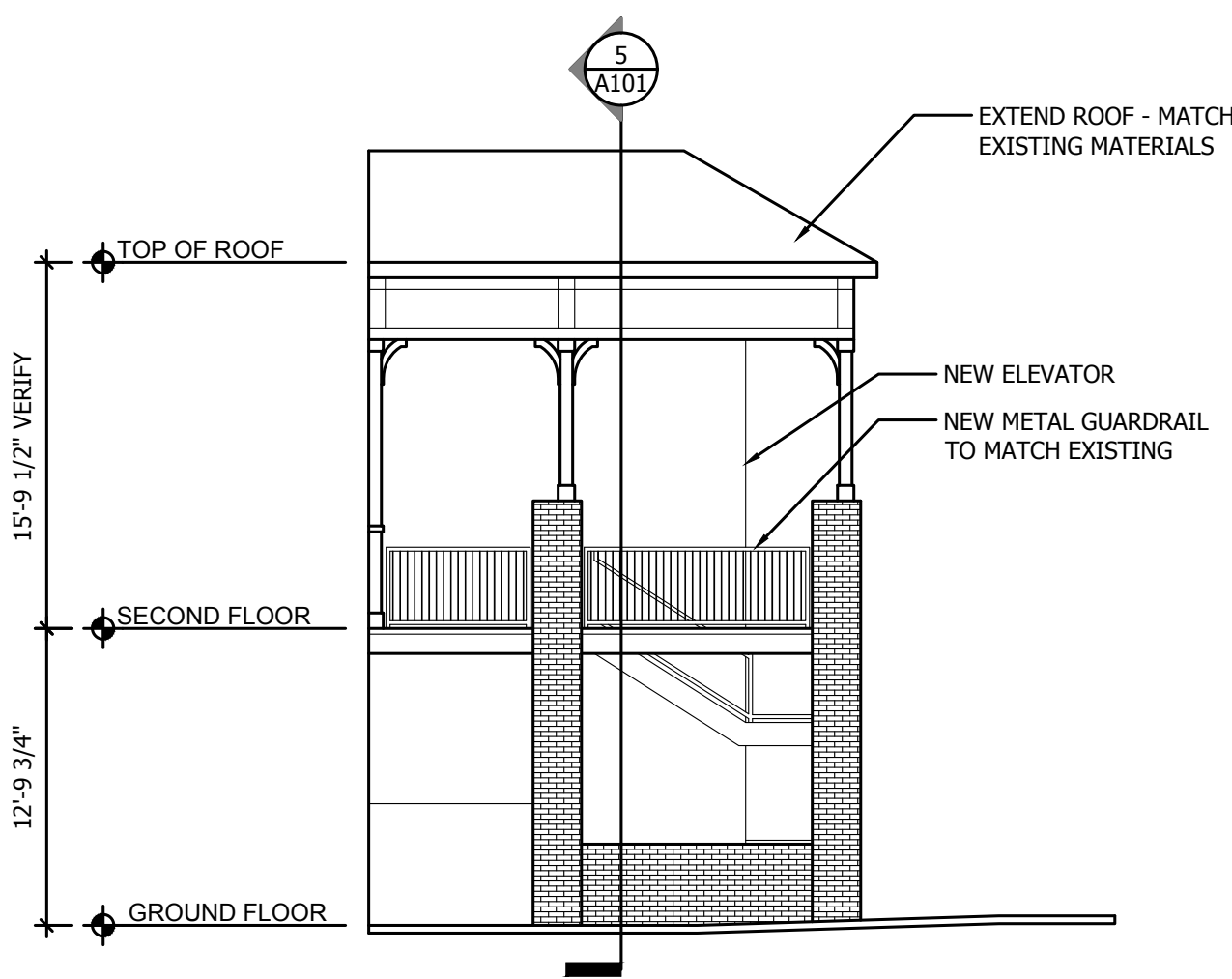
7 ENTRANCE GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



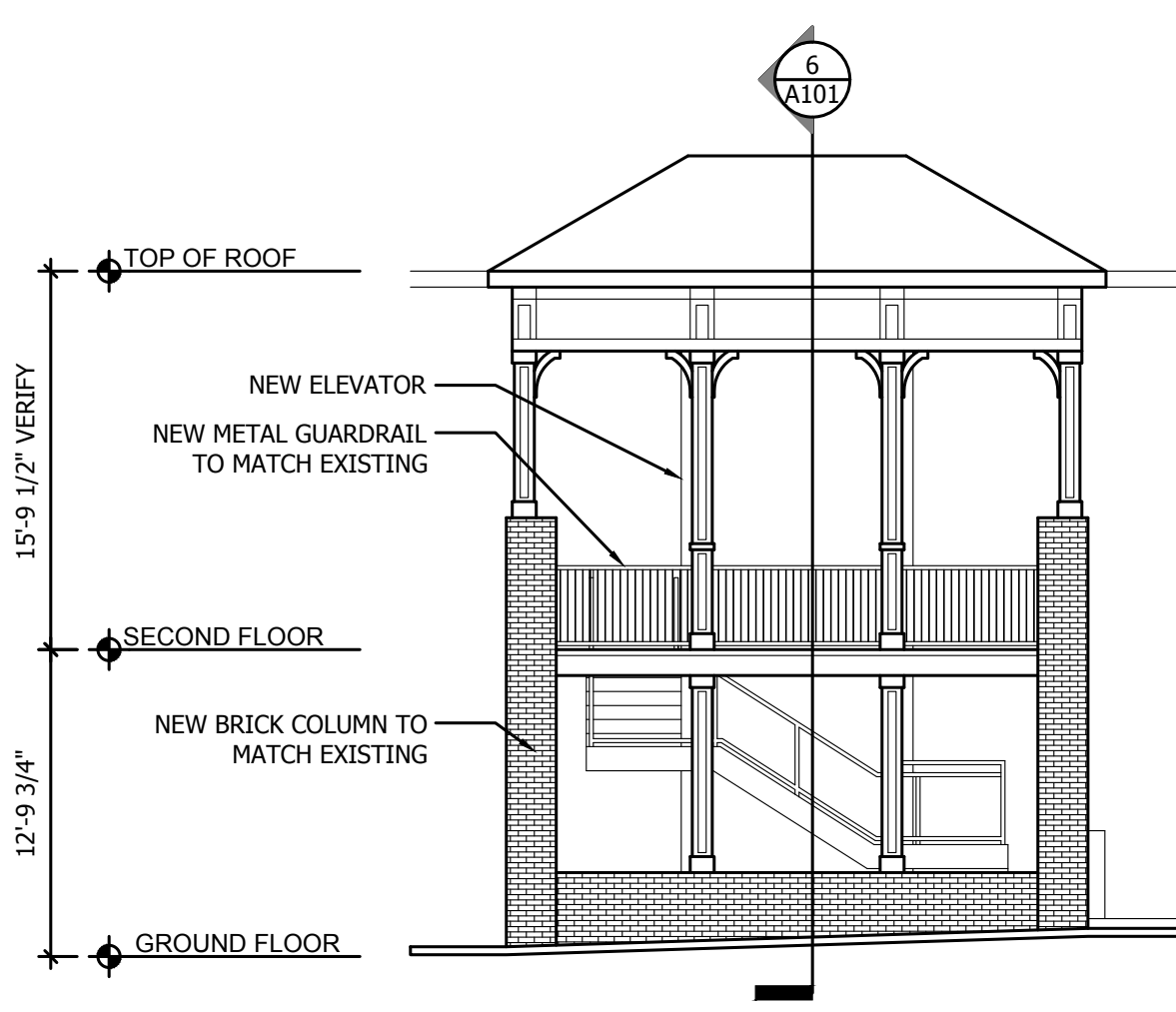
6 ENTRANCE SECTION  
SCALE: 1/8" = 1'-0"



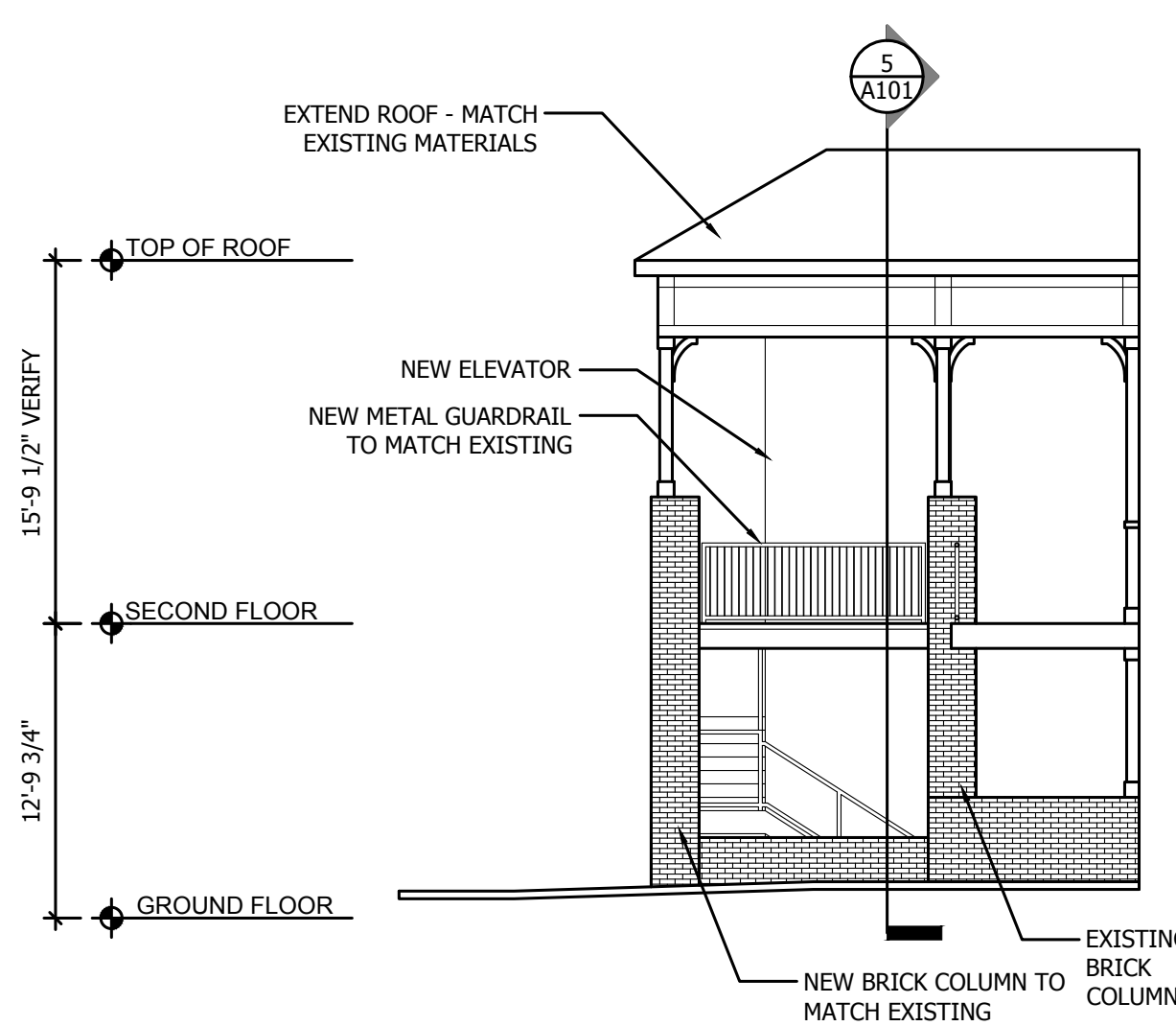
5 ENTRANCE SECTION  
SCALE: 1/8" = 1'-0"



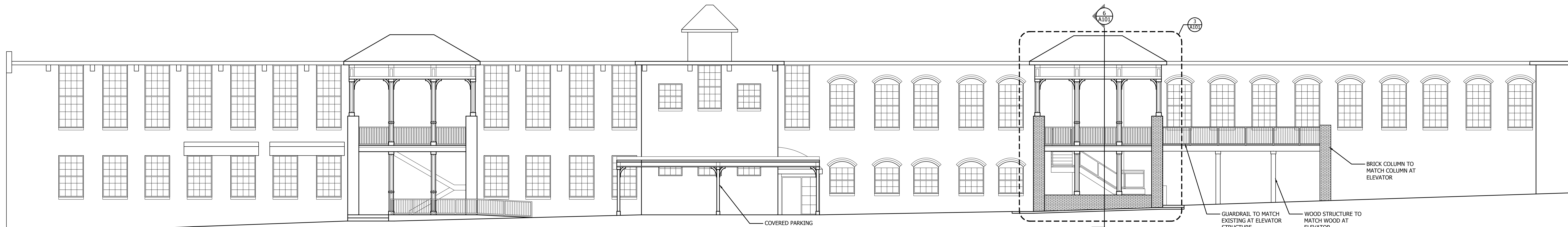
4 WEST ENTRANCE ELEVATION  
SCALE: 1/8" = 1'-0"



3 SOUTH ENTRANCE ELEVATION  
SCALE: 1/8" = 1'-0"



2 EAST ENTRANCE ELEVATION  
SCALE: 1/8" = 1'-0"



1 SOUTH BUILDING ELEVATION  
SCALE: 1/8" = 1'-0"

PROJECT

THE MCINTOSH LAW FIRM  
CORP. HEADQUARTERS RENOVATION  
209 DELBURG STREET, DAVIDSON, NC  
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DRAWN BY: JK  
JOB NUMBER: 1232.01

PLANS, ELEVATIONS &  
SECTIONS

A102