



**TOWN OF DAVIDSON
DESIGN REVIEW BOARD
Town Hall Board Room at 216 S Main St, Davidson, NC 28036**

January 17, 2018

I. CALL TO ORDER

II. SILENT ROLL CALL

- (a) Introduction of New Members
- (b) Election of Chair and Vice-Chair

III. CHANGES TO THE AGENDA

IV. REVIEW/APPROVAL OF THE MINUTES

- (a) Minutes 2017 November 15

V. CONSENT ITEMS

VI. OLD BUSINESS

- (a) Cotton Mill

VII. NEW BUSINESS

- (a) Davidson Ice House
- (b) Sofas and Cheers
- (c) Davidson Elementary Addition
- (d) Hyatt FYI

VIII. OTHER ITEMS

IX. ADJOURN



Agenda Title: Introduction of New Members

Summary:



Agenda Title: Election of Chair and Vice-Chair

Summary:



Agenda Title: Minutes 2017November15

Summary:

ATTACHMENTS:

Description	Upload Date	Type
☐ Minutes from November 15, 2017	1/11/2018	Exhibit

Meeting Minutes

Design Review Board

Town of Davidson, NC
November 15, 2017

A meeting of the Town of Davidson *Design Review Board* was held in the Town Hall, Administrative Conference Room, 216 S. Main St.

Call to Order: 7:04 p.m.

Silent Roll Call and Determination of Quorum:

Members Present signified by ☒:

☒ Bob Lauer, Chair

☐ John Burgess

☒ Mike Kessler

☒ Bruce Barteldt

☒ Tom Goodwin

☒ Bob Sipp

☒ Brian Bumann

Town Staff Present: Chad Hall (Senior Planner), Dawn Blobaum (Assistant Town Manager)

Changes to the Agenda: Change in the order of new business items, for medical reasons of an applicant. Motion made (MK) and seconded (TG) and approved unanimously.

Review/Approval of the Minutes

A motion was made (MK) to approve meeting minutes of August 16, 2017 as written. It was seconded (TG) and the motion was approved unanimously.

Consent Item: None

Old Business:

1. Davidson College Presbyterian Church – Monument Sign

Located at 100 North Main Street (LHD)

College Campus Planning Area

Proposed monument sign

Represented by Brad Jones (DCPC)

Chad Hall gave an update on the sign project, having been continued from October.

New images were provided that illustrated intended landscaping and lighting.

The sign was installed at some time between 1952 and 1954. The period of significance for the National Register Historic District is 1837-1959.

Since October, staff visited the campus and church and proposed two external locations for potential relocation; another option would be installing interior to the church.

The Board acted on the request with two considerations:

- Should the existing sign be removed?
- Is the proposed sign congruous with the site and district?

The discussion centered on the current sign being more in keeping with the district, though maybe not the building. On this significant corner of town, it was expressed that a sign should respect the district.

A motion was made (TG) to acknowledge the current sign as contributing to the character of the site and fabric of the historic district. It was seconded (MK) and the board was unanimous in this recognition.

A motion was made (BS) to approve as submitted. Without a second, the motion failed.

A motion was made (BBumann) to deny the proposed sign, as submitted. It was seconded (MK). Further discussion ensued, where Brad Jones mentioned that another design is available.

With that information, the motion to deny was retracted (BBumann) and seconded (BS) and approved unanimously to continue the hearing to allow for staff to work with the applicant on a new proposed sign.

Direction was given that the new design should be similar to the current design.

New Business:

1. The Cotton Mill - FYI

Located at 209 Delburg Street

Village Edge Planning Area

Proposed multiple changes (elevator and deck; covered parking; awnings)

Applicant could not be in attendance; no other representation

Chad Hall gave a brief overview of the project, pointing out changes made since October to the various projects:

- Elevator addition and deck
- Covered parking area
- Awning (to match existing)

Shortly into discussion, a few questions arose. Without the applicant in attendance, the Board made a motion (MK) to continue the case until January. It was seconded (BS) and approved unanimously.

The Board did want to provide some direction to the applicant:

- Right Stair Pavilion:
 - How seen from side is still an issue. Try simple pyramid.
 - Wood columns seem skinny in proportion to the height (void). If columns get wider, may also need deeper floor depth to stay proportional.

- Too much white board under roof.
- Covered Parking:
- Address proportion of columns and detail of how they attach to the underside of the beam (brackets).

2. Town Hall - FYI

Located at 216 South Main Street

Village Center and Village Commerce Planning Areas

Proposed new Town Hall building and associated plaza

Brent Green (Creech - Architecture), David Amalong (Stantec – Site/Plaza)

Chad Hall gave a brief overview of the project, mentioning materials and massing. A vast majority of time was sent going through the provided images and letting the board absorb the proposal. Afterward, Brent Green and David Amalong gave a detailed presentation on the building and site (plaza).

The Board responded positively to the FYI material, including some newer material presented at the meeting. Certain details were discussed and the team was encouraged to explore further modification and design evolution:

- Main entrance needs additional consideration; seems pinched horizontally. Could tie to piers for more prominence.
- Design seems a little heavy on brick, recognizing widows are already 4'x8.' Design team expressed desire to convey load-bearing presence, but will try to balance more.
- Mechanical will likely be on roof; parapet is +/- 4' tall.
- Plaza: protection from Main Street (vehicular)
- Pinch plaza to block current Town Hall?
- Change facade of current Town Hall!
- Any signage? Answered by stating that it has not been determined yet.

Board felt it was a handsome building that is influenced by other buildings in Davidson. A very good first step.

Note: After the FYI was over, the Board had an epiphany related to sun orientation and that the plaza side arcade could possibly benefit from a change in materials to something lighter, such as limestone; this cue could be taken from Chambers Building. This idea was conveyed to the design team on 11/16.

Adjourn: A motion was made to adjourn (TG), seconded (BL), and approved unanimously. The meeting was adjourned at 9:17 pm.

Approval of Minutes:

Date: _____ By: _____

Please note: This is a summary of the meeting and not to be considered a complete transcript.



Agenda Title: Cotton Mill

Summary:

ATTACHMENTS:

Description	Upload Date	Type
❑ Application	1/11/2018	Exhibit
❑ Revised Drawings	1/11/2018	Exhibit
❑ Staff Analysis	1/11/2018	Exhibit



Design Review

DAVIDSON MILL EXTENSION IMPROVEMENTS
(Name of Project)

Contact Information

Applicant's Information

Name: JOHN MANG
E-Mail: JMANG@INTECGROUP.NET
Mailing Address: 214 W. TREMONT AVE SUITE 301
CHARLOTTE, NC 28203
Business Phone: 704-372-7910 Mobile Phone: 704-507-9427

Property Owner's Information

(If Different from Applicant)

Name: BOB MCINTOSH
E-Mail: BOB@MCINTOSH-LAWFIRM.COM
Mailing Address: THE MCINTOSH LAW FIRM
PO BOX 2270 DAVIDSON NC 28036
Business Phone: 704-892-1699 Mobile Phone: _____

Architect's Information

Name of Firm: INTER GROUP INC
Architect's Name: JOHN MANG
E-Mail: JMANG@INTECGROUP.NET
Mailing Address: 214 W. TREMONT AVE SUITE 301
CHARLOTTE, NC 28203
Business Phone: 704-372-7910 Mobile Phone: 704-507-9427



Design Review

DAVIDSON MILL EXTERIOR IMPROVEMENTS
(Name of Project)

Project Description

Application Date:

9/29/17

Project Location:

209 DELBURG STREET

Tax Parcel(s):

020326108

Planning Area:

VE

Overlay District:

Master or Cond. Plan

(Attach Conditions of Approval)

Gen. Statement of Intent:

ADDITION OF ELEVATOR & MINOR EXTERIOR IMPROVEMENTS

Project Details:

• Project Type:



Individual Bldg.



Master Plan



Conditional Planning Area



Sign

• Building Type:



Detached House



Townhouse



Attached House (Tri- or Quadplex)



Institutional



Live/Work



Multi-family (Apts., Condos, Flats)



Workplace



Storefront



Accessory Structure

• Use(s):

BUSINESS

• Height & Stories:

30'-0" +/- 2 STORIES

• Square Footage:

52100 +/-

• Building Materials:

BRICK

Architectural

Features:

Existing Site

Conditions:

See 14.12.2.D



Design Review

Davidson Mill Exterior Improvements

(Name of Project)

Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.



Planning Ordinance

<http://www.townofdavidson.org/1006/Planning-Ordinance>

(Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)



Section 2 Planning Areas



Permitted Use/Add'l Req.



Not Permitted



Permitted Building Type



Not Permitted



Meets Setback Criteria



Does Not Meet



Meets Open Space Criteria



Does Not Meet



Meets Density Criteria



Does Not Meet



Section 4 Design Standards



General Site Design Criteria (4.3)



General Building Design Criteria (4.4)



Specific Building Type Criteria (4.5)



Existing Industrial Campuses Criteria (4.6)



Renovation of Existing Structures Criteria (4.7)



Section 8 Parking & Driveways



Section 9 Tree Preservation, Landscaping & Screening



Section 10 Lighting



Section 22 Local Historic District Guidelines



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STATEMENT OF COMPLIANCE

Date:	September 29, 2017		
From:	John Mang, AIA	Permit No:	TBD
Project Name:	The McIntosh Law Office	Project No:	#1232-01
Discipline/Reviewer:	Town of Davidson	Dated:	TBD

SECTION 2: 209 Delburg St. falls into the Village Edge Planning Area. The new additions to the south-side of the building will not affect the building’s current use or type. The additions will also meet the setback criteria, open space criteria and density criteria set forth by the planning area.

SECTION 4: The new additions to the south-side of the building are designed to accommodate the design standards set forth in section 4 of the planning ordinance, especially 4.7: Renovation of Existing Structures. Less than 50% of the building façade will be affected.

SECTION 8: The new additions to the south-side of the building will cause the need to re-stripe a few parking spaces on site (see A101 for new striping pattern in the covered parking area). The Village Edge planning area requires the site to have approximately 60 parking spaces (dependent on occupancy type, which will not changing in this project). The site currently holds 172 parking spaces with an additional 10 on-street spaces. The new building features will reduce the total off-street parking by 2 spaces (170 spaces).

SECTION 9: The new additions to the south-side of the building will not affect tree planting, landscaping or screening.

SECTION 10: The new additions to the south-side of the building will not affect lighting on site.

SECTION 22: 209 Delburg St. is located outside of the Town’s historical overlay district; however, all new building features will be designed in a similar manner to match the existing building. Materials include brick, painted (white) wood frame structure and green metal roof/rails.

Response by: Josh Kieb, Assoc. AIA **Date:** September 29, 2017

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Friday, September 29, 2017 1:15pm | G:\Data\12200 209 Delburg Street\12201 - The McIntosh Law Firm\01 CURRENT\1224-01_G001_Cover_Sheet.dwg

THE MCINTOSH LAW FIRM

CORPORATE HEADQUARTERS RENOVATION
209 DELBURG STREET, DAVIDSON, NC 28036

NOT FOR CONSTRUCTION

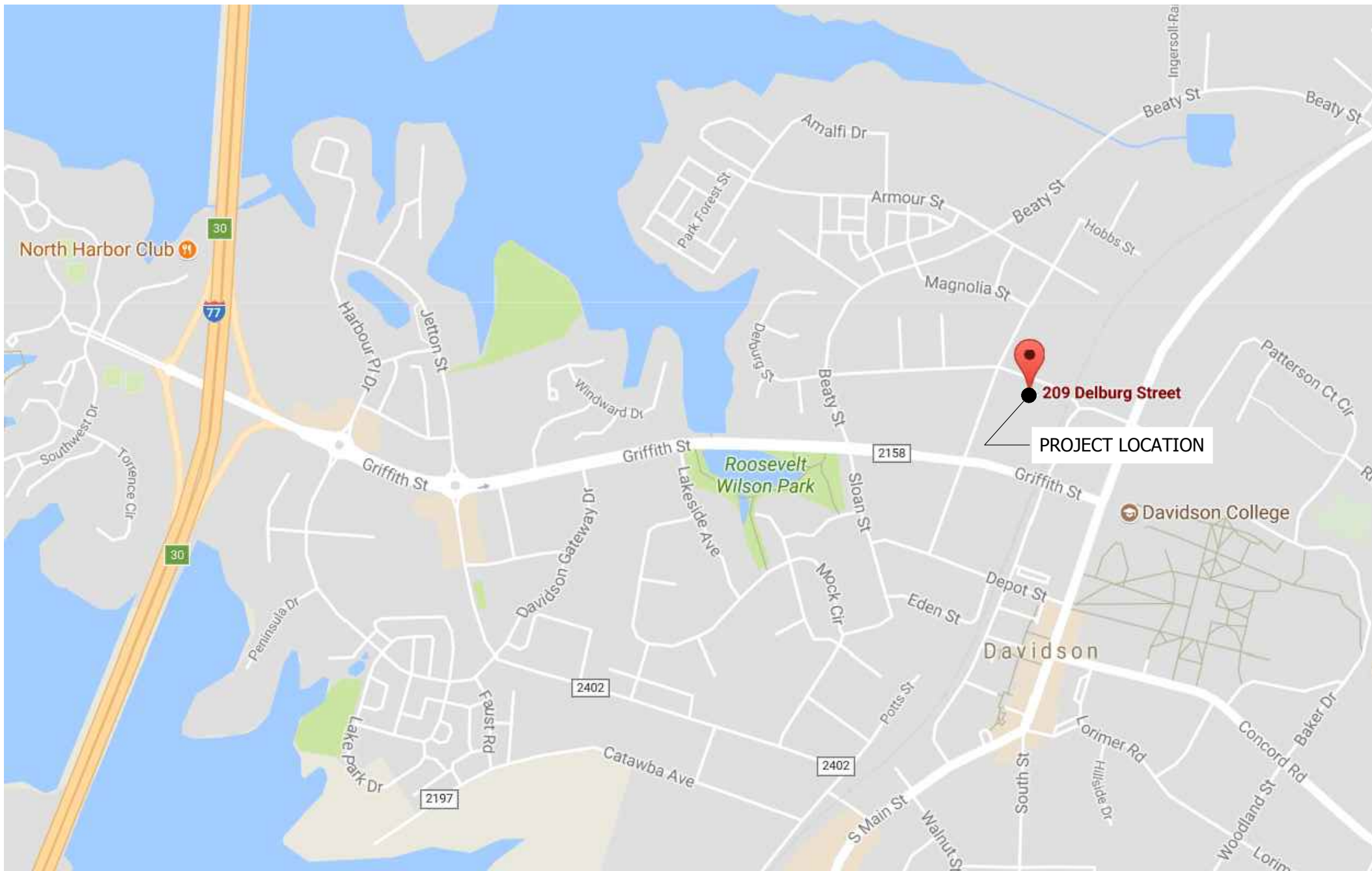
ARCHITECT

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OWNER/AGENT

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LOCATION MAP



EXISTING SITE - SCOPE OF WORK



DRAWING INDEX

PAGE	SHEET NAME
G001	COVER SHEET
A101	PICTURES & SITE PLAN
A102	PLANS, ELEVATIONS & SECTIONS

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PROJECT

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CANOPY ADDITIONS

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DRAWING LOG

SHEET INFORMATION

DATE OF DRAWING: 09/27/2017
DRAWN BY: JK
JOB NUMBER: 1232.01

COVER SHEET

G001

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Friday, September 29, 2017 | 1:58pm | C:\Data\123200-209 Delburg Street\123201 - The McIntosh Law Firm\03. CURRENT\1232-01_A101_Site.dwg



FIG. 1: EXISTING BRICK COLUMN INTEGRATED WITH WHITE PLYWOOD AND GREEN-PAINTED METAL.



FIG. 2: EXISTING BUILT FORM CONTAINING METAL-PAN STAIRS AND SECOND-FLOOR PLATFORM.



FIG. 3: EXISTING GUARDRAIL MOTIF TO BE MAINTAINED IN NEW WORK.



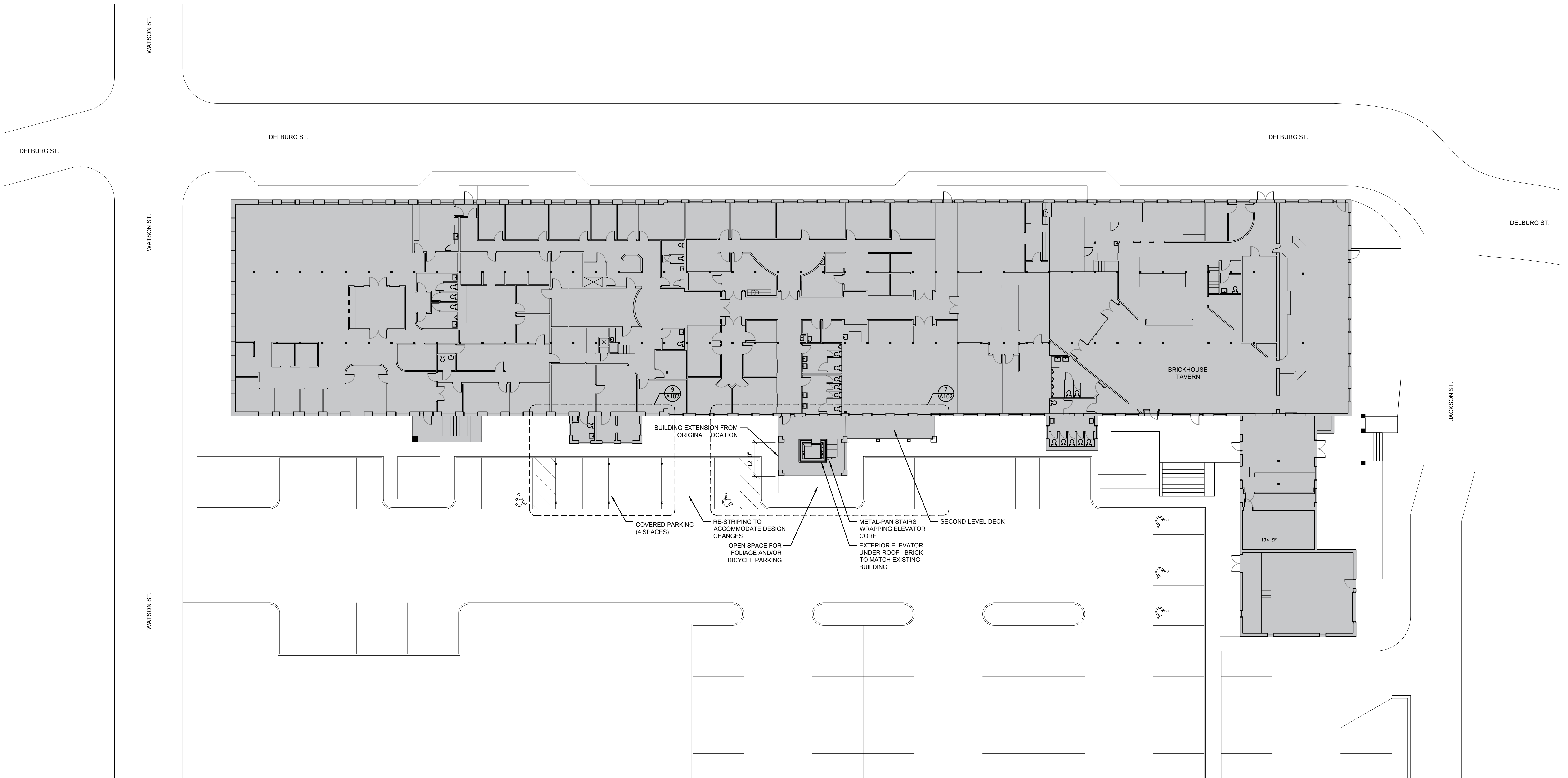
FIG. 4: EXISTING WOOD ROOF. NEW WORK TO REPLICATE ROOF STRUCTURE.



FIG. 5: EXISTING SIDEWALK IS VERY STEEP AND NARROW. NEW SIDEWALK WILL WIDEN THE WALK AND ALLOW THE SLOPE TO BECOME MORE SHALLOW.



FIG. 6: EXISTING ELEVATION AT THE POINT OF ELEVATOR ADDITION TO BE MAINTAINED.



1 SITE PLAN - NEW WORK
A101 SCALE: 1/16" = 1'-0"

PLAN-NORTH TRUE-NORTH

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DATE OF DRAWING: 09/27/2017
DRAWN BY: JK
JOB NUMBER: 1232.01

PICTURES & SITE PLAN

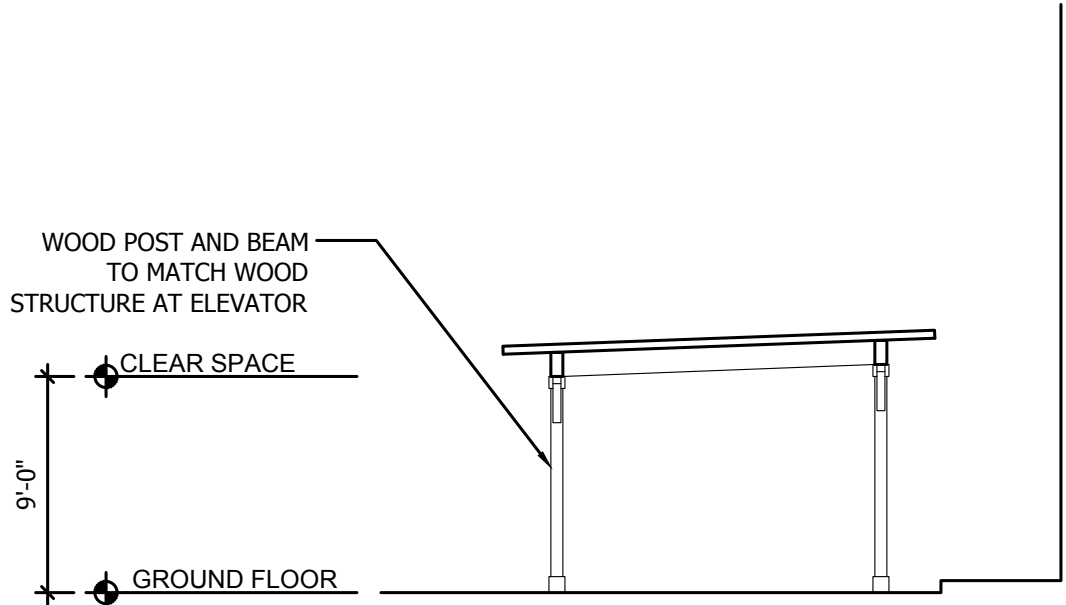
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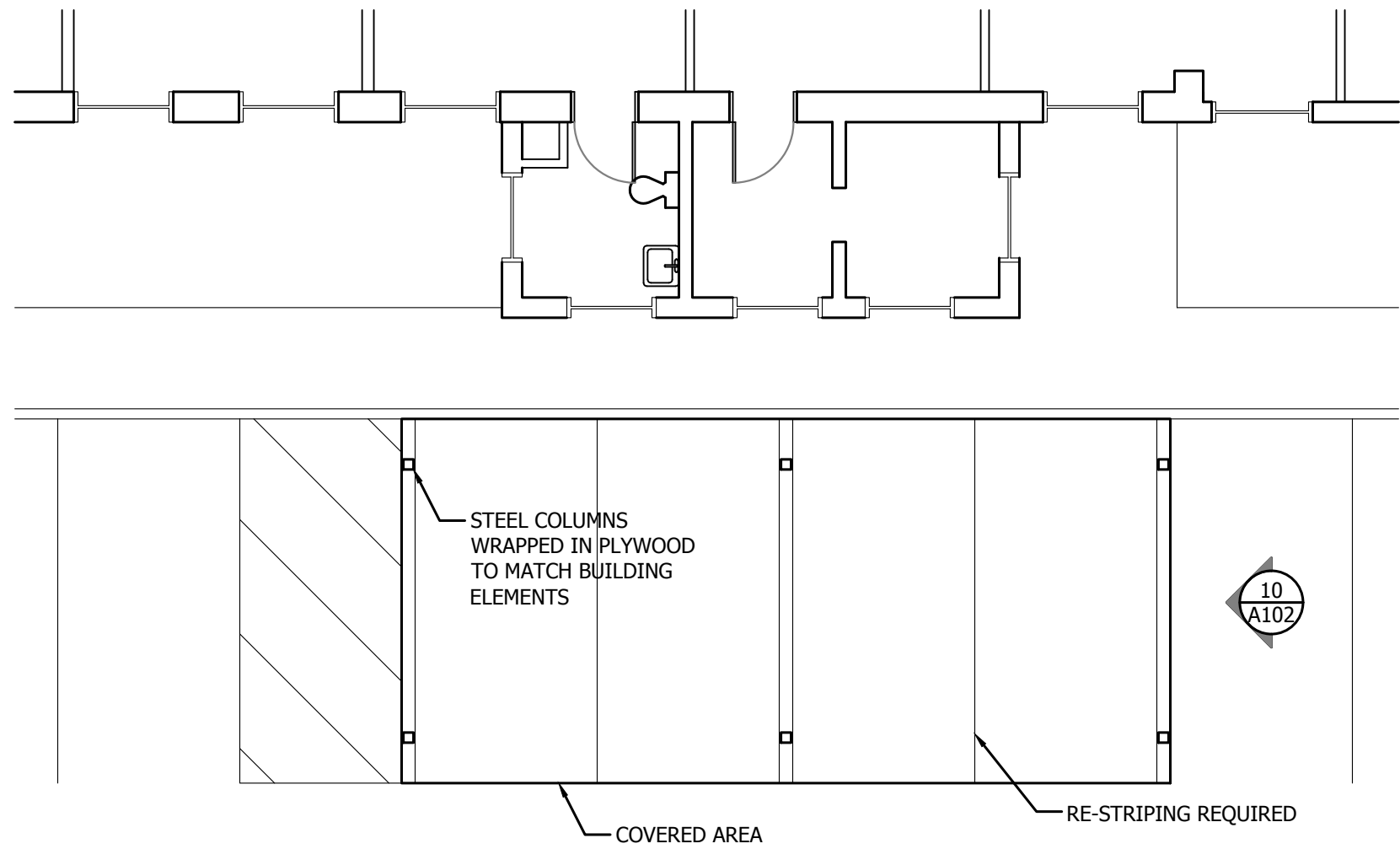
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INTEC

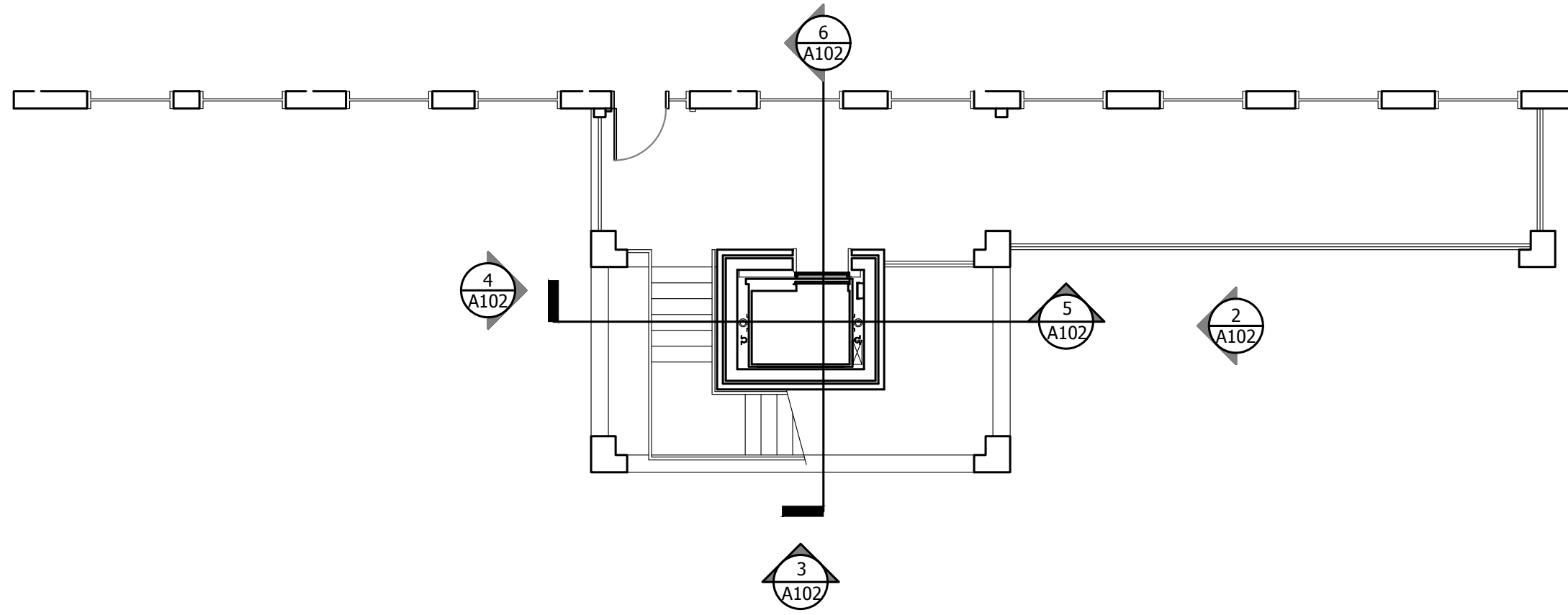
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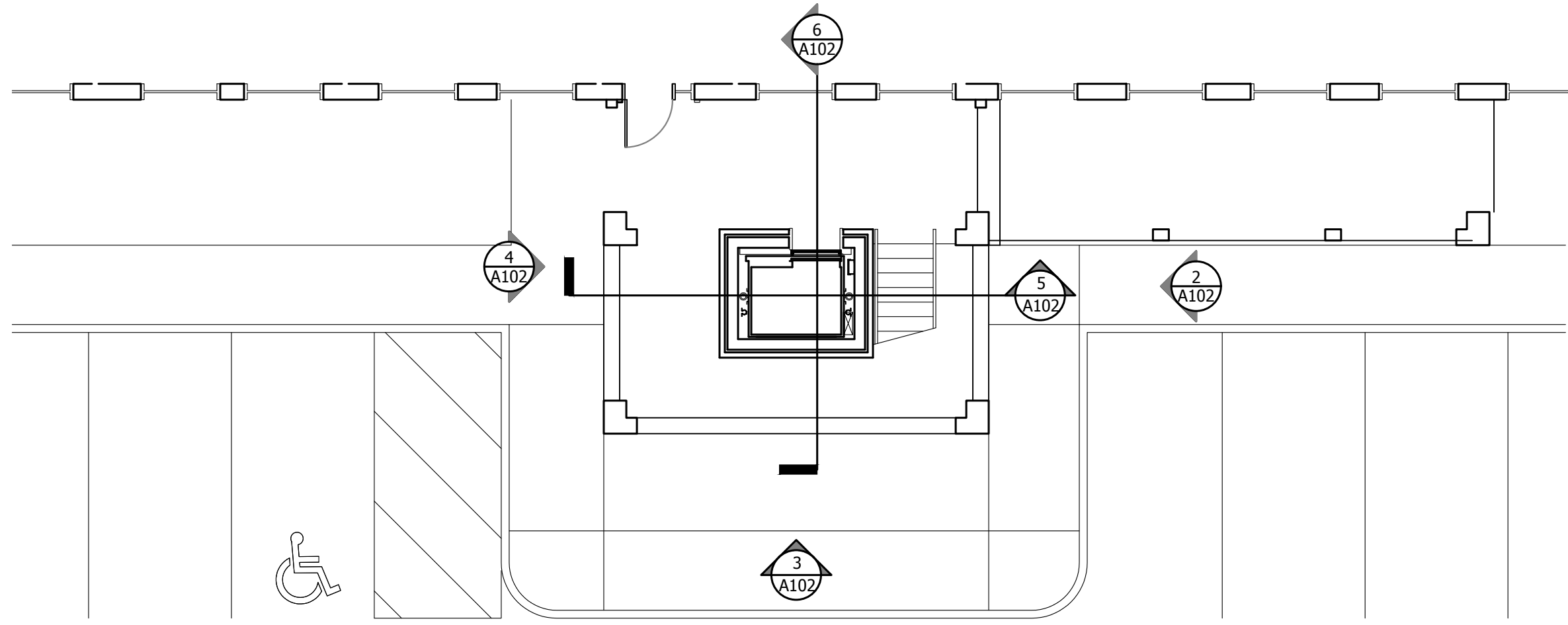
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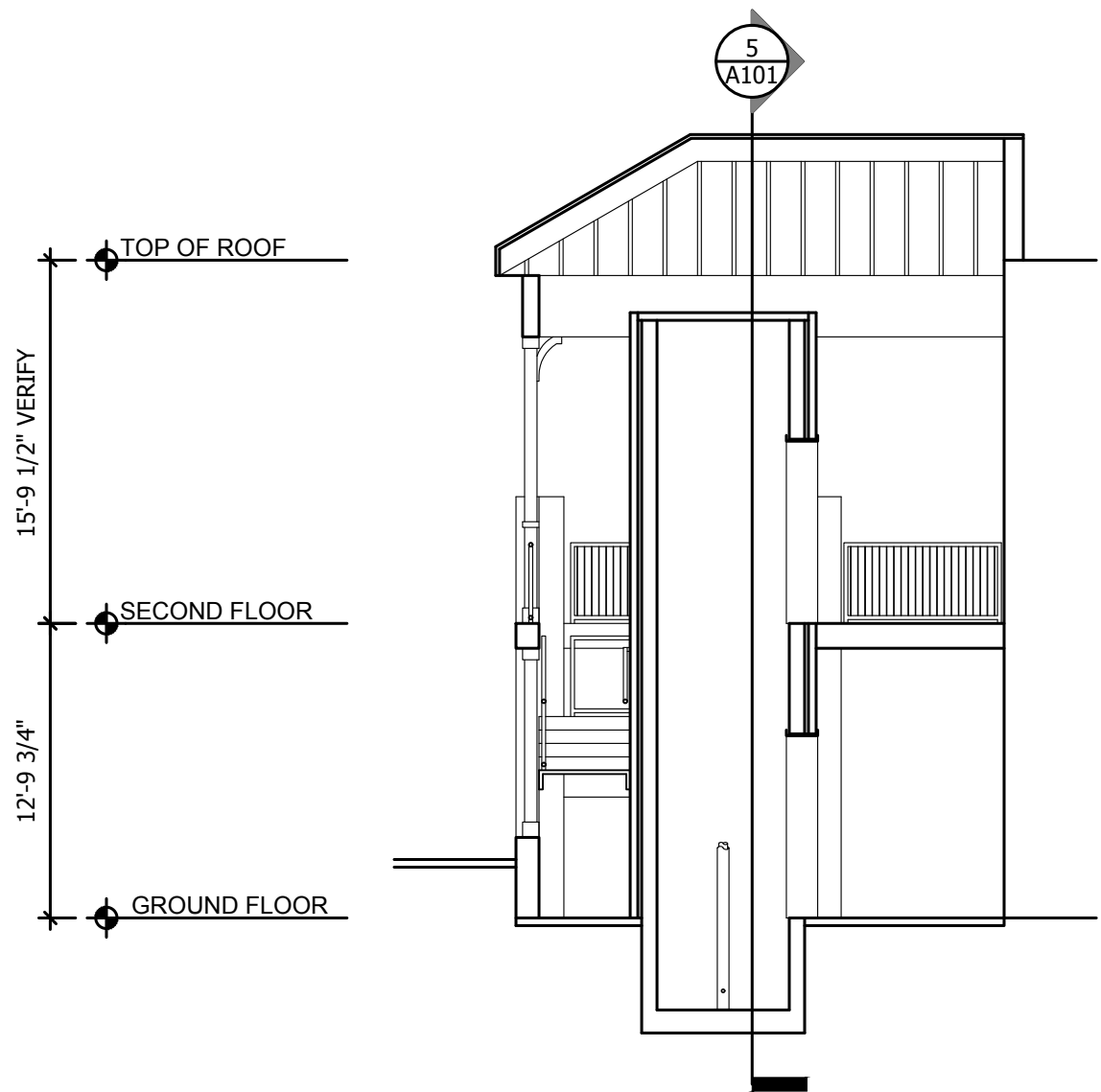
9 COVERED PARKING PLAN
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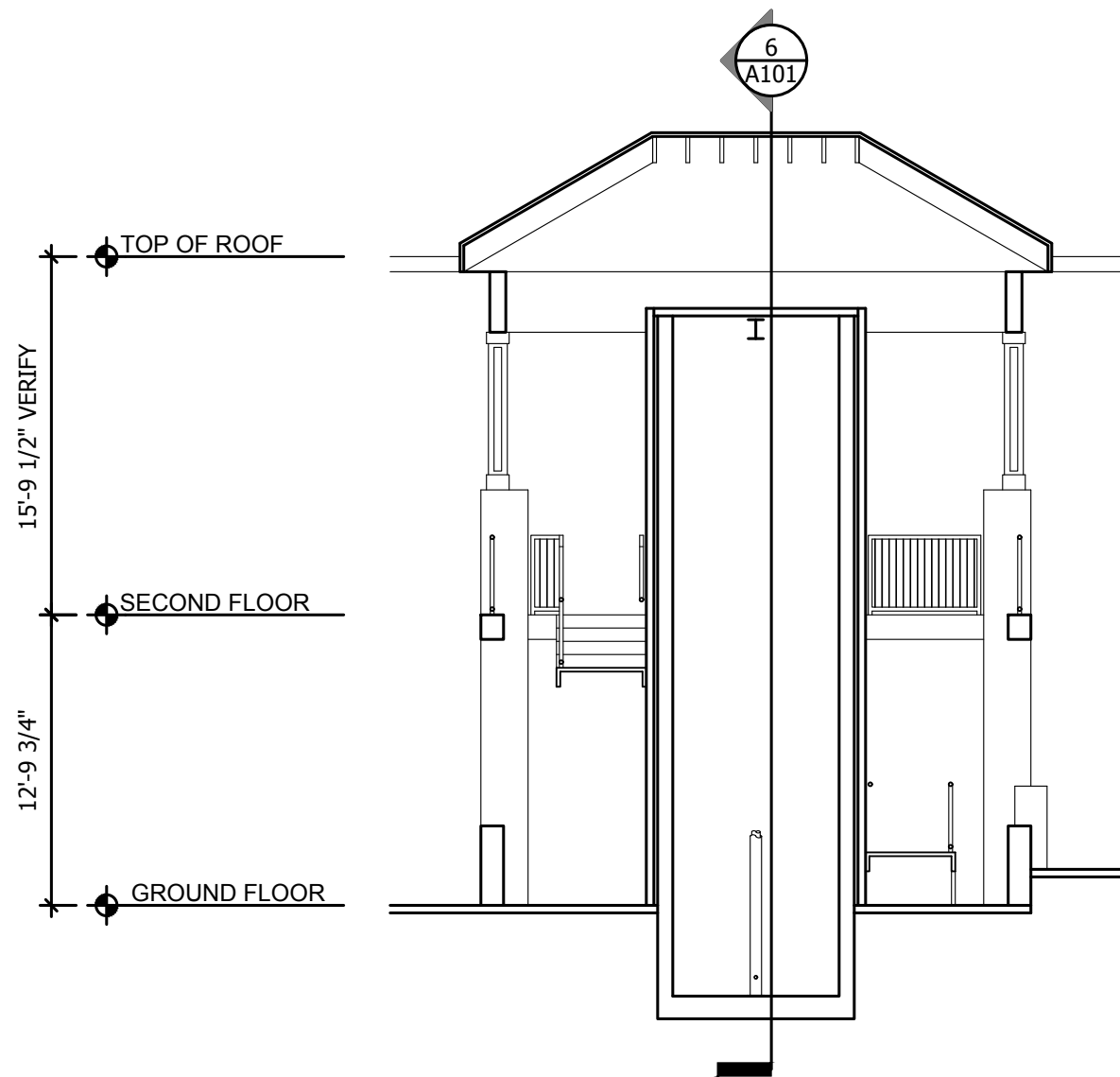
8 ENTRANCE SECOND FLOOR PLAN
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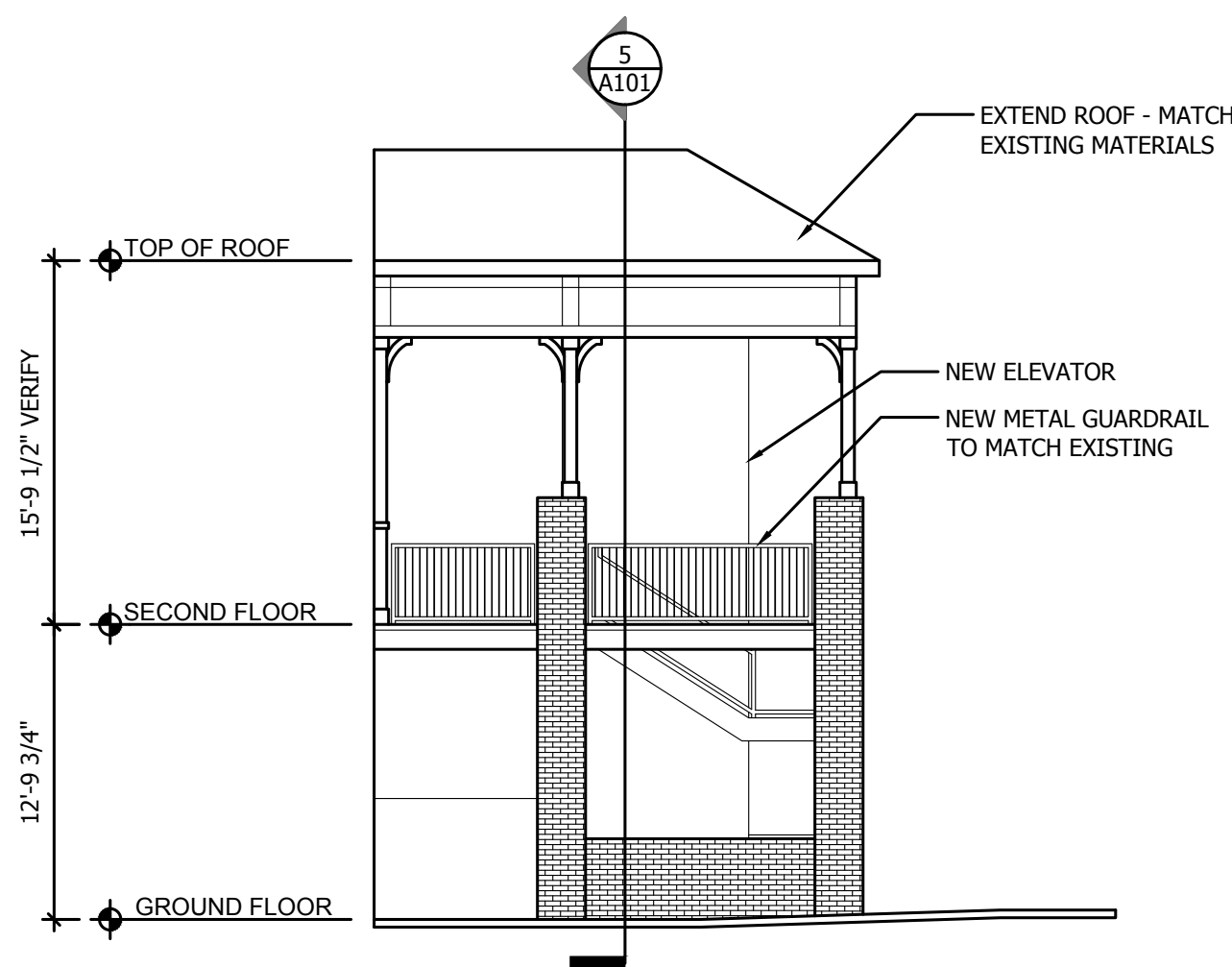
7 ENTRANCE GROUND FLOOR PLAN
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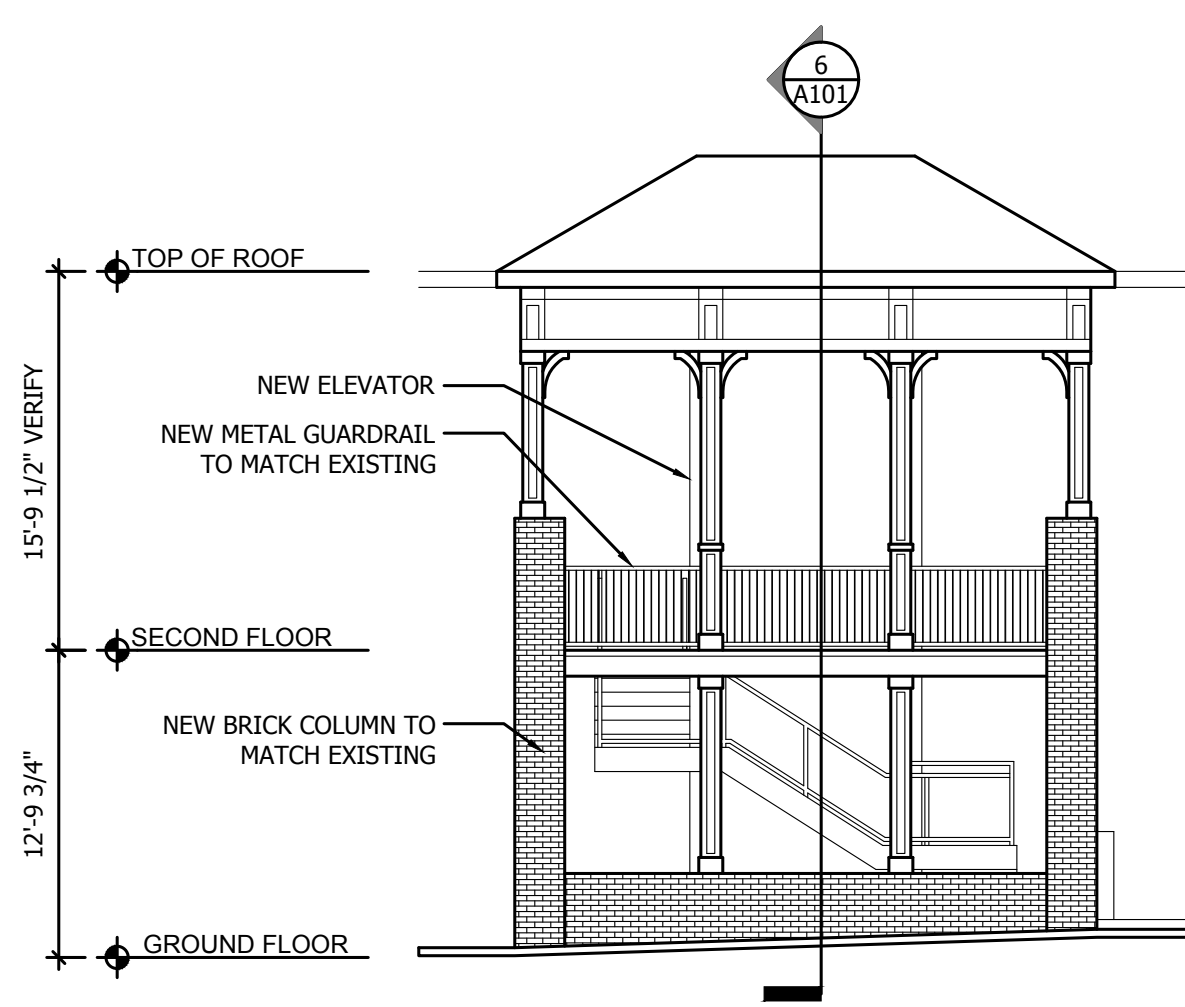
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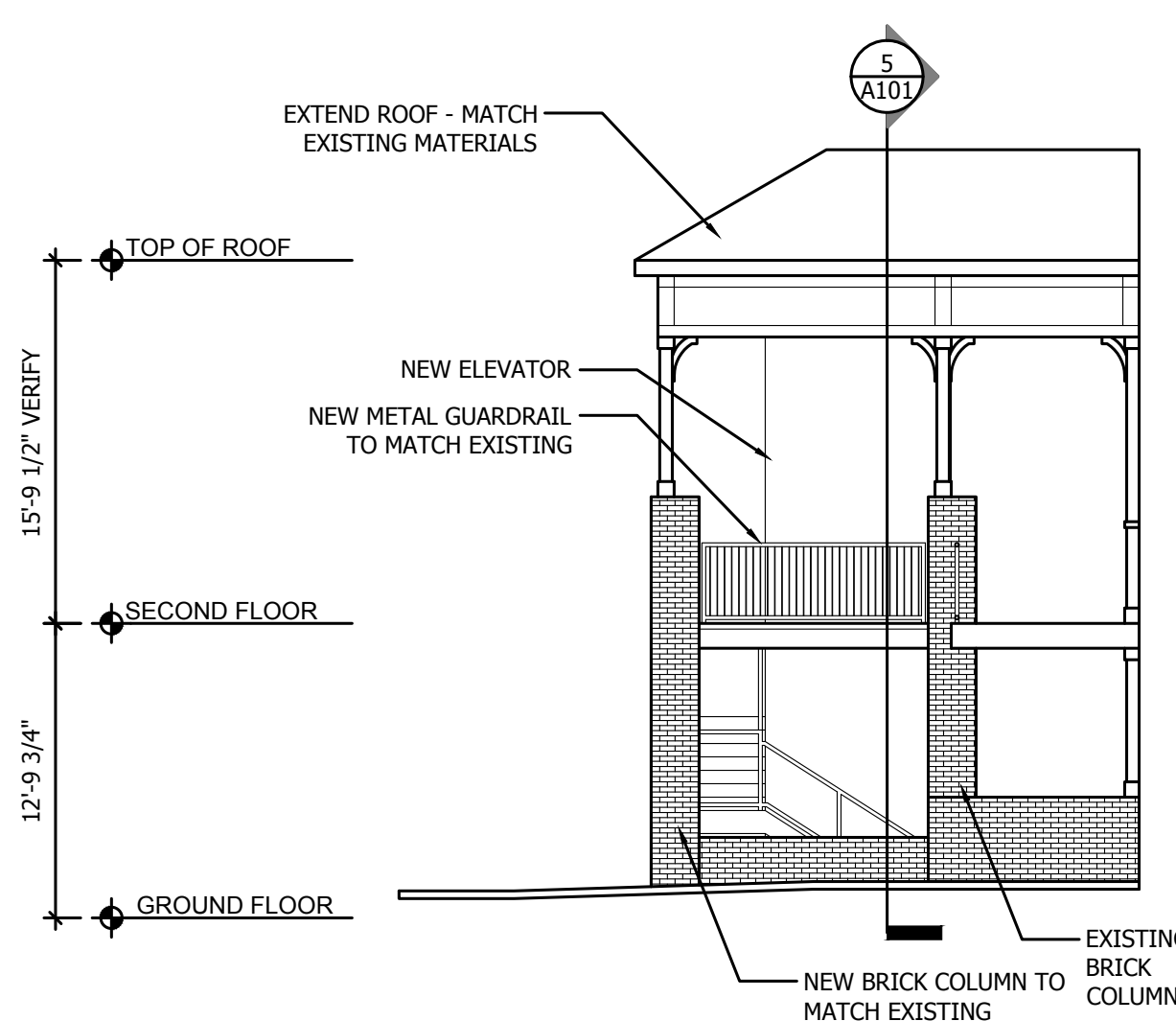
5 ENTRANCE SECTION
SCALE: 1/8" = 1'-0"



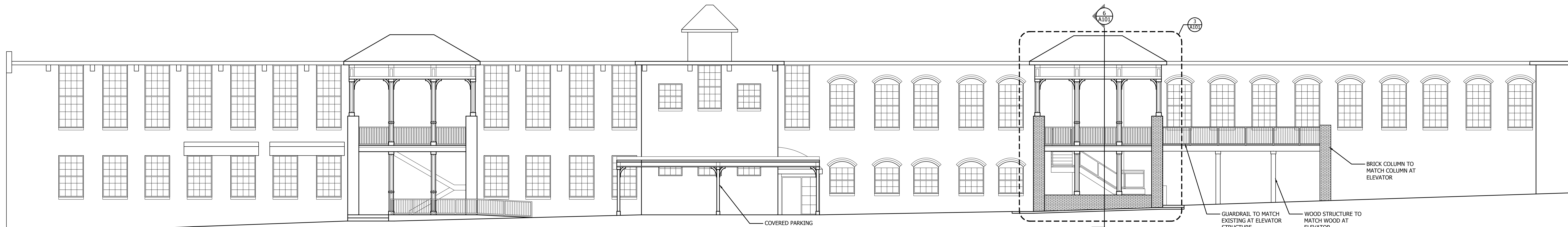
4 WEST ENTRANCE ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ENTRANCE ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ENTRANCE ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

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PLANS, ELEVATIONS &
SECTIONS

A102

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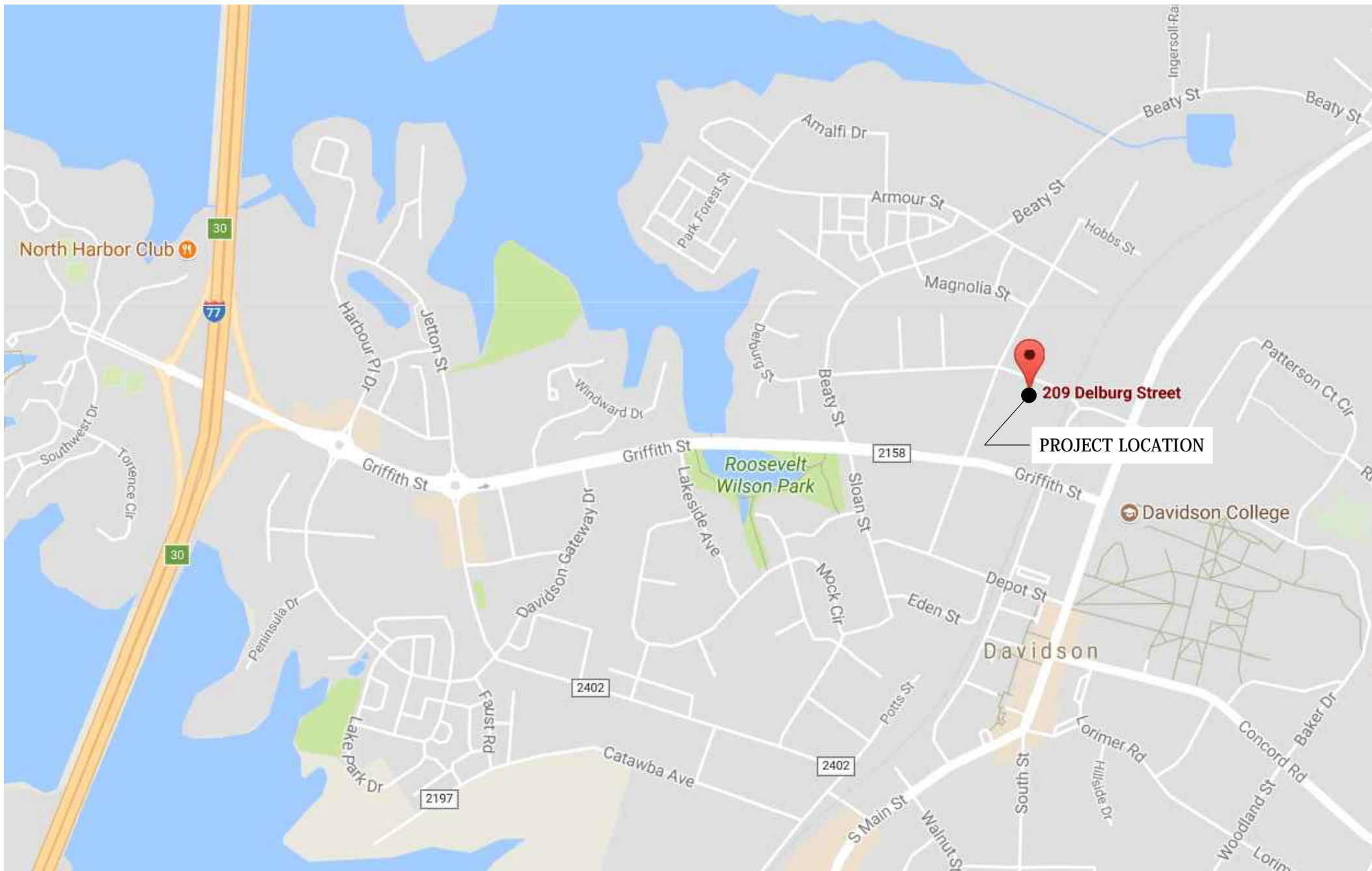
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LOCATION MAP



EXISTING SITE - SCOPE OF WORK



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JOB NUMBER: 1232.01

COVER SHEET

G001

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FIG. 1: EXISTING BRICK COLUMN INTEGRATED WITH WHITE PLYWOOD AND GREEN-PAINTED METAL.



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FIG. 3: EXISTING GUARDRAIL MOTIF TO BE MAINTAINED IN NEW WORK.



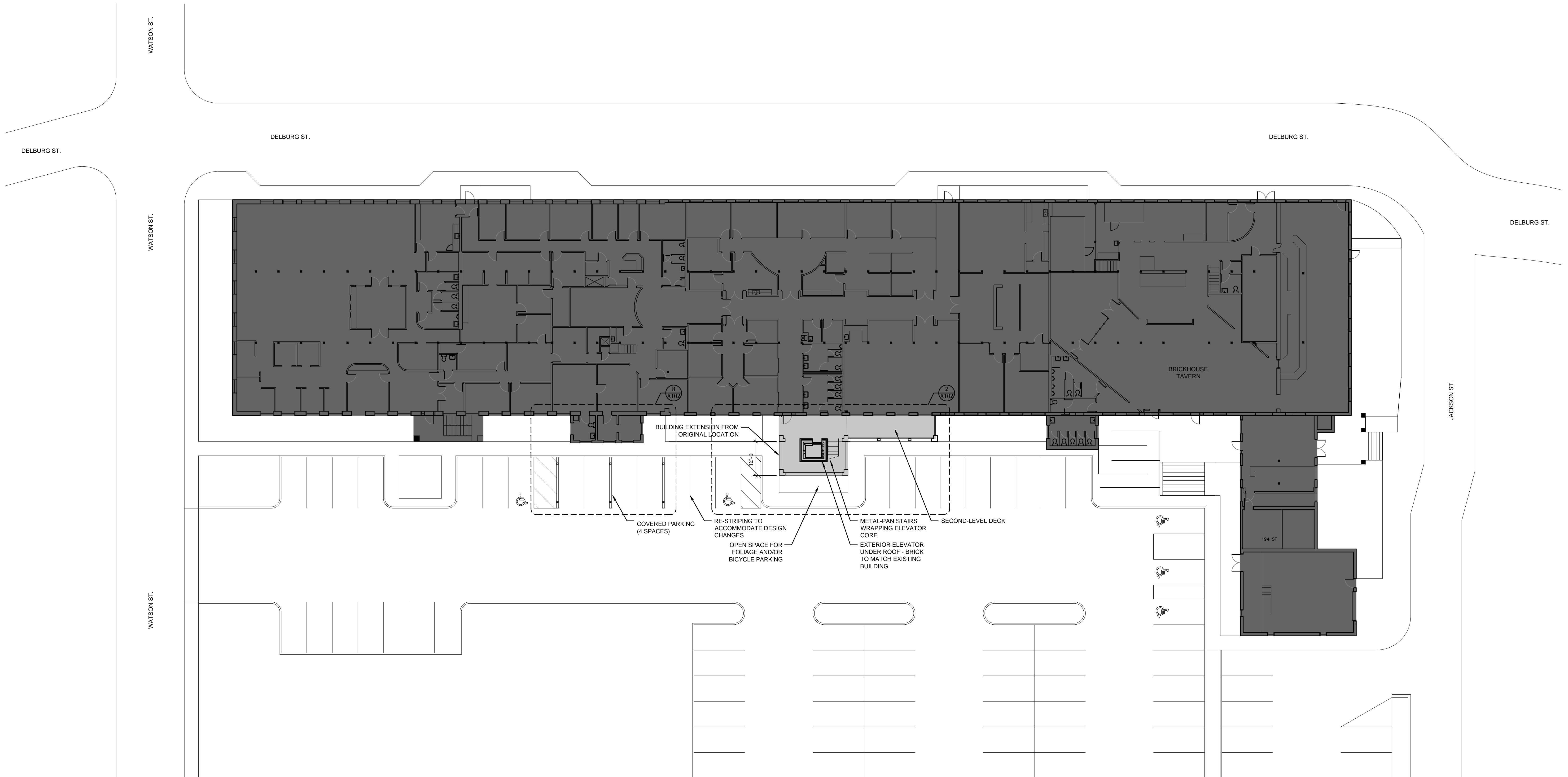
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FIG. 6: EXISTING ELEVATION AT THE POINT OF ELEVATOR ADDITION TO BE MAINTAINED.



PROJECT

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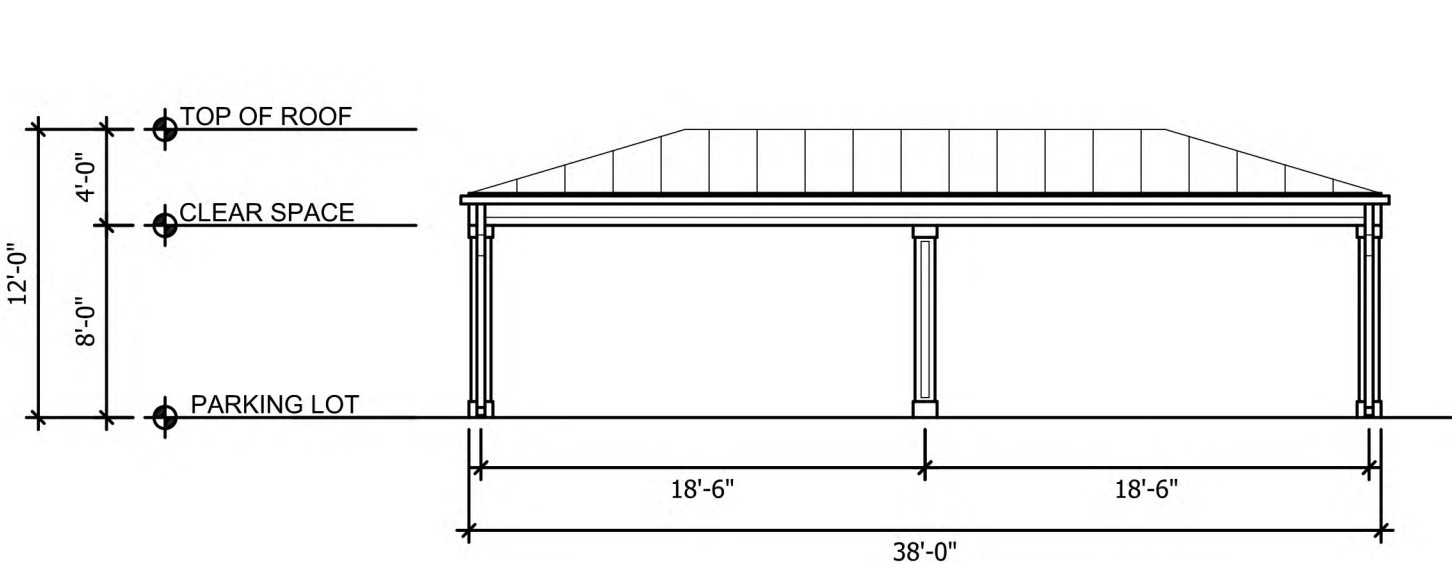
PICTURES & SITE PLAN

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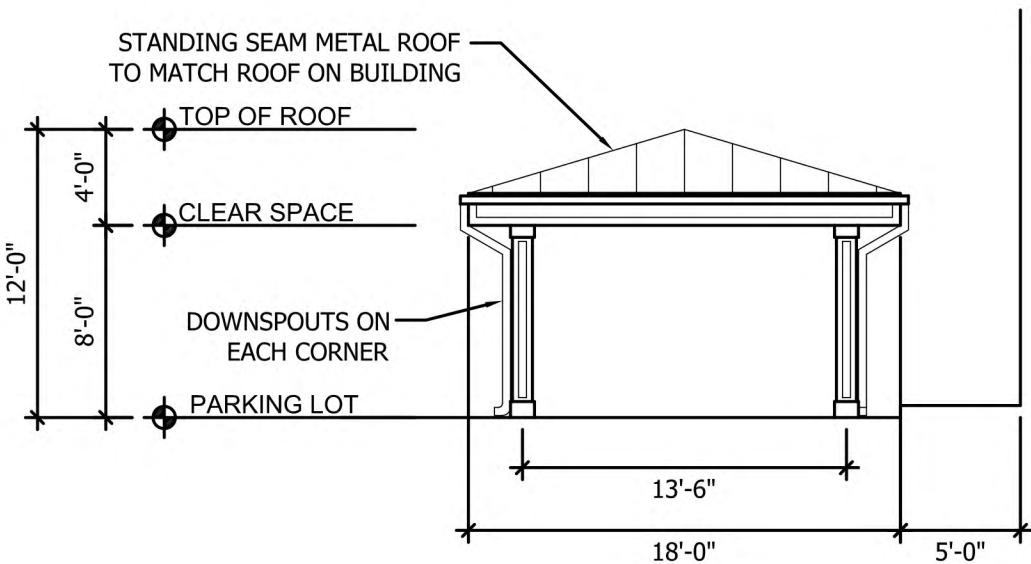
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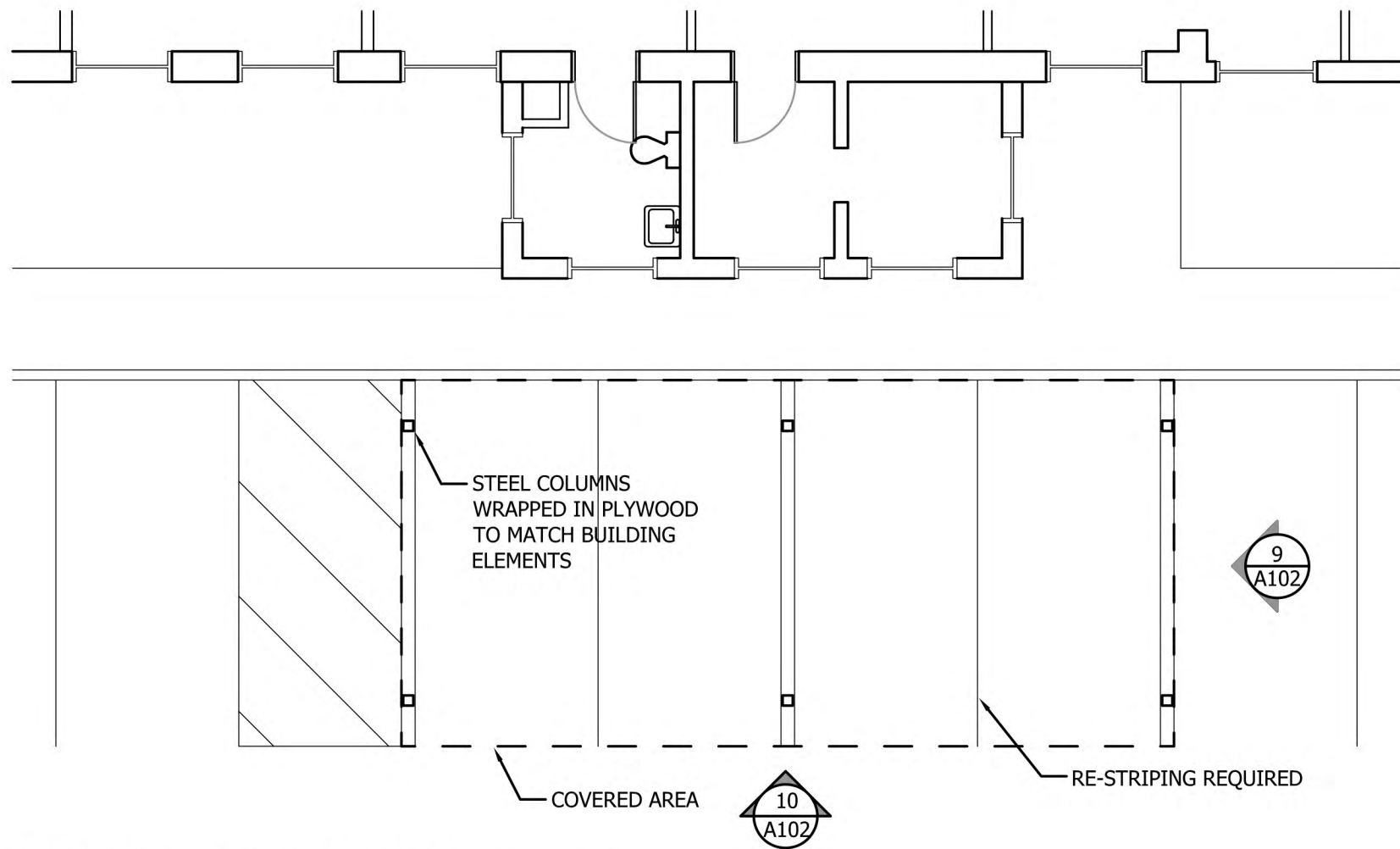
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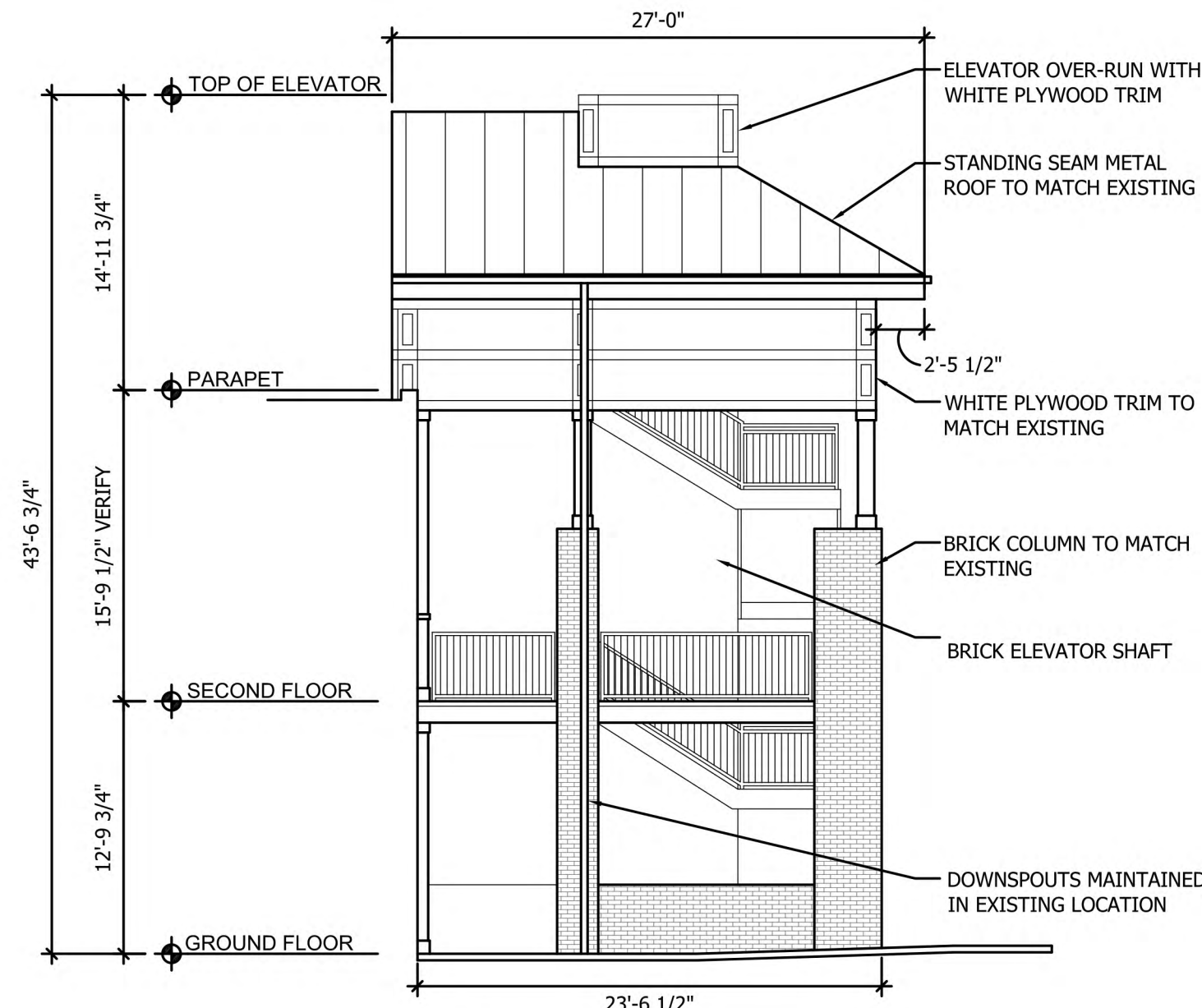
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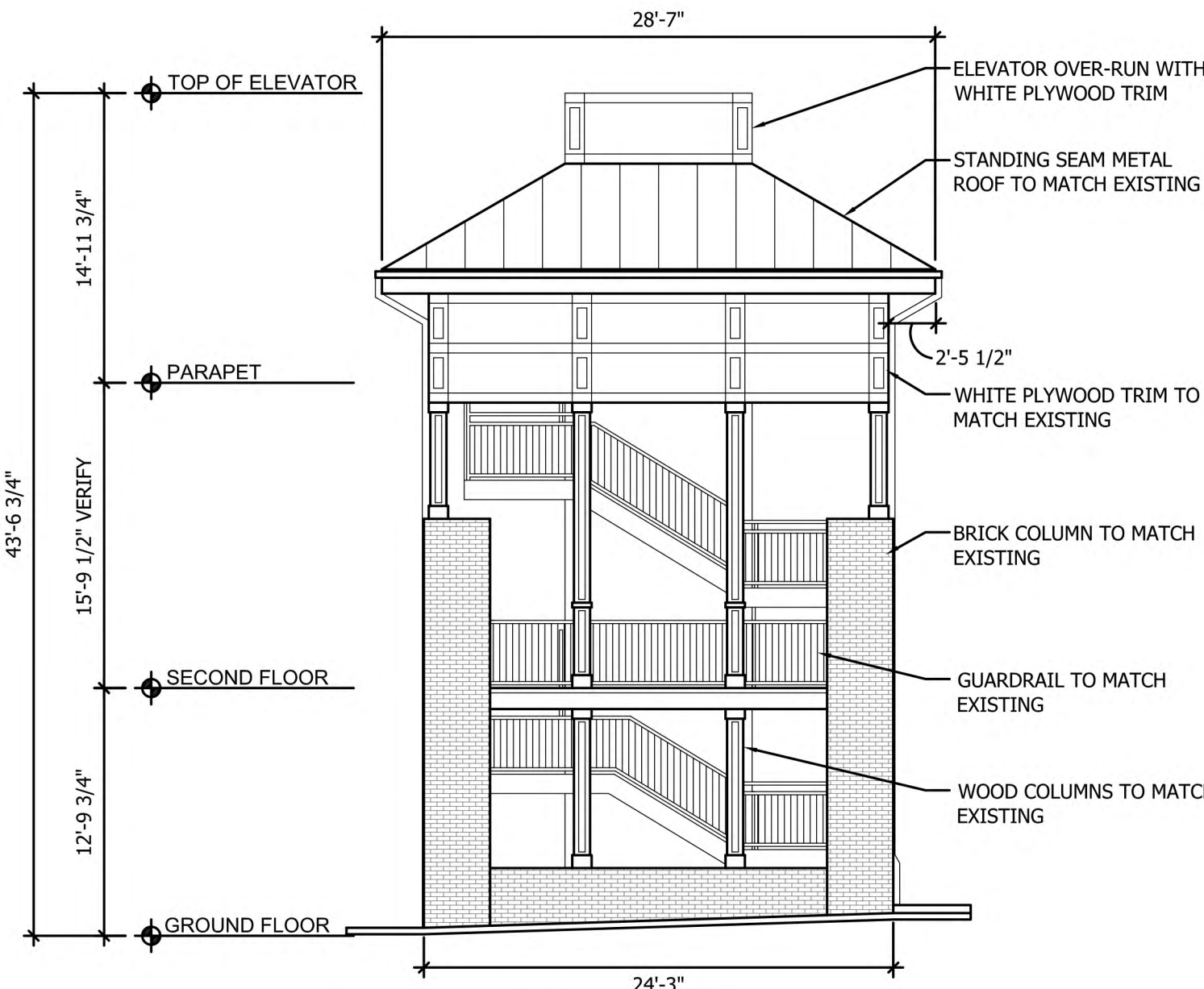
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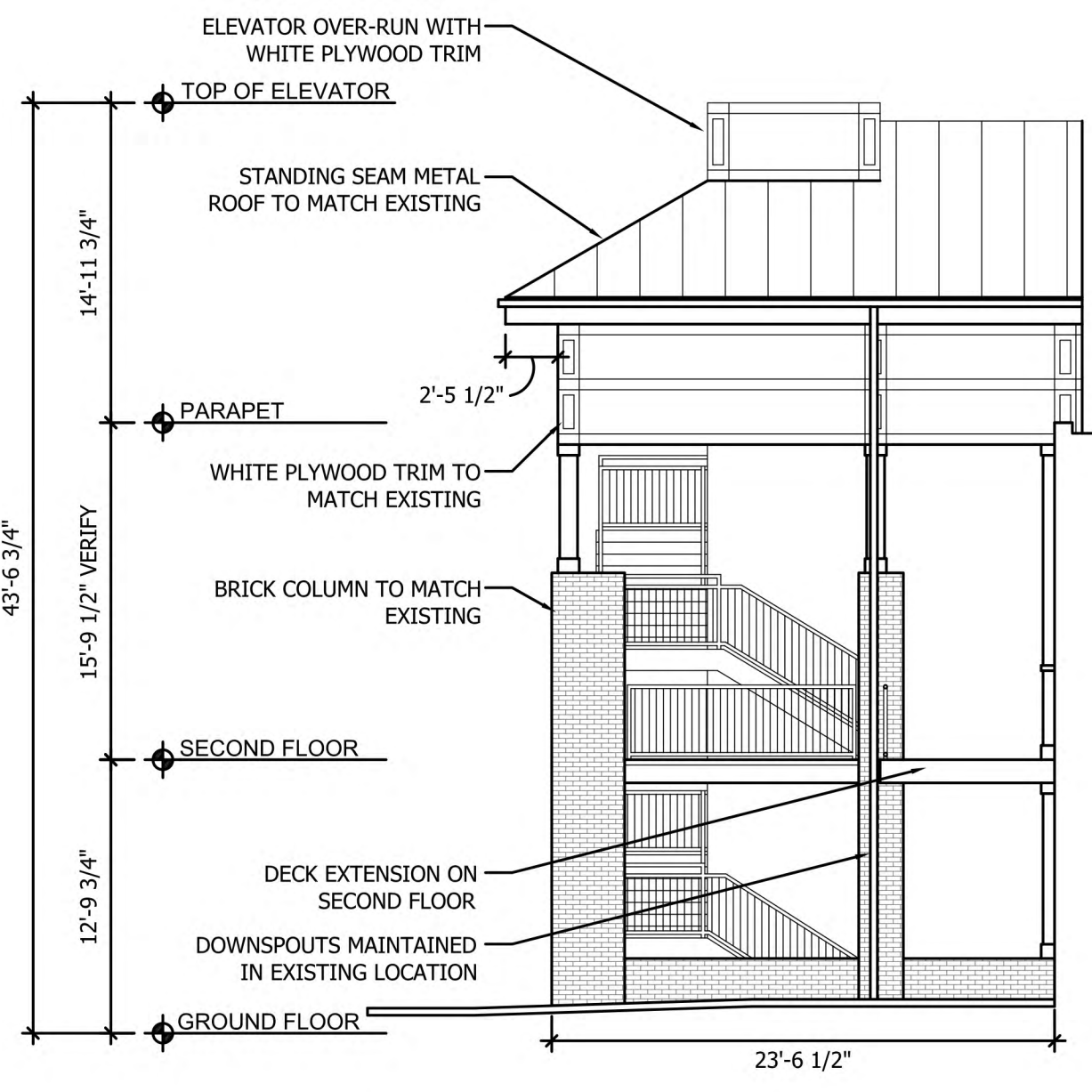
8 COVERED PARKING PLAN
SCALE: 1/8" = 1'-0"



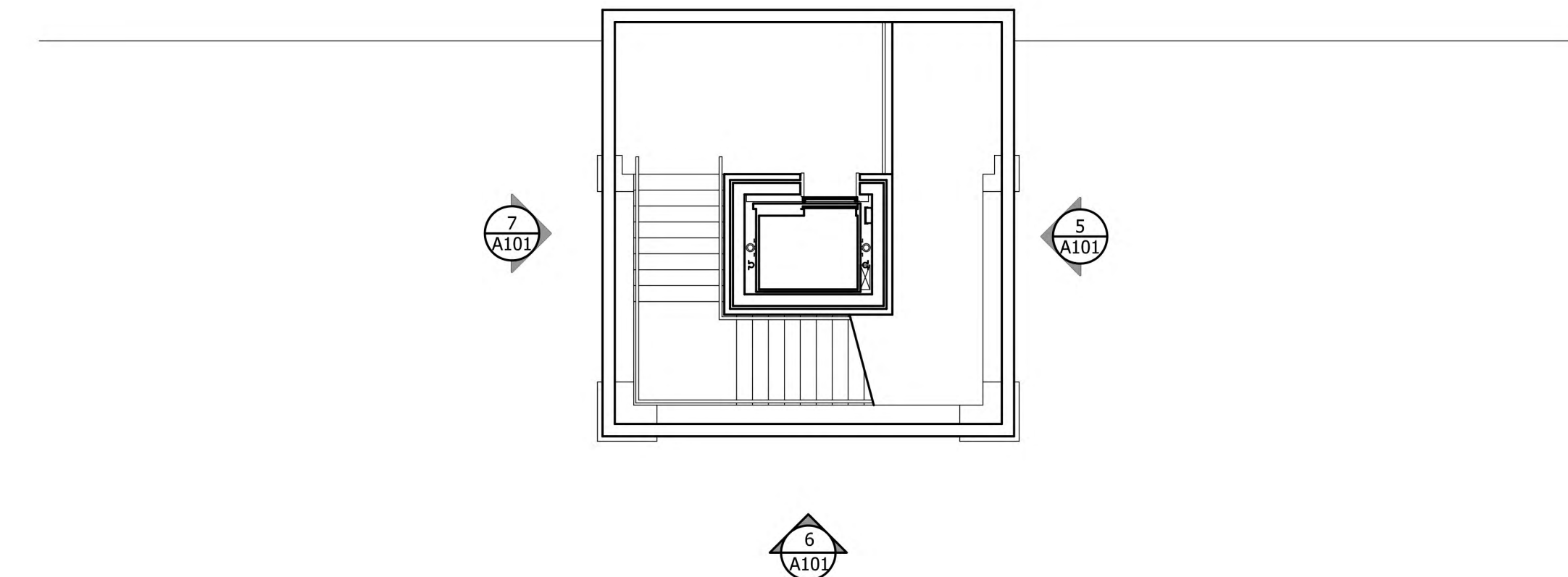
7 ELEVATION - PLAN WEST
SCALE: 1/8" = 1'-0"



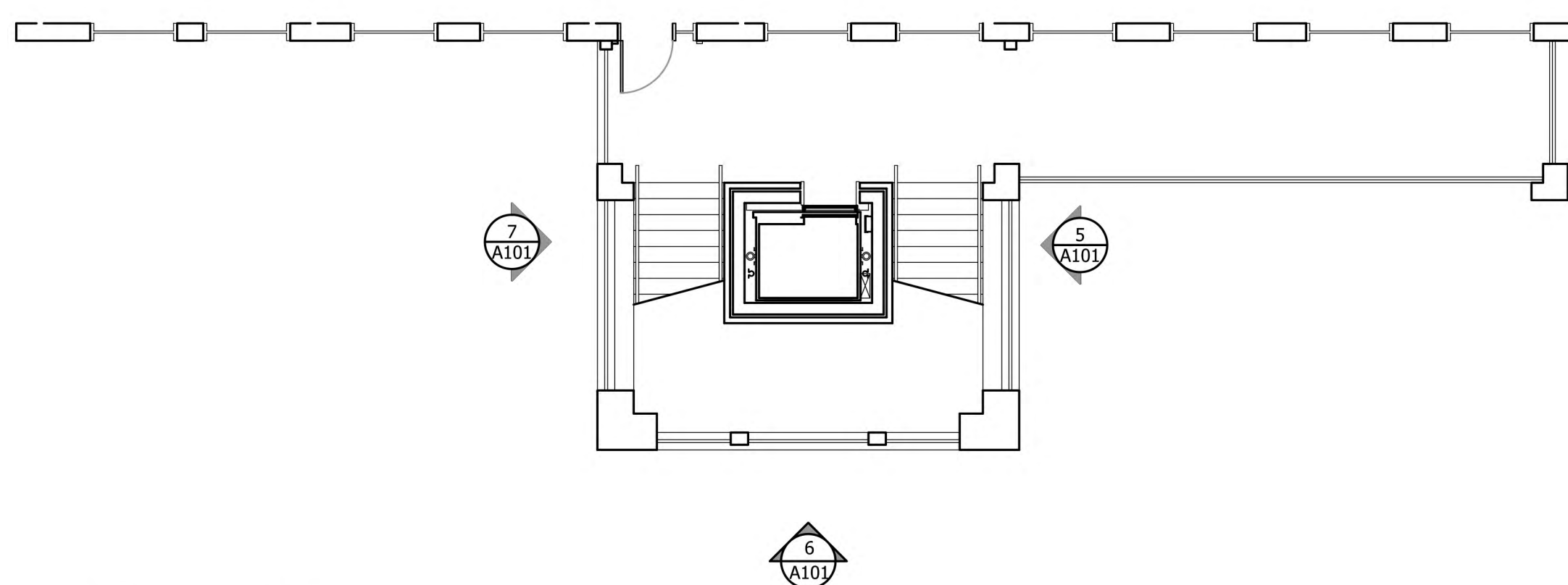
6 ELEVATION - PLAN SOUTH
SCALE: 1/8" = 1'-0"



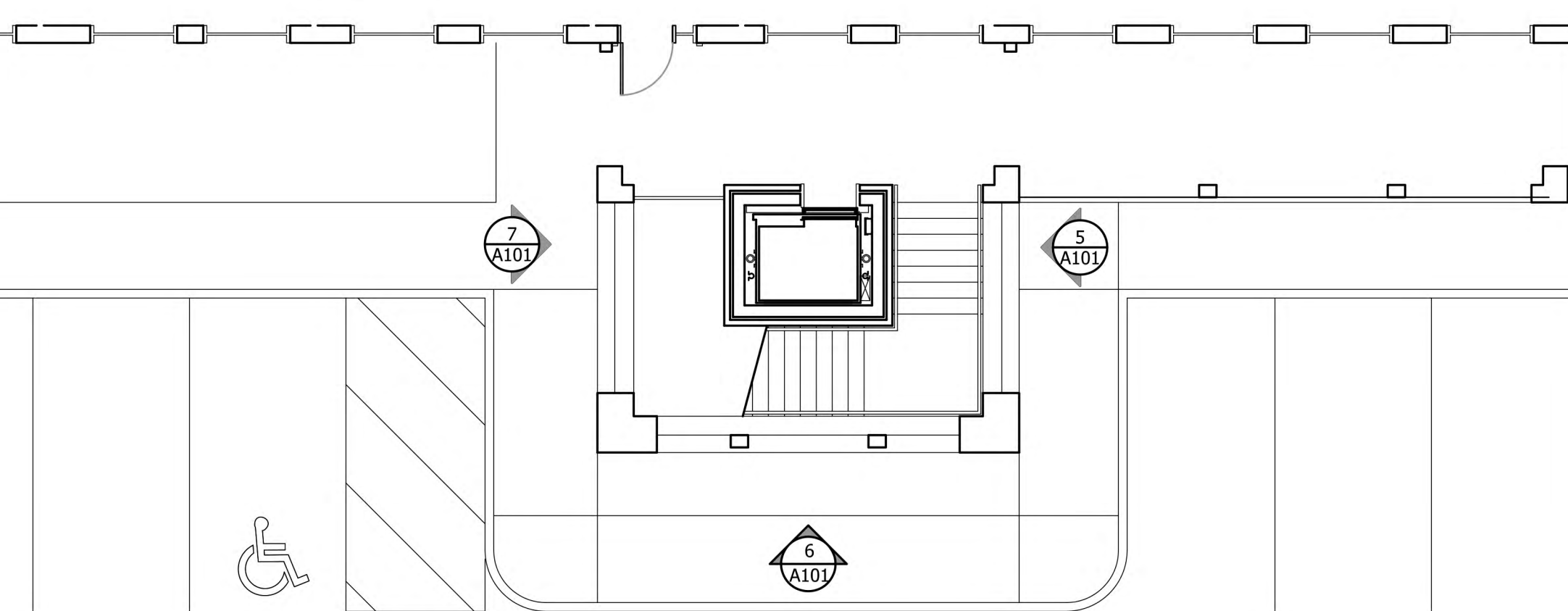
5 ELEVATION - PLAN EAST
SCALE: 1/8" = 1'-0"



4 ROOF PLAN
SCALE: 1/8" = 1'-0"



3 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

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PROJECT

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PLANS AND ELEVATIONS

A102

**Town of Davidson, NC
Design Review Board: Staff Analysis
Project Manager: Chad Hall
January 17, 2018**

Project: Cotton Mill
Location: 209 Delburg Street
Applicant: John Mang for property owned by Davidson Cotton Mill, LLC
Designer: Intec Group, Inc.
Planning Area: Village Edge

The applicant proposes renovations to an existing building at 209 Delburg Street, located on the south side of Delburg Street between the railroad tracks and Watson Street. This is an existing former cotton mill which now houses a restaurant and multiple office spaces. The proposed improvements can be categorized into three projects:

- Exterior elevator addition, including an upper level deck
- Covered parking area
- Canopies/Awnings

Elevator

The exterior elevator project is located at the approximate midpoint of the parking lot façade. This scope of work will project twelve feet southward, toward the parking lot, in order to create the space for the elevator and stair wrap. At the second level, a deck (approximately 30' in length) will extend to the east. Elevator is to be under roof with the elevator overrun projecting atop. Materials include brick, which is to closely match the existing building. Stairs are to be metal pan and guardrails will match existing ones on the building. Trim will be white, matching existing conditions. Roof is proposed as standing metal seam and is illustrated as green.

Parking Canopy

Four parking spaces are proposed to be covered by a canopy. The canopy is proposed at twelve feet tall, including six support posts. The posts are eight foot tall steel posts, wrapped in plywood. It does not appear that car doors will be in conflict with the posts; turning movements should not be compromised. The roof over the parking spaces is low profile hip roof which is to be standing metal seam, shown in green. Trim is shown as painted white.

Awning

A fabric awning is proposed on the north side of the building along Delburg Street (no images provided). The canopy will cover an entrance at the top of an ADA ramp. Color is to match the existing green awnings on site.

From the FYI: The board discussed the elevator addition and deck covered parking area at length, but did not talk about the awning.

For the elevator addition with deck, it was suggested that the roof peak resolve itself. Also, under the roof, the elevator cap should be peaked and complete to avoid bird nests.

For the covered parking area, it was mentioned that the transoms seemed out of place; the designer was asked to reconsider this design.

There was also discussion of the brick choices.

DAVIDSON PLANNING ORDINANCE:

Section 4.4.1.E.1,3&4a – General Building Design Standards - Materials

Materials shall be selected for suitability to the type of building and design for which they are used. All sides of the building should use material consistent with those on the front if visible from public streets or neighboring properties, and should be carefully designed with similar detailing, comparable quality and comparable materials. Building materials and colors shall be complimentary to the material already being used.

Section 4.5.7.E&F – Specific Building Type Requirements – Workplace Building

Main entrances shall be distinguished architecturally from the remainder of the building. Major building entrances that provide access to the primary use of the building shall be distinguished from the entrances used for secondary uses.

Section 4.5.8.B.2 – Accessory Structure Size

Any accessory structure over 650 square feet of first floor area and all accessory structure ancillary to non-residential building types shall be reviewed by the Design Review Board, in accordance with the procedures in Section 14.

Section 4.5.8.C.1 – Accessory Structure Location

A minimum of ten feet shall be maintained between the proposed accessory structure and the following: 1) The principal structure; and, 2), any other accessory structure(s).

Section 4.7 – Renovation of Existing Structures

Changing or rebuilding less than 50 percent of any façade of a building requires only that façade to comply.

Section 8.4.1.I Parking Lot Design Standards

Off-street parking areas shall be designed so that parked vehicles do not encroach upon or extend onto public rights-of-way, sidewalks or strike against or damage any wall, vegetation, utility, or other structure.

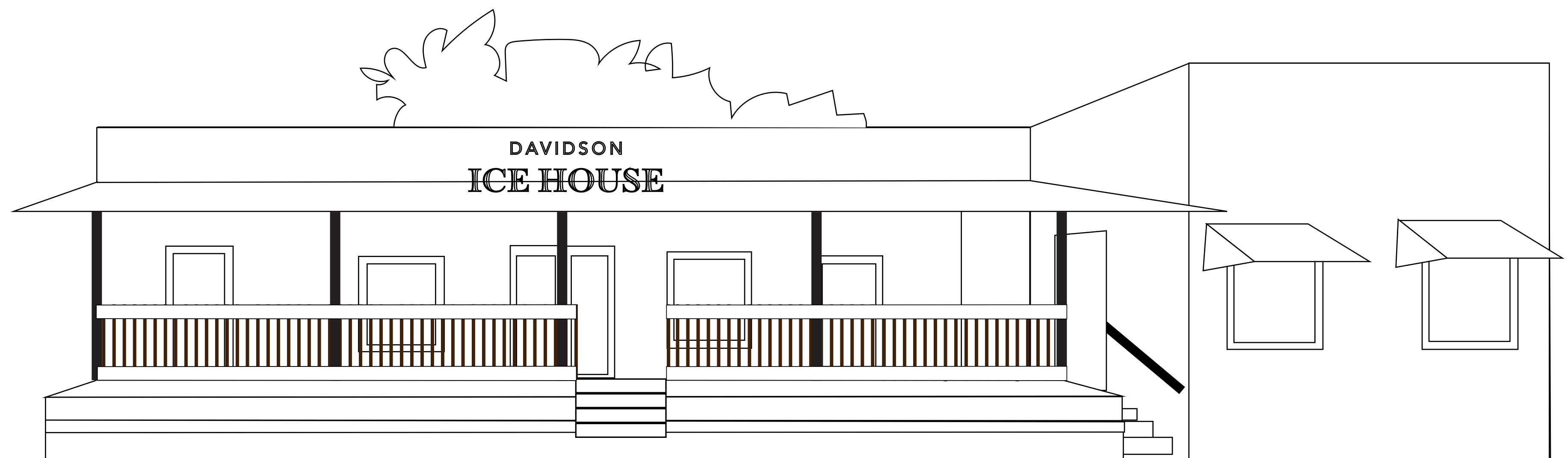
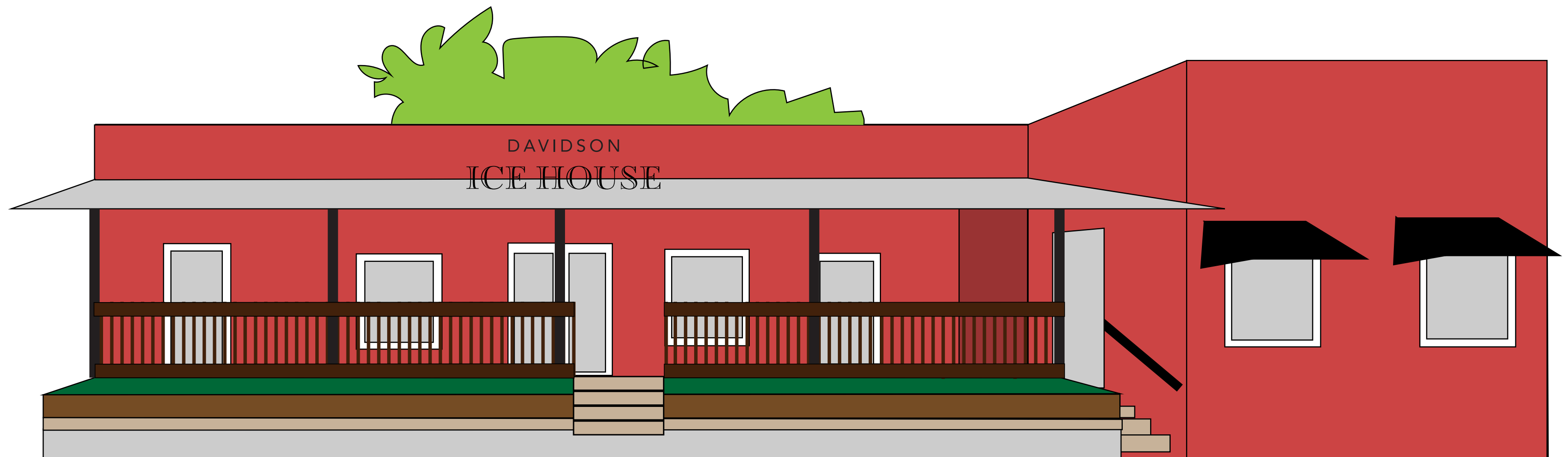


Agenda Title: Davidson Ice House

Summary:

ATTACHMENTS:

Description	Upload Date	Type
<input type="checkbox"/> Ice House Exterior Render	1/11/2018	Exhibit
<input type="checkbox"/> Campania Cafe Upfit Permit Plans	1/11/2018	Exhibit
<input type="checkbox"/> Staff Analysis	1/11/2018	Exhibit
<input type="checkbox"/> Existing Conditions	1/11/2018	Exhibit



DAVIDSON ICE HOUSE
 Rendering - December 2017

LAWRENCE GROUP

Austin Carolinas Denver New York St. Louis

CAMPANIA CAFE & MARKET

DAVIDSON, NC

PERMIT SET

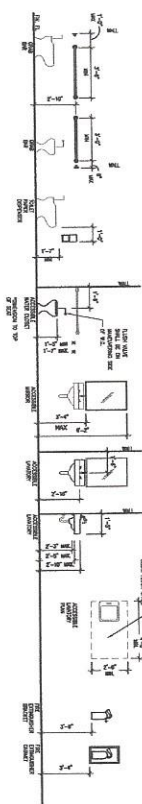
OCTOBER 25, 2007

ARCHITECTURAL	
A001	APPENDIX B/U/ ASSEMBLY
A101	DEMOLITION & FLOOR PLAN
A111	ENLARGED PLAN & DETAILS
A201	INTERIOR ELEVATIONS
A301	FURNITURE & REFLECTED CEILING PLAN
PLUMBING	
P100	PLUMBING SPECS AND DETAILS
P200	PLUMBING FLOOR PLANS
FIRE PROTECTION	
FP100	FIRE PROTECTION SPECS, DETAILS AND FLOOR PLANS

MECHANICAL	
M100	MECHANICAL SPECS AND DETAILS
M200	MECHANICAL SCHEDULES, DEMO AND FLOOR PLANS
ELECTRICAL	
E100	ELECTRICAL SPECS AND DETAILS
E200	FLOOR PLAN LIGHTING
E300	FLOOR PLAN POWER
E400	SCHEDULES AND RISERS

SHEET INDEX

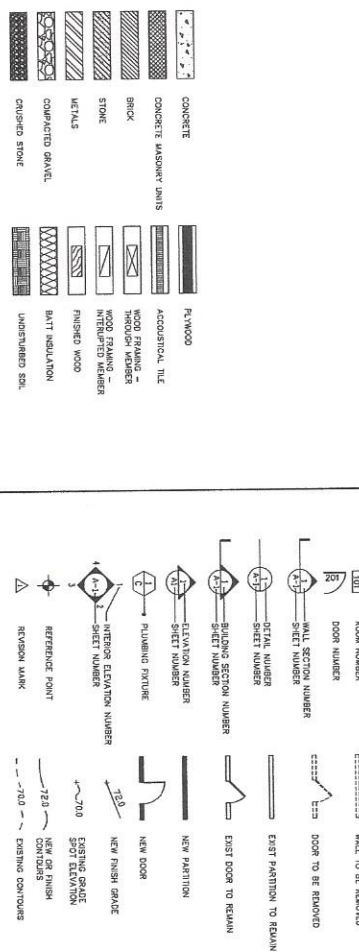
TYPICAL MOUNTING HEIGHTS
MOUNTING HEIGHTS ARE IN FEET AND INCHES ABOVE FINISHED FLOOR. TYPICAL MOUNTING HEIGHTS SHALL BE USED UNLESS NOTED OTHERWISE. NOTE NOT ALL ACCESSORIES MAY BE USED.



OCCUPANCY SUMMARY			
SPACE	SF / PERSON	OCCUPANCY	REQUIRED MIN PERSON
OFFICE & DINING	1.5/1	123	1
KITCHEN	9/18	200	5
TOTALS	2735	128	128

MINIMUM SUBMITTED PER SECTION 419 OF THE NC PLUMBING CODE

ADA FIXTURE REQUIREMENTS



GRAPHIC LEGEND

SYMBOL LEGEND

PROJECT TITLE: CAMPANIA CAFE & MARKET
SHEET INDEX: 1-12
DATE: 10/25/07
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

CAMPANIA CAFE & MARKET

MAIN STREET

DAVIDSON, NC

LAWRENCE GROUP
Austin Carolina Denver New York St. Louis

**BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS
CHAPTER 1 AND 2-ADDITIONAL DETAILS AND DIMENSIONS**

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VOLUMENES DE CUBA 2004 de JULIO 2006 / 2004 de SEPTIEMBRE 2006
[] 1970-1980-1990 [] 1970-1980-1990-2000-2006
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Fig. 2. a) *Phragmites* spp. b) *Scirpus* spp. c) *Spartina* spp. d) *Distichlis* spp. e) *Eleocharis* spp. f) *Cyperus* spp. g) *Cladophora* spp. h) *Chara* spp. i) *Alisma* spp. j) *Sagittaria* spp. k) *Utricularia* spp. l) *Wolffia* spp. m) *Sparganium* spp. n) *Eleocharis* spp. o) *Scirpus* spp. p) *Spartina* spp. q) *Distichlis* spp. r) *Eleocharis* spp. s) *Scirpus* spp. t) *Spartina* spp. u) *Distichlis* spp. v) *Eleocharis* spp. w) *Scirpus* spp. x) *Spartina* spp. y) *Distichlis* spp. z) *Eleocharis* spp. aa) *Scirpus* spp. ab) *Spartina* spp. ac) *Distichlis* spp. ad) *Eleocharis* spp. ae) *Scirpus* spp. af) *Spartina* spp. ag) *Distichlis* spp. ah) *Eleocharis* spp. ai) *Scirpus* spp. aj) *Spartina* spp. ak) *Distichlis* spp. al) *Eleocharis* spp. am) *Scirpus* spp. an) *Spartina* spp. ao) *Distichlis* spp. ap) *Eleocharis* spp. aq) *Scirpus* spp. ar) *Spartina* spp. as) *Distichlis* spp. at) *Eleocharis* spp. au) *Scirpus* spp. av) *Spartina* spp. aw) *Distichlis* spp. ax) 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DATA SHEET									
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[illegible][illegible]

SPECIAL ADVERTISING

Special approval of our International Department of Internal Security (M.C. 67) doesn't belong to SPECIAL ADVERTISING BOARD.

[illegible][illegible]

Work patterns in manufacturing (open and assessed)
(10 marks – 20% of overall mark)

Describe the work patterns in the following manufacturing environments:
A. Work in a traditional assembly line
B. Work in a modern assembly line
C. Work in a job shop environment
D. Work in a batch production environment
(10 marks – 20% of overall mark)

Workshop layout (open and assessed)
(10 marks – 20% of overall mark)

Describe the factors that influence the layout of a workshop and the different types of layout that can be used.
(10 marks – 20% of overall mark)

Production management (open and assessed)
(10 marks – 20% of overall mark)

Describe the different types of production management systems and the factors that influence their choice.
(10 marks – 20% of overall mark)

Inventory management (open and assessed)
(10 marks – 20% of overall mark)

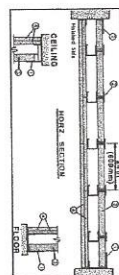
Describe the different types of inventory management systems and the factors that influence their choice.
(10 marks – 20% of overall mark)

Transportation management (open and assessed)
(10 marks – 20% of overall mark)

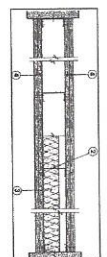
Describe the different types of transportation management systems and the factors that influence their choice.
(10 marks – 20% of overall mark)

[illegible]

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Numbering Well Rating - 2H

[illegible]

Nonbearing wall Rating - 2H

[illegible][illegible][illegible]

The Professional Architect's seal affixed to this sheet indicates approval by the Architect and is shown on this sheet as a reference. The seal is not to be removed or tampered with. The seal is not to be used on any other sheet not submitted by this architect, and the architect separately indicates any and all responsibility for each page, drawings or documents not submitted by the seal.

Project Title:

DAVIDSON, NC

Sheet Title
**REFLECTED CEILING
AND FURNITURE
PLAN**

ISSN DATE:
OCTOBER 25, 2003



SCALE: 1/8"=1'-0"

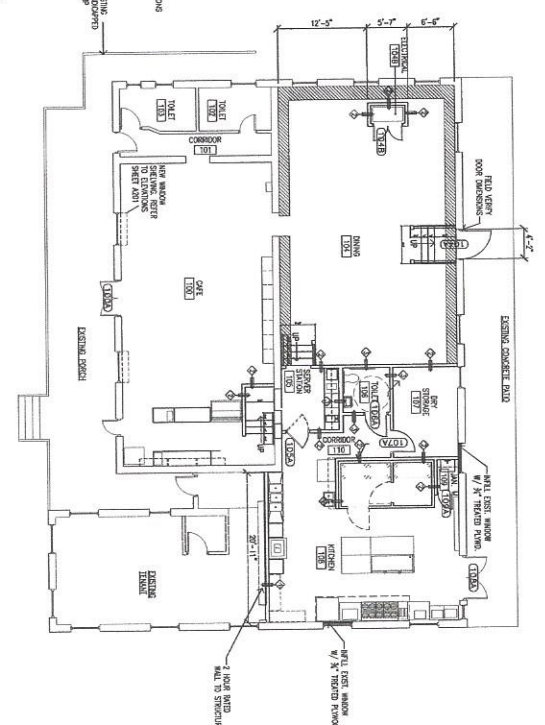


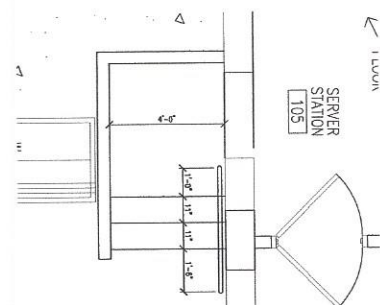
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MAIN STREET DAVIDSON, NC

A101

PARTITION TYPES





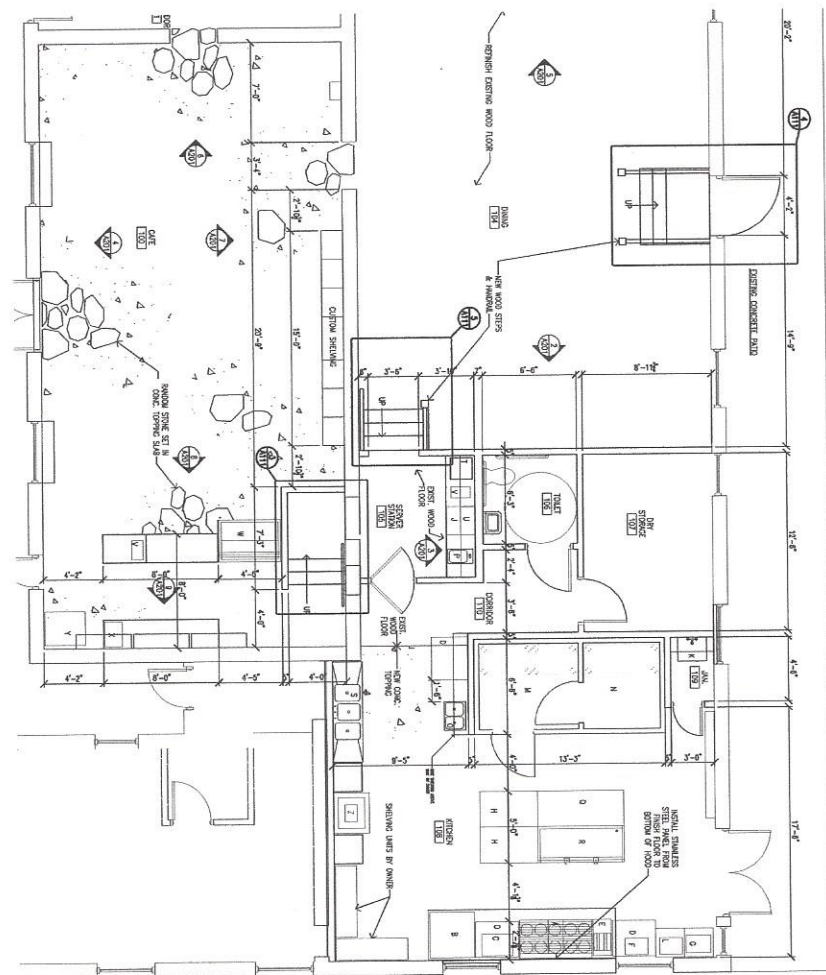
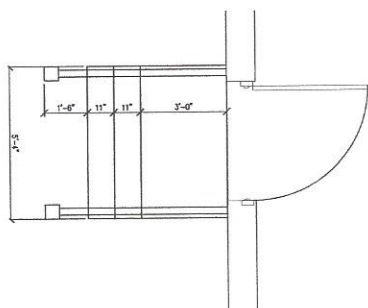
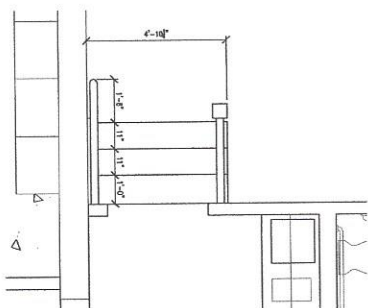
KITCHEN EQUIPMENT LEGEND	
A	DAI RESISTANT BOSS
B	DAI COMFORTION DRYU
C	COMFORTION DAI MANDU CHAM PROXEN
D	WORTFELD, STANLESS STEEL, 20/24"
E	ECONOMY TUB, 18"X20 DAI PRITH
F	SANITATION PRESS
G	INCORPORATE FIVE, DISHWEIGHT
H	SANCTION/DAI, DAI, W/2 COORNS
I	UNDER COORNS, ICE MACHINE
J	W/2 SINK, 24"X34"
L	MIXER
M	MIXER, 24" PROSE
N	MIXER, 24" PROSE
O	18"X20 COMFORTION TUB, SINK
P	18"X20 SINK
Q	W/2 TUB, 24"X34"
R	THREE DOOR REFRIGERATOR

GENERAL NOTE:
ALL KITCHEN EQUIPMENT TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR

Project Team:	Company Name
General	Street Address
Contractor	City, State, Zip
	Phone Number
CM/	Company Name
Engineer	Street Address
	City, State, Zip
	Phone Number
Structural	Company Name
Engineer	Street Address
	City, State, Zip
	Phone Number
Mech, Elec, Plm,	Company Name
Fire Protection	Street Address
Engineer	City, State, Zip
	Phone Number
Professional Seal:	

Office:
109 S. Main Street
8th B
Durham, NC 28608
P 704/241-1800
F 704/241-1807

Page 28 of 99



CAMPANIA CAFE & MARKET

MAIN STREET

DAVIDSON, NC

Sheet Title:
**ENLARGED PLANS
AND DETAILS**

A111

Town of Davidson, NC
Design Review Board: Staff Analysis
Project Manager: Chad Hall
January 17, 2018

Project: Davidson Ice House
Location: 416 South Main Street
Applicant: Jenny Brule for property owned by Urban Organic, LLC
Designer: Lawrence Group (Building)
Planning Area: Village Center

The applicant proposes a set of stairs along the front porch area in front of the forthcoming Davidson Ice House restaurant (former Campania location).

The set of floor plans ("Campania Cafe Upfit Permit Plans") associated with earlier interior work illustrate the stairs from the porch, located approximately in front of a solid door located north of the actual entrance.

The provided rendering ("20171214_Ice House Exterior Render") illustrates the proposed stairs closer to the actual entrance, just to the right of a central support post of the canopy. This location is consistent with applicant comments. It is not stated how far these stairs will project into the front sidewalk/patio area, which is approximately 10 feet in width (note there are no wheel stops in parking lot). No railing is illustrated as part of this request.

The existing porch railing is common 2x2 balusters on a 2x4 rail, painted black. The porch canopy support posts are simple round metal at approximately four inches in diameter, also painted black.

Other than the proposed stair, the other access points along the front elevation are an ADA ramp on the southern end of the porch, which is wooden and painted black as well, and another set of stairs on the north end of the porch, next to Davidson Violins, which is concrete with a round metal handrail.

An exact concept for the proposed stairs and handrail is not present in the rendering. The applicant has shared that they love the building and want input from the Design Review Board as to what would be most suitable to match in terms of materials and colors. There is no lighting associated with this request.

There is no change to the porch roofline associated with this request; staff did note that gutters empty onto the frontage patio/sidewalk area and that one is much damaged.

In terms of color, an option expressed by the applicant is to change the paint color from black to a pale taupe, to match the window trim.

DAVIDSON PLANNING ORDINANCE:

Section 4.3.1 STANDARDS

A. Pedestrian and Vehicular Access

1. *The primary pedestrian entry to all storefront and workplace buildings and access to first floor retail shall face a fronting, primary street. There shall be a connecting walkway from the primary entry to the street.*

B. Building Location and Orientation

1. *Buildings must front on a public street, pedestrian way, or a dedicated public plaza that is open to a public street.*

Section 4.4.1.E.1,3&4a – General Building Design Standards - Materials

Materials shall be selected for suitability to the type of building and design for which they are used. All sides of the building should use material consistent with those on the front if visible from public streets or neighboring properties, and should be carefully designed with similar detailing, comparable quality and comparable materials. Building materials and colors shall be complimentary to the material already being used.

Section 4.4.1.F.6 – Architectural Details

6. *The main entry to a building should be emphasized at the street level. Appropriate methods include, but are not limited to:*
 - a. *Recessing the door within a larger cased opening.*
 - b. *Flanking the door with columns, decorative fixtures or other details.*
 - c. *An awning or canopy, providing a sheltered transition to the interior.*

Section 4.5.6 – STOREFRONT BUILDINGS TYPE

- G. *Major building entrances that provide access to the primary use of the building or a central lobby shall be distinguished from the entrances used for secondary uses.*

Section 4.7 – Renovation of Existing Structures

Changing or rebuilding less than 50 percent of any façade of a building requires only that façade to comply.











Agenda Title: Sofas and Cheers

Summary:

ATTACHMENTS:

Description	Upload Date	Type
❑ Application	1/11/2018	Exhibit
❑ Paint colors and Exhibit	1/11/2018	Exhibit
❑ Staff Analysis	1/11/2018	Exhibit



Design Review

Sofas & Cheers

(Name of Project)

Contact Information

Applicant's Information

Name: Same as property owner

E-Mail: _____

Mailing Address: _____

Business Phone: _____ Mobile Phone: _____

Property Owner's Information

(If Different from Applicant)

Name: Sofas & Cheers

E-Mail: Hendricks19k@gmail.com

Mailing Address: 216 Edgewood Street
Davidson, N.C. 28036

Business Phone: _____ Mobile Phone: 828-612-0284

Architect's Information

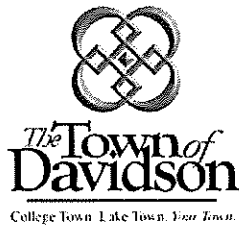
Name of Firm: NA

Architect's Name: _____

E-Mail: _____

Mailing Address: _____

Business Phone: _____ Mobile Phone: _____



Design Review

Sofas and Cheers
(Name of Project)

Project Description

Application Date: 11/10/17

Project Location: 216 Eden Street

Tax Parcel(s): 00325301

Planning Area: Village Commerce

Overlay District: n

Master or Cond. Plan
(Attach Conditions of Approval) NA

Gen. Statement of Intent: paint outside columns per sketch

Project Details:

- Project Type:
- | | | |
|---|--------------------------------------|--|
| <input type="checkbox"/> Individual Bldg. | <input type="checkbox"/> Master Plan | <input type="checkbox"/> Conditional Planning Area |
| <input type="checkbox"/> Sign | | |
- Building Type:
- | | | |
|---|--|--|
| <input type="checkbox"/> Detached House | <input type="checkbox"/> Townhouse | <input type="checkbox"/> Attached House (Tri- or Quadplex) |
| <input type="checkbox"/> Institutional | <input type="checkbox"/> Live/Work | <input type="checkbox"/> Multi-family (Apts., Condos, Flats) |
| <input type="checkbox"/> Workplace | <input checked="" type="checkbox"/> Storefront | <input type="checkbox"/> Accessory Structure |
- Use(s): _____
- Height & Stories: 1 story
- Square Footage: _____
- Building Materials: _____

Architectural Features:

Existing Site Conditions:

See 14.12.2.D

Gary Hendricks

Sofas+ Cheers

USA
made

216 Eden Street | Davidson, NC 28036
(Metrolina Warehouse)

MONDAY - SATURDAY 10AM - 5PM

109 Williamson Rd | Mooresville, NC 28117
(Suite K)

MONDAY - SATURDAY 10AM - 6PM

Larry Hendricks

828.612.0284

sofascheers.com

autumn cover

2170-30

tropical orange

2170-20

fireball orange

2170-10

BENJAMIN MOORE® 2170
COLOR PREVIEW®

CP  Benjamin Moore® CF

door orange

Sofas+ Cheers



Town of Davidson, NC
Design Review Board: Staff Analysis
Project Manager: Chad Hall
January 17, 2018

Project: Sofas and Cheers – Paint exterior
Location: 216 Eden Street
Applicant: Larry Hendricks
Designer: Larry Hendricks
Planning Area: Village Commerce

The applicant proposes to paint a portion of the exterior of the Linden Mill, fronting Eden Street to the east, which is also the façade facing Jackson Street. At an approximate midpoint of the building frontage, there is a portion with a taller parapet. Centered under this parapet is a garage door, flanked by pilasters. Pilasters also bookend the taller parapet. This is the section proposed for painting, featuring a darker “Trout Gray” proposed for the outside pilasters and along the parapet above. Tropical Orange is proposed for the inside pilasters and for the door.

The drawings seems to suggest the darker gray continuing along the parapet; the Design Review Board should ask for clarification on the proposed painting limits. Additionally, the sketch seems to illustrate white paint as a horizontal accent color; it should be clarified if this is intended. No color is listed for the garage door (currently a gray that matches the mill building). No signage is proposed as part of this submittal.

DAVIDSON PLANNING ORDINANCE:

Section 4.4.1.E.3&4a – General Building Design Standards - Materials

All sides of the building should use material consistent with those on the front if visible from public streets or neighboring properties, and should be carefully designed with similar detailing, comparable quality and comparable materials. Building materials and colors shall be complimentary to the material already being used.

Section 4.4.1.F.4 – General Building Design Standards – Architectural Details

Fenestration shall be architecturally related to the style, materials, colors, and details of the building.

Section 4.4.1.F.6 – General Building Design Standards – Architectural Details

The main entry to a building should be emphasized at the street level. Appropriate methods include, but are not limited to:

- a. Recessing the door within a larger cased opening.*
- b. Flanking the door with columns, decorative fixtures or other details.*
- c. An awning or canopy, providing a sheltered transition to the interior*

Section 4.5.6.D – Specific Building Type Requirements – Storefront Building

Buildings elements shall have a dominant vertical proportion.

Section 4.5.6.G – Specific Building Type Requirements – Storefront Building

Major building entrances that provide access to the primary use of the building or a central lobby shall be distinguished from the entrances used for secondary uses.

T:\Planning_Shared_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2018 DRB Agendas\20180117_DRB Agenda\Sofas and Cheers\20180117_Sofas and Cheers_Staff Analysis.doc



Agenda Title: Davidson Elementary Addition

Summary:

ATTACHMENTS:

Description	Upload Date	Type
❑ Application	1/11/2018	Exhibit
❑ Plans and Elevations January 2018	1/11/2018	Exhibit
❑ Plans and Elevations October 2017	1/11/2018	Exhibit
❑ Staff Analysis	1/11/2018	Exhibit



Design Review

Davidson Elementary School K-8 Conversion

(Name of Project)

Development Process

Date Completed	Outline of Steps & Checklist
08/01/17	<input checked="" type="checkbox"/> 1. Initial Meeting
09/27/17	<input checked="" type="checkbox"/> 2. Application and Fee
10/18/2017	<input checked="" type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
	<input type="checkbox"/> 4. Planning Director Site Schematic Design Review
	<input type="checkbox"/> 5. Design Review Board Approval
	<input type="checkbox"/> 6. Building Construction Documents
	<input type="checkbox"/> 7. Site and Landscape Construction Documents
	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
	<input type="checkbox"/> 9. Building Permit Approval
	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
	<input type="checkbox"/> 12. Certificate of Occupancy

** For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*



Design Review

CMS Davidson Elementary School K-8 Conversion
(Name of Project)

Application Requirements

Date Received

09/27/17



Application Fee per Town of Davidson Fee Schedule

09/27/17



Contact Information

09/27/17



General Statement of Intent
(Use, building type, approx. square footage, height, design features)

09/27/17



Statement of Compliance with Section 2

N/A



Master Plan or Conditional Planning Area
(Including all documents, plans, maps, and conditions of approval)

09/27/17



Environmental Inventory in accordance with Section 14.15.1
(Including adjacent properties and buildings)

09/27/17



General Description
(Including a description and color photographs to existing / adjacent site)

09/27/17



Site Schematic Design in accordance with Section 14.15.7

09/27/17



Building Schematic Design in accordance with Section 14.15.3
(Including rendered elevations of each façade per 14.15.3 C)

09/27/17



Landscape Schematic Design in accordance with Section 14.15.5

09/27/17



Building Perspective

09/27/17



Building Materials/Colors
(Roofing, siding, doors, windows, etc.)

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

Chris Tymoff

Applicant's Signature

09/27/17

Date



Design Review

Davidson Elementary K-8 Conversion

(Name of Project)

Contact Information

Applicant's Information

Name: Chris Tymoff

E-Mail: ctymoffe@littleonline.com

Mailing Address: 5815 Westpark Drive
Charlotte, NC 28217

Business Phone: 704-561-5115 Mobile Phone:

Property Owner's Information

(If Different from Applicant)

Name: Mike Higgins for CMS Capital Program Services

E-Mail: m.higgins@cmsk12.nc.us

Mailing Address: 3301 Stafford Drive
Charlotte, NC 28208

Business Phone: Mobile Phone: 704-201-3406

Architect's Information

Name of Firm: Little Diversified Architectural Consulting

Architect's Name: Tom Balke

E-Mail: tbalke@littleonline.com

Mailing Address: 5815 Westpark Drive
Charlotte, NC 28217

Business Phone: 704-561-3414 Mobile Phone: 704-718-0974



Design Review

Davidson Elementary School K-8 Conversion

(Name of Project)

Project Description

Application Date: 09/27/17

Project Location: 635 South Street

Tax Parcel(s): 00704123

Planning Area: Village Infill

Overlay District: Village Infill Overlay

Master or Cond. Plan: N/A
(Attach Conditions of Approval)

Gen. Statement of Intent: A new three story classroom wing is being added to allow for the addition of 6th-8th grades

Project Details:

- Project Type: ☒ Individual Bldg. ☐ Master Plan ☐ Conditional Planning Area
☐ Sign
- Building Type: ☐ Detached House ☐ Townhouse ☐ Attached House (Tri- or Quadplex)
☒ Institutional ☐ Live/Work ☐ Multi-family (Apts., Condos, Flats)
☐ Workplace ☐ Storefront ☐ Accessory Structure
- Use(s): Elementary School
- Height & Stories: 3 stories - 48'
- Square Footage: 36,269 SF
- Building Materials: Primarily brick

Architectural Features:

Existing Site Conditions: There is an existing elementary school on the site including several mobile classrooms that will be removed in conjunction with the construction of the new classrooms.

See 14.12.2.D



Design Review

Davidson Elementary School K-8 Conversion

(Name of Project)

Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.



Planning Ordinance

<http://www.townofdavidson.org/1006/Planning-Ordinance>

(Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)



Section 2 Planning Areas



Permitted Use/Add'l Req.



Not Permitted



Permitted Building Type



Not Permitted



Meets Setback Criteria



Does Not Meet



Meets Open Space Criteria



Does Not Meet



Meets Density Criteria



Does Not Meet



Section 4 Design Standards



General Site Design Criteria (4.3)



General Building Design Criteria (4.4)



Specific Building Type Criteria (4.5)



Existing Industrial Campuses Criteria (4.6)



Renovation of Existing Structures Criteria (4.7)



Section 8 Parking & Driveways



Section 9 Tree Preservation, Landscaping & Screening



Section 10 Lighting



Section 22 Local Historic District Guidelines



September 27, 2017

Mr. Chad Hall
Town of Davidson, North Carolina

CMS Davidson PK-8 Building Addition

General Statement of Intent:

The purpose of the project is to add grades 6-8 to the existing Davidson Elementary School. The addition will consist of a 3 story classroom wing behind a portion of the existing school. Additional on-site vehicular stacking will be provided to help the facility comply with the NCDOT requirements and a new fire access drive will also be provided. A new soccer field will be constructed where the existing baseball field and mobile classrooms are currently located. Stormwater management will be required to meet the Post Construction Control Ordinance.

Section 2 - Planning Areas:

There is no Master Plan or Conditional Planning Area the project will be required to comply with. The Planning Area is the Village Overlay.

Section 4 – Design Standards:

The Town of Davidson Architectural and Site standards have been taken into consideration related to the building addition and associated site improvements.

Section 8 – Parking and Driveways

All new parking and driveways have been designed to meet the Town of Davidson requirements related to access location and parking configuration. There are no new parking spaces planned for the school. There are a few spaces for the greenway access that will be reconstructed.

Section 9 Tree Preservation, Landscape & Screening

A Site Survey is provided which indicates the location of significant vegetation, streams and adjacent facilities including one of the major access points to the Davidson Greenway. The majority of the developable portions of the site have been built upon. See photos for additional documentation of the site conditions.

We have also include a Landscape Plan which indicates the additional screening required along the street frontage for parking.

Section 10 – Lighting

Any new site lighting will meet the Town of Davidson requirements related to light trespass.

Section 22 – Local Historic District Guidelines

This section does not fall within this district, therefore the site does not need to comply with the requirements.

5815 Westpark Drive
Charlotte NC 28217

Voice 704.525.6350
Fax 704.561.8700

www.littleonline.com





A Design Development Site Plan is provided which indicates the location of the existing and proposed building and other vehicular access associated with the on-site stacking. All planned improvements meet the requirements of Section 14.15.7 of the Town of Davidson Planning Ordinance.

Schematic Building Design and Elevations are provided which indicate compliance with Section 14.15.3 of the Town of Davidson Planning Ordinance.

Schematic Landscape Plan indicating compliance with the parking lot screening requirements per Section 14.15.5 of the Town of Davidson Planning Ordinance is also provided.

Please feel free to contact us with any questions you may have on this preliminary design submittal.

Thank you.

Sincerely,
Chris Tymoff



The Diversified Architectural Consulting
 5 Westpark Drive
 Charlotte, NC 28217
 M LICENSE NO. F-0467

RB SUBMITTAL

2/20/17

[illegible]

PRINCIPAL IN CHARGE
DM BALKE, AIA

PROJECT MANAGER
MURRY FOCHT, PE

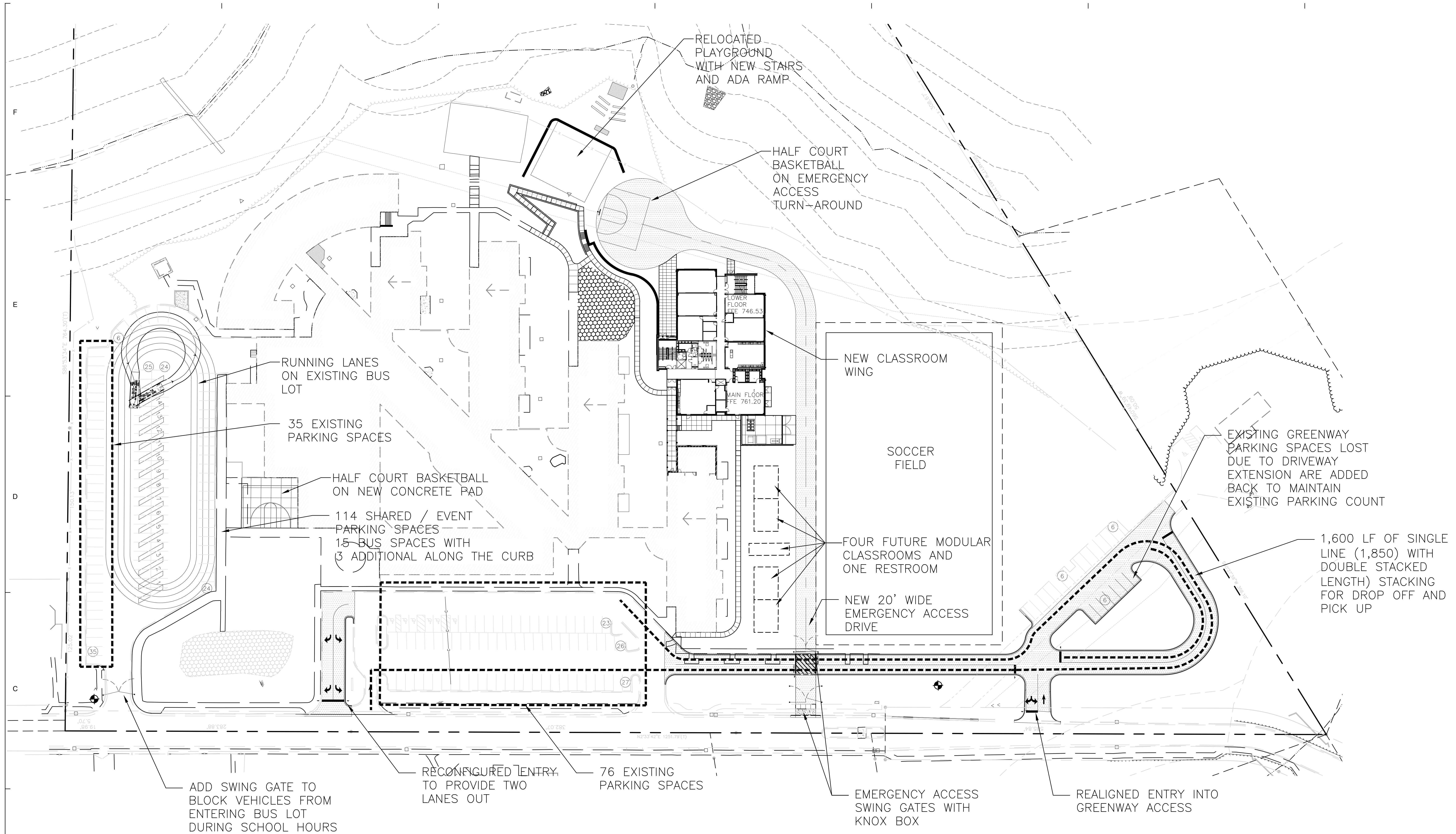
DESIGN TEAM
VS & FGM

MS DAVIDSON K-8
CONVERSION

12445801

LAYOUT PLAN

C2.00



ZONING INFORMATION

PROJECT NAME: DAVIDSON ELEMENTARY SCHOOL K-8 CONVERSION
OWNER: CHARLOTTE-MECKLENBURG SCHOOLS
PHONE: XXXX-XXXX
PLANS PREPARED BY: LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING
PHONE: (704) 525-6350
ZONING: VIP JURISDICTION: TOWN OF DAVIDSON
PROPOSED USE: K-8 SCHOOL
BUILDING HEIGHT: >40' FEET STORIES: 3
BUILDING COVERAGE: XXXX SF GROSS FLOOR AREA: XXXX SF
LOT SIZE: 19.494 ACRES

YARD REQUIREMENTS:

SETBACK (FRONT): XX FEET FROM R/W, XX FEET FROM C/L OF R/W
SIDE YARD(R): XX FEET, SIDE YARD (L): XX FEET
REAR YARD: XX FEET

REQUIRED BUFFERS:

FRONT: YES/NO REAR: YES/NO
SIDE (R): YES/NO SIDE (L): YES/NO

REQUIRED SCREENING:

FRONT: YES/NO REAR: YES/NO
SIDE (R): YES/NO SIDE(L): YES/NO
PARKING ONLY: YES/NO

OPEN SPACE CALCULATIONS:

OVERALL SITE AREA: 849,131 SF, (19.50 AC)
IMPERVIOUS AREA: XXXX SF
LANDSCAPE AREA: XXXX SF (X%)

STREET TREE CALCULATIONS:

SOUTH STREET - 1,252 FEET STREET FRONTAGE

- SMALL MATURING TREES REQUIRED = 42
- LARGE MATURING TREES REQUIRED = 32
- SMALL MATURING TREES PROVIDED =
- LARGE MATURING TREES PROVIDED =

NEW IMPERVIOUS AREA: 65,700 SF

PARKING DATA:

2 SPACES MINIMUM AND
2.25 SPACES MAXIMUM PER CLASSROOM

108 SPACES MINIMUM AND 121 SPACES MAXIMUM

111 SPACES PROVIDED/EXISTING

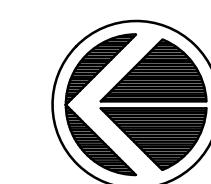
AS PER TOWN OF DAVIDSON

MINIMUM REQUIRED: 108
MAXIMUM ALLOWED: 121
PROVIDED/EXISTING: 111
CARPOOL: N/A, LOADING SPACES: N/A
HANDICAP: 6, COMPACT: N/A



CAUTION!!!

The locations and elevations of existing underground utilities as shown on this drawing are only APPROXIMATE. No guarantee is either expressed or implied as to the completeness of accuracy thereof. The contractor shall be exclusively responsible for determining the exact utility locations and elevations prior to the start of construction.



GRAPHIC SCALE


$$1'' = 40'$$



Diversified Architectural Consulting
 5 Westpark Drive
 Charlotte, NC 28217
 FIRM LICENSE NO. F-0467

M LICENSE NO. F-0467

RB SUBMITTAL

2/20/17

[illegible]

PRINCIPAL IN CHARGE
DOM BALKE, AIA

SUBJECT MANAGER
BRYAN FOCHE, PE

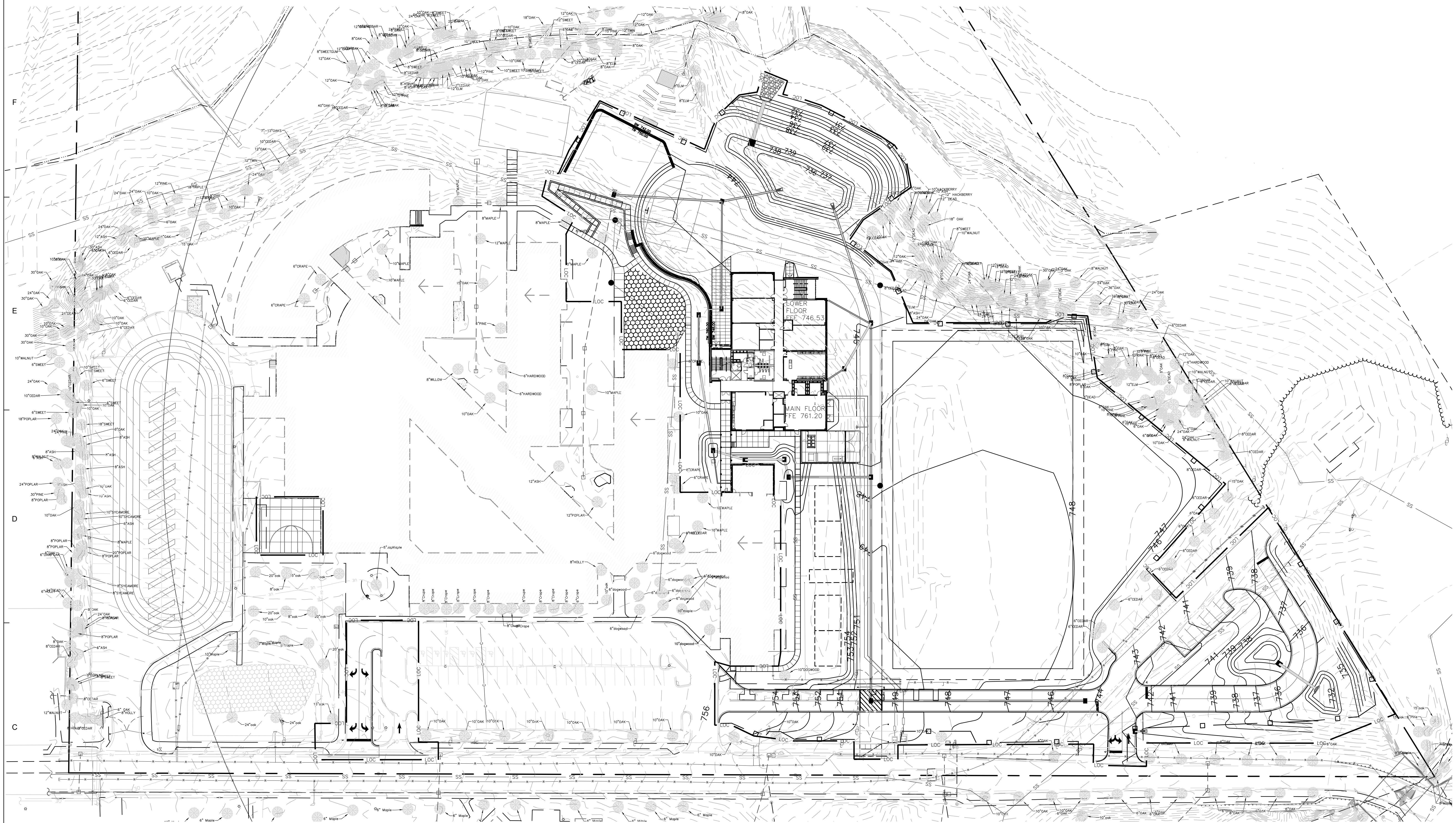
DESIGN TEAM
S/AS & FGM

MS DAVIDSON K-8
CONVERSION

12445801

TRADING
LAN

C3.00



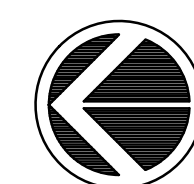
GRADING NOTES:

1. ALL NEW CONTOURS AND SPOT ELEVATIONS ARE SHOWN AS FINISHED GRADES. THE GRADING CONTRACTOR MUST MAKE ALLOWANCES FOR THICKNESS OF PAVING SECTIONS, CONCRETE SLABS, AND 4" OF REDISTRIBUTED TOPSOIL WHEN GRADING.
2. THE ENTIRE SITE WITHIN THE LIMIT OF CONSTRUCTION SHALL BE GRADED TO DRAIN FREELY. ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION, WHETHER INSIDE OR OUTSIDE OF THE LIMIT OF CONSTRUCTION, SHALL BE FINE GRADED AND SEEDED TO ESTABLISH A PERMANENT LAWN.
3. CONTRACTORS MUST COORDINATE ALL DRAINAGE STRUCTURE GRATES AND TOP ELEVATIONS SHOWN WITH ACTUAL FIELD CONDITIONS TO INSURE THAT GRATES AND TOPS ARE FLUSH WITH FINISHED GRADE.
4. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES (INCLUDING SANITARY, STORM DRAINAGE, AND WATER) FROM DAMAGE DURING CONSTRUCTION. ALL UNDERGROUND UTILITIES EXPOSED DURING CONSTRUCTION OR THOSE LEFT WITH LESS THAN ACCEPTABLE MINIMUM EARTH COVER SHALL BE RELOCATED AS DETERMINED BY THE CIVIL ENGINEER.
5. NO SLOPES SHALL BE GRADED STEEPER THAN 3:1, UNLESS INDICATED OTHERWISE.



CAUTION!!!

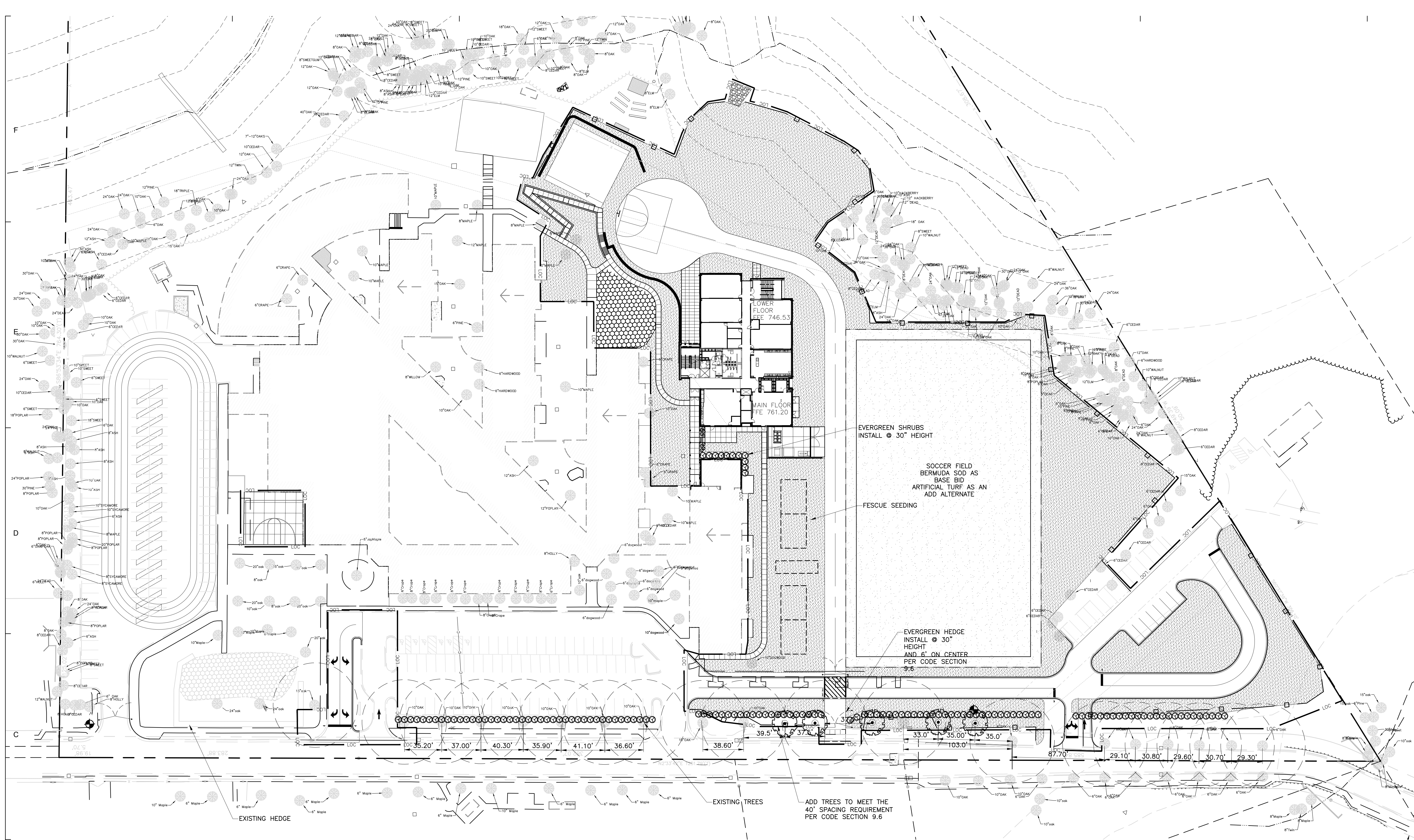
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GRAPHIC SCALE

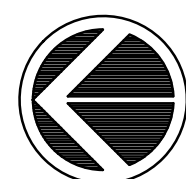

$$1'' = 40'$$

Page 51 of 90

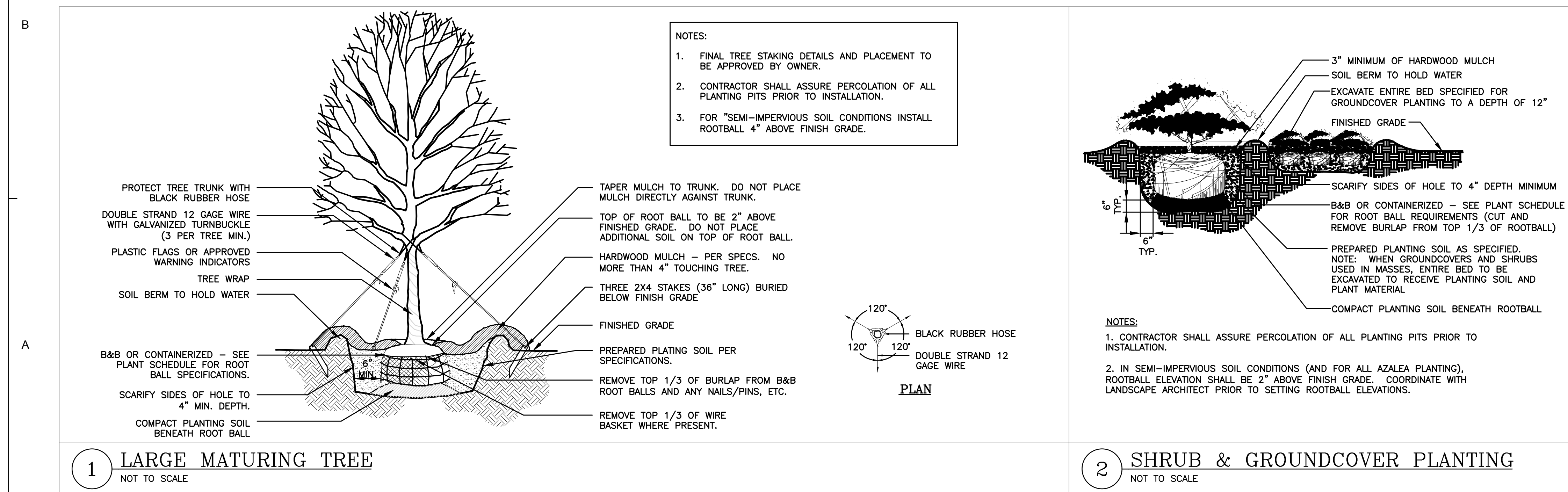


CAUTION!!!

The locations and elevations of existing underground utilities as shown on this drawing are only APPROXIMATE. No guarantee is either expressed or implied as to the completeness of accuracy thereof. The contractor shall be exclusively responsible for determining the exact utility locations and elevations prior to the start of construction



GRAPHIC SCALE


$$1'' = 40'$$


Existing Context



Aerial View

Existing Context



Main Entry Drive



Existing Lower School Building



Main Entry



Existing Lower School Building

Site Photos – Existing Conditions

Floor Plans



Level 1

11,083 gsf



Total: 36,269 gsf

Floor Plans



Level 2

12,775 gsf



Floor Plans

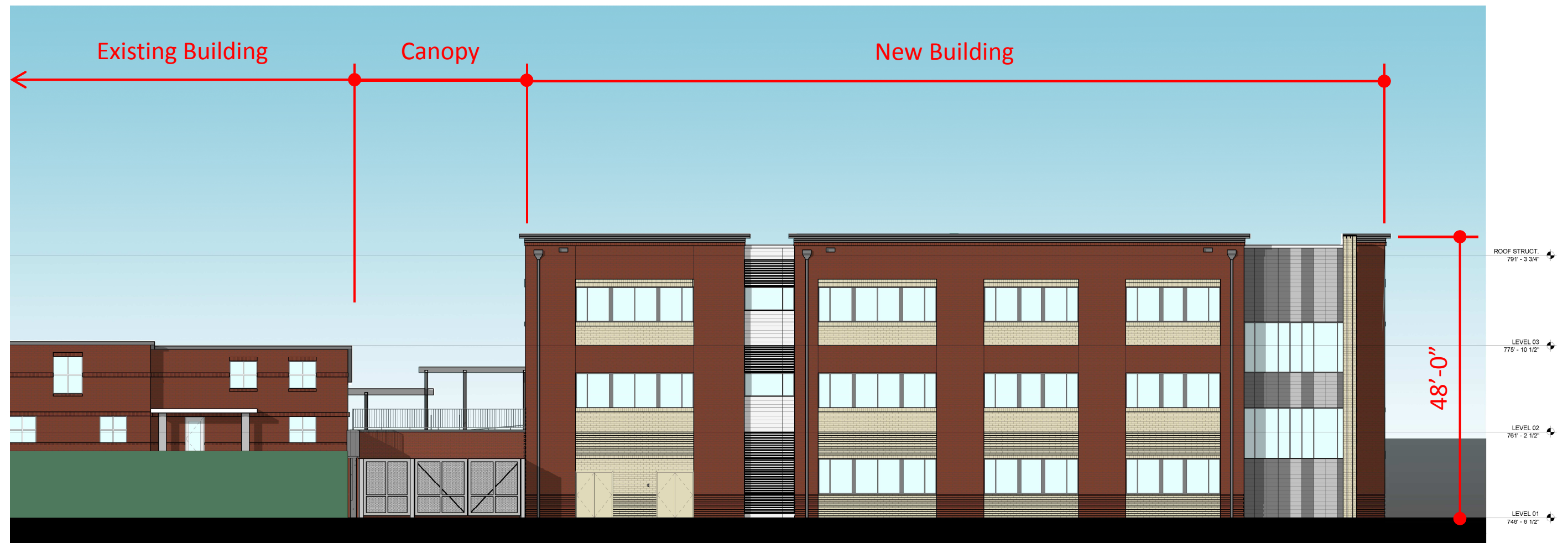


Level 3

12,411 gsf



Elevations



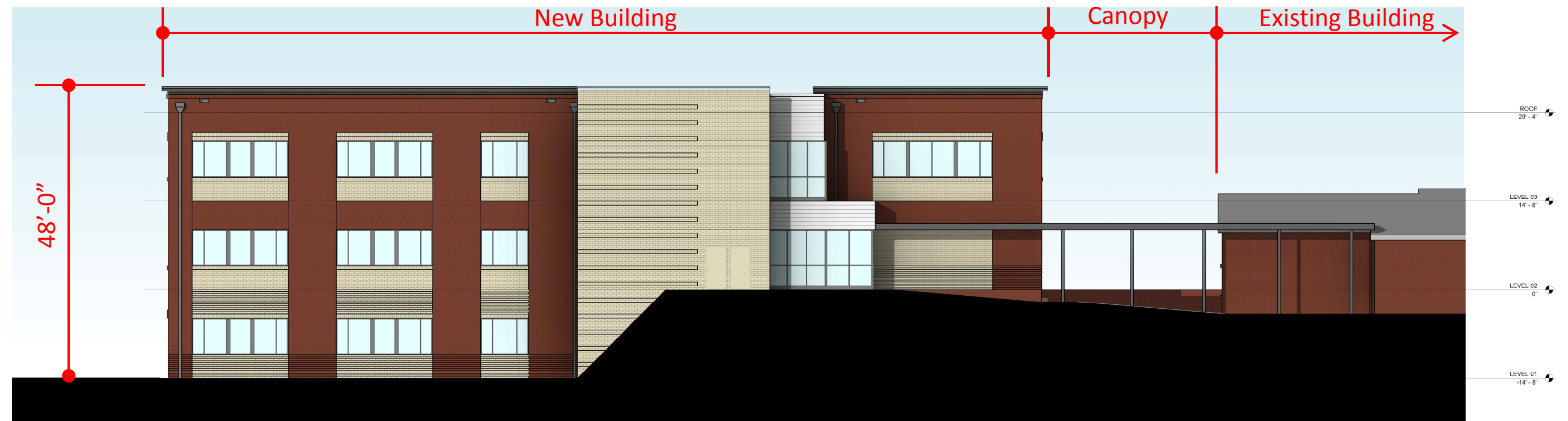
South Elevation

Elevations



West Elevation

Elevations



North Elevation

Elevations



East Elevation

Exterior Views



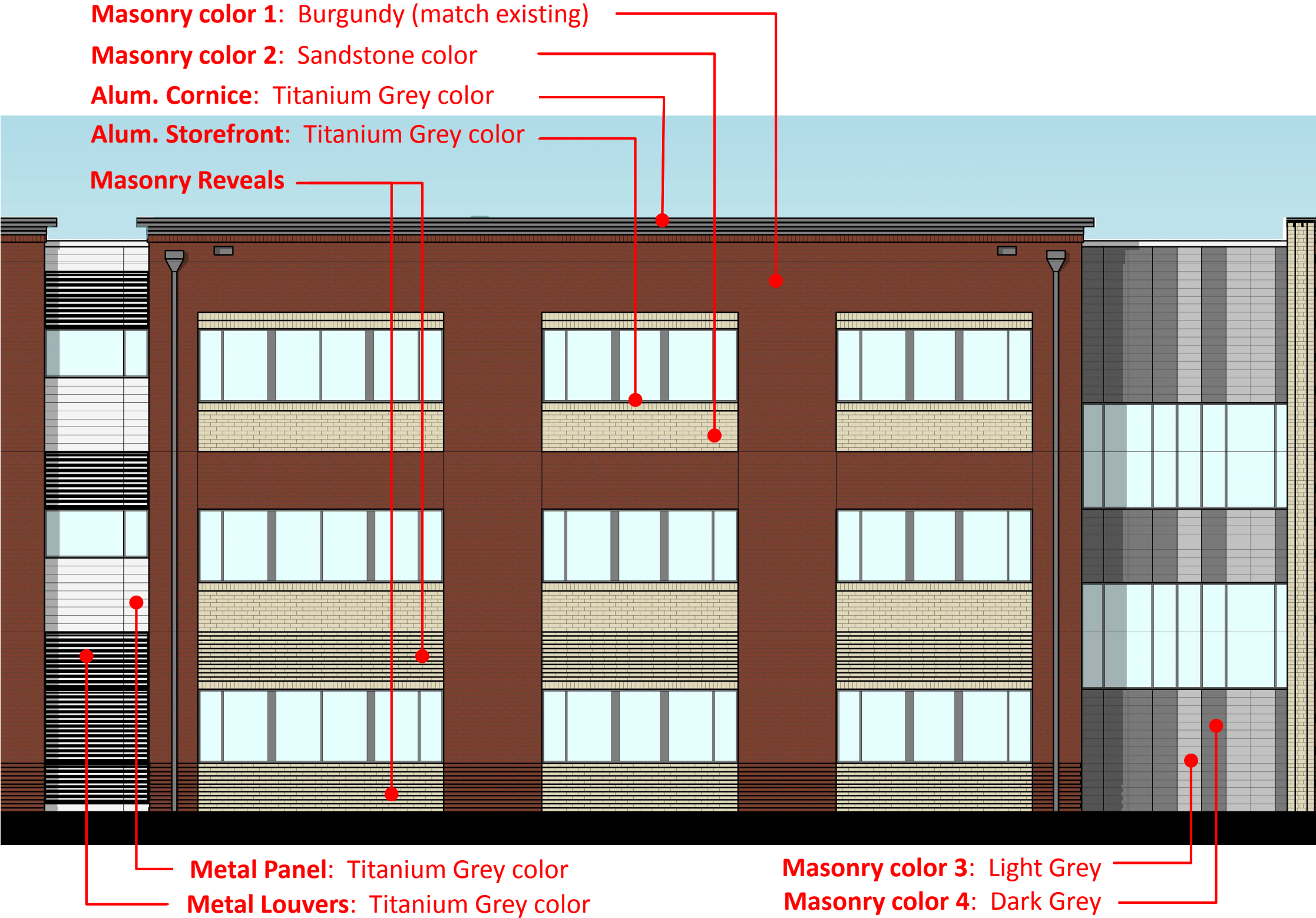
View adjacent to South St. looking North East

Exterior Views



View of Main façade looking North

Materials



South Elevation (Enlarged)

Materials



Masonry color 1: Burgundy (match existing)



Masonry color 3: Light Grey



Masonry color 4: Dark Grey



Masonry color 2: Sandstone color



Alum. Cornice/ Alum. Storefront/ Metal Panel:
Titanium Grey color

Existing Context



Aerial View

Existing Context



Main Entry Drive



Existing Lower School Building



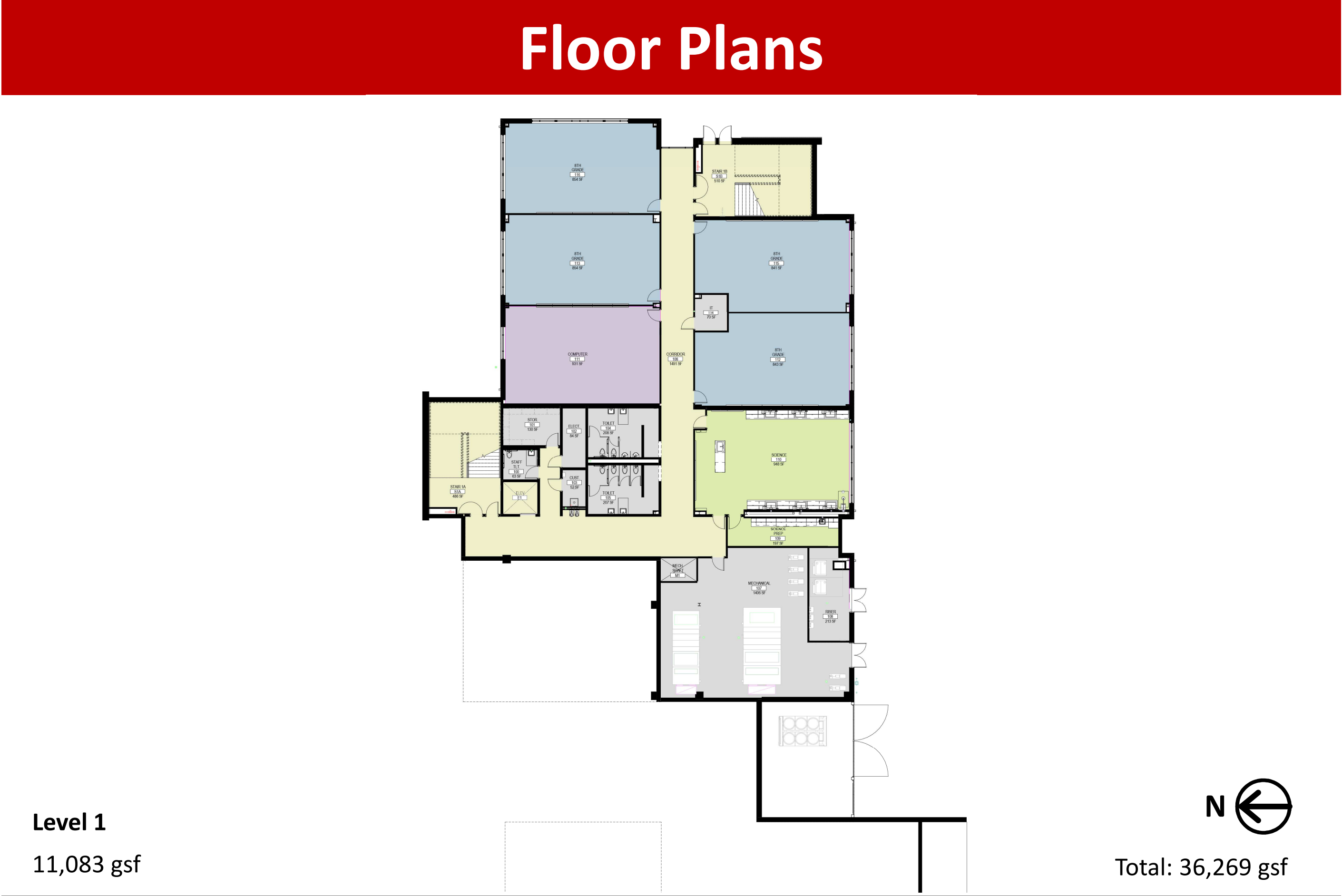
Main Entry



Existing Lower School Building

Site Photos – Existing Conditions

Floor Plans



11,083 gsf

N 

Floor Plans



Level 2

12,775 gsf



Floor Plans

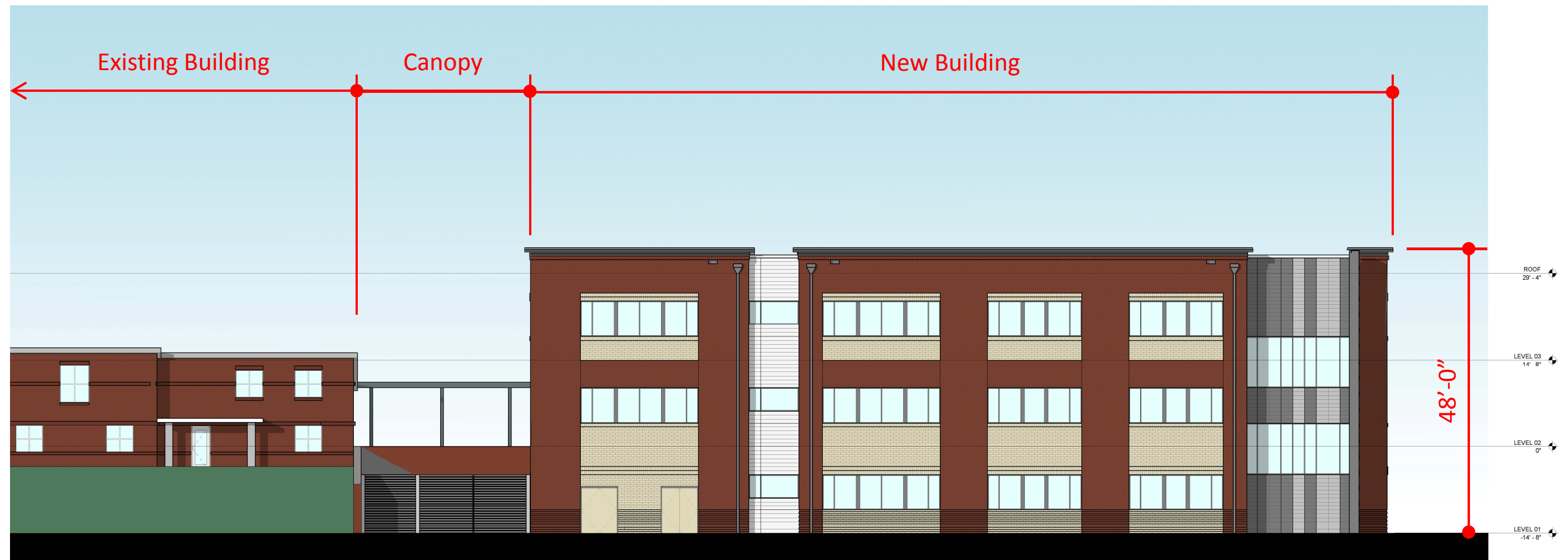


Level 3

12,411 gsf



Elevations



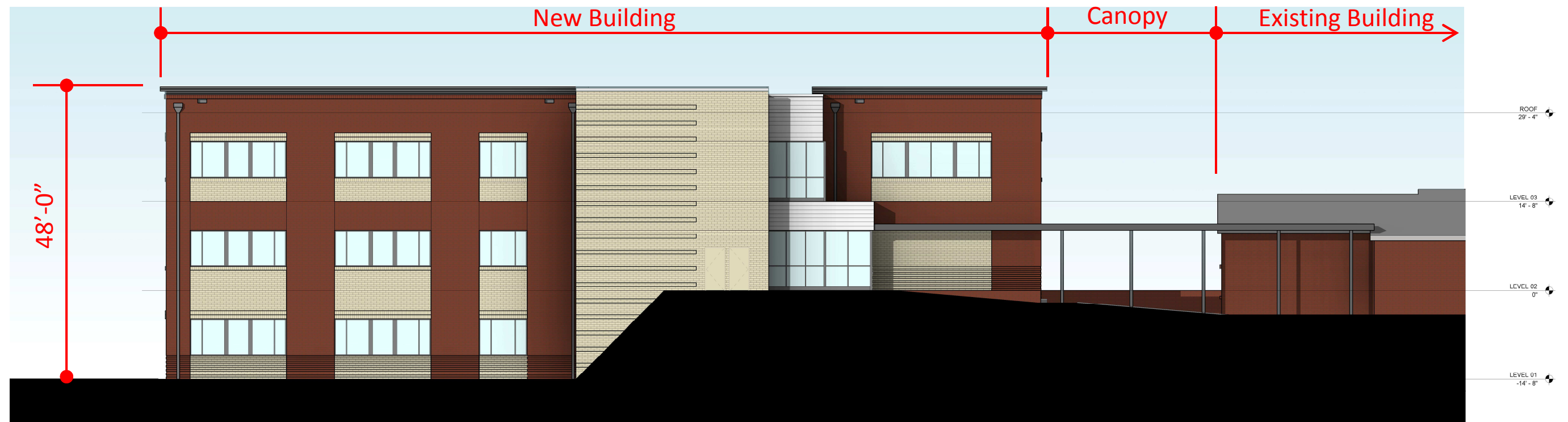
South Elevation

Elevations



West Elevation

Elevations



North Elevation

Elevations



East Elevation

Exterior Views



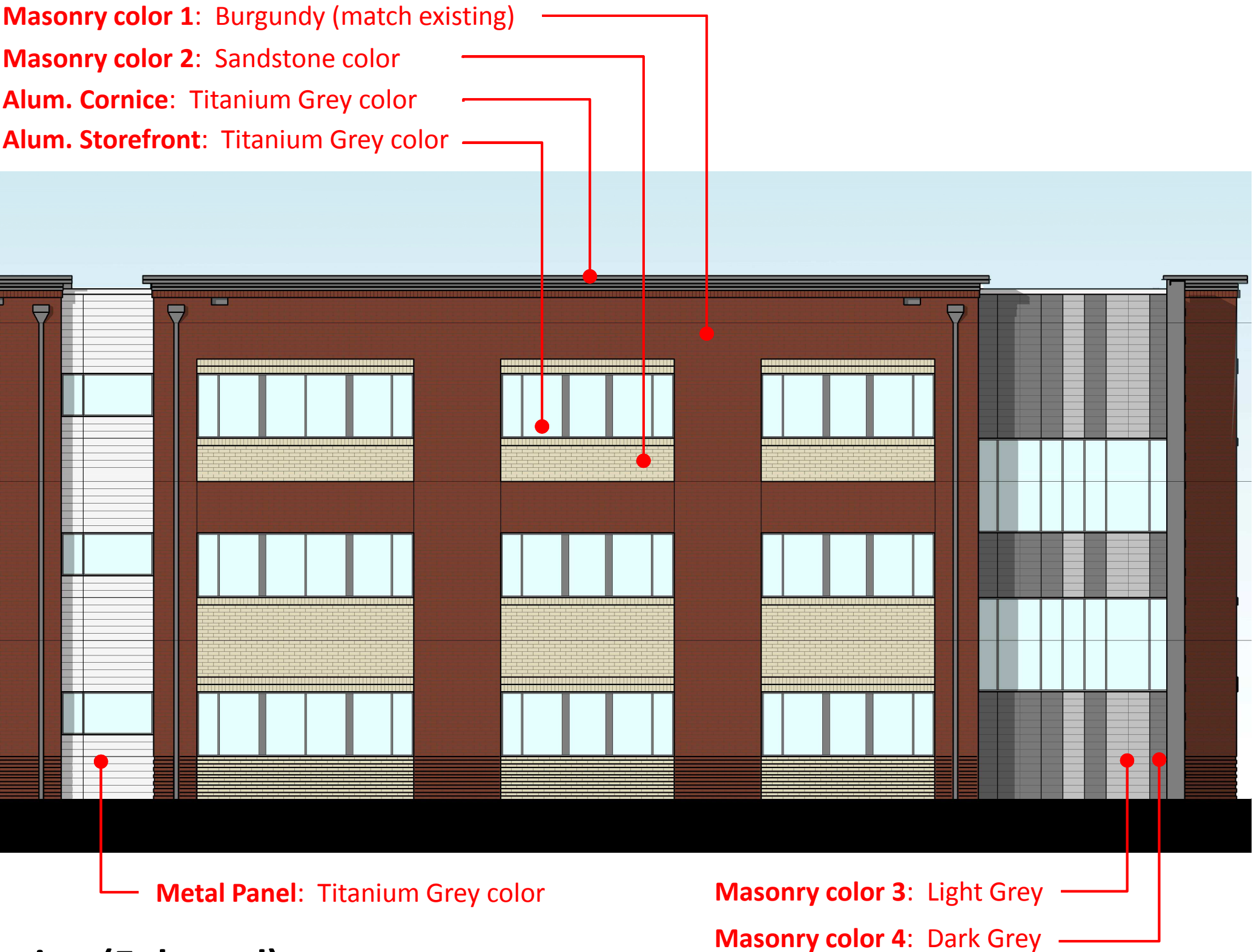
View adjacent to South St. looking North East

Exterior Views



View of Main façade looking North

Materials



South Elevation (Enlarged)

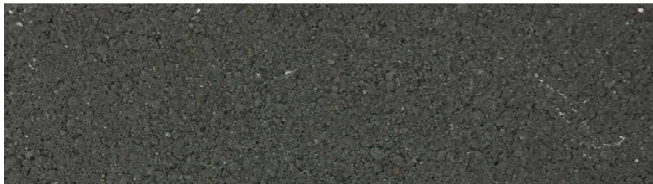
Materials



Masonry color 1: Burgundy (match existing)



Masonry color 3: Light Grey



Masonry color 4: Dark Grey



Masonry color 2: Sandstone color



Alum. Cornice/ Alum. Storefront/ Metal Panel:
Titanium Grey color

**Town of Davidson, NC
Design Review Board: Staff Analysis
Project Manager: Chad Hall
January 17, 2018**

Project: Davidson K-8 Addition
Location: 635 South Street
Applicant: Charlotte-Mecklenburg Schools
Designer: Chris Tymoff (Little Diversified Architectural Consulting)
Planning Area: Village Infill

The purpose of the project is to add grades 6-8 to the existing Davidson Elementary School. The addition will consist of a 3 story classroom wing behind a portion of the existing school. This addition will be viewed as two stories from the front and three from the rear.

Materials include masonry, proposed as four different colors: burgundy, sandstone, light grey and dark grey. There are also a proposed aluminum elements on cornices and the metal panels in addition to louvers.

Primary access to the addition is from the west elevation, connected by a canopy to the original buildings; this elevation is two stories. From this entrance the topography falls south and east, so the building becomes three stories overall with primary entry on the second floor.

This project was reviewed as an FYI in November 2017; from that meeting: the DRB had much discussion with the applicant. There was internal debate on the new elevations, with certain board members liking them and others not as thrilled. Questions/concerns included proportion of windows and color choices between floors, which seemed to make the area between the first and second floor appear heavy. Overall, the Board seemed pleased with massing, but suggested certain detailing.

There appears to be subtle changes made based upon the comments from the FYI, mainly to the south elevation with the introduction of metal louvers and masonry reveals.

No lighting or signage is indicated as part of this application.

DAVIDSON PLANNING ORDINANCE:

Chapter 3: USES WITH ADDITIONAL REQUIREMENTS

Section 3.2.17 Elementary and Secondary School

1. *All principal structures, whether new construction or adaptive reuse shall meet the standards for institutional buildings set forth in Section 4.*
2. *Mobile classroom units may be permitted as accessory structures in the side yard or rear yard on a lot containing a principal structure.*

3. *Permanent parking lots shall be placed and screened in accordance with the standards for off-street parking areas in Section 8.*
5. *Elementary and secondary schools shall provide sufficient stacking lanes for drop-off and pick-up on the school site so that traffic circulation is not impeded on any public right-of-way. A transportation impact analysis must be performed in accordance with Section 6.*

Section 4.4.1.E.1,3&4a – General Building Design Standards - Materials

Materials shall be selected for suitability to the type of building and design for which they are used. All sides of the building should use material consistent with those on the front if visible from public streets or neighboring properties, and should be carefully designed with similar detailing, comparable quality and comparable materials. Building materials and colors shall be complimentary to the material already being used.

Section 4.4.1.F.1&4 – General Building Design Standards – Architectural Details

Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. Fenestration shall be architecturally related to the style, materials, colors, and details of the building.

Section 4.5.1.A – Specific Building Type Requirements – Institutional Building

The scale and architectural sophistication of these buildings should support their civic importance and complement Davidson’s existing civic buildings.

T:\Planning_Shared_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2018 DRB Agendas\20180117_DRB Agenda\Dav K-8\20180117_DavK8_Staff Analysis.doc



Agenda Title: Hyatt FYI

Summary:

ATTACHMENTS:

Description	Upload Date	Type
❑ Memo	1/11/2018	Exhibit
❑ Application	1/11/2018	Exhibit
❑ Statement of Compliance	1/11/2018	Exhibit
❑ Front Rendering	1/11/2018	Exhibit
❑ Corner Rendering	1/11/2018	Exhibit
❑ Plaza Rendering	1/11/2018	Exhibit
❑ Right Elevation	1/11/2018	Exhibit
❑ Retaining Wall Examples	1/11/2018	Exhibit



MEMO

TO: Design Review Board
FROM: Chad Hall, Senior Planner
DATE: January 10, 2018
SUBJECT: Hyatt Conditions

Hyatt FYI is for the architecture, along with the plaza design as determined by the Town Board. Below are the most relevant conditions to consider related to the plaza, along with two conditions that may directly/indirectly impact the design. Following are the full conditions that were agreed to by the BOC/Planning Board as part of the approval process. I highlighted all pertinent language.

PRIMARY CONDITIONS

- **Condition 3c, Plaza:** The design of the Plaza and ornamental tree plantings in the plaza area will be subject to approval of the **Design Review Board**. The plaza area will be publicly accessible and identified as such on the Final Plat.
- **Condition 3i, Retaining Wall:** The retaining wall will be setback 13' – 60' from the eastern boundary. The maximum height of the retaining wall at the head wall is 13' and the wall is tiered three times. The maximum height of any tier is 6' throughout the Site. The approximate location and length of the wall is shown on the Plan. The modular block retaining wall design shall be approved by the **Design Review Board**.

RELATED CONDITIONS

- **Condition 3a, Public Art:** Space will be reserved on Tracts 4A or 4B within a plaza or sidewalk area along Griffith Street for public art and the art shall be determined by Davidson Public Art Commission in coordination with the Applicant. No financial contribution is required of the Applicant in connection with such art.
- **Condition 3g, Benches:** The Applicant shall install two benches along Griffith Street as a part of the public art experience.

Feel free to contact me with any questions/concerns,

Chad

HYATT CONDITIONS:

1. **Zoning:** The zoning of Tracts 4-A, 4-B, 4-C and 4-D of Davidson Commons East, consisting of 6.4 acres, more or less (the "Site"), is CPA (Conditional Planning Area), as shown on the Davidson Commons East Conditional Master Plan, as amended November 10, 2010, April 9, 2013 and November 14, 2017 (the "Plan"); the underlying zoning is LPA (Lakeshore Planning Area). Phase II of the Plan was approved for a Change of Use on November 10, 2010 and an amendment to the conditions of Tract 4-C within Phase II was approved on April 9, 2013. These conditions are specific and limited to the hotel site proposal and do not modify any previously approved plans.
2. **Building Design & Uses:**
 - a. **Schematic Design:** Development must be in substantial conformance to the approved Plan, understanding that adjustments may need to be made as a result of engineering requirements and existing site conditions during design and construction phases. The Plan is schematic in nature and may be altered or modified in a manner that a master plan differs from a preliminary plat. The adjustments, and the development of Plan, are subject to the Davidson Planning Ordinance ("DPO") standards in effect on November 14, 2017, as modified by the conditions contained herein, and the criteria established by the Plan.
 - b. **Uses:** Permitted uses on Tracts 4-A and 4-B shall include Hotel/Inn, Commercial Services, Restaurant and Retail, Primary and Secondary.
 - c. **Retail:** The proposed retail component shall meet the DPO definition of Retail Primary or Retail Secondary (DPO 16.3).
 - d. **Environmental Design:** The Applicant shall commit to meet the LEED certification requirements for Light Pollution Reduction. Confirmation that the requirements have been met shall be provided via a letter of verification from the Applicant's LEED-accredited, registered architect at design and after installation.
 - e. **Building Type:** The hotel building shall be a Workplace building type in accordance with DPO 4.5.6.
 - f. **Height:** The Tract 4-A and 4-B three-story (3) Height Restriction is hereby amended to provide that the height allowed for the proposed hotel building located on Tracts 4-A and 4-B, as shown on the amended Master Plan, shall be a Minimum of Two (2) Stories and a Maximum of Four (4) Stories.
3. **Site Design:**
 - a. **Public Art:** Space will be reserved on Tracts 4A or 4B within a plaza or sidewalk area along Griffith Street for public art and the art shall be determined by Davidson Public Art Commission in coordination with the Applicant. No financial contribution is required of the Applicant in connection with such art.
 - b. **Buffers and Trees:** In lieu of the requirements of Section 9.3.2 of the DPO, the following conditions shall apply:
 - i. **Eastern Buffer:**
 1. **Replanting Ratio:** The eastern buffer will be replanted at a 1:1 ratio for all mature trees that are removed or damaged during construction, as determined by the Mecklenburg County Site Inspector.
 2. **Tree Types & Caliper:** Replanted trees must be at least 4-5 inch caliper trees at time of installation and shall be a mix of large, maturing deciduous and evergreen species. The replanted trees shall include at least three white oak trees to replace the three white oak trees removed on the northeast corner of the site.
 3. **Clearing Near Preserved Areas:** Areas within the tree protection fence shall be cleared by hand utilizing hand-held implements; mechanized vehicles shall be prohibited from operating within the tree protection fence and limbing of trees to reduce the tree

canopy coverage is prohibited. These conditions shall apply to the tree canopy coverage area for mature trees located within the tree protection fence but whose canopy coverage extends outside of the protection area.

4. **Monitoring:** During construction, the Applicant commits to daily monitoring and reports about tree protection for saved specimens and any identified preserved areas. These daily reports shall be compiled and submitted weekly to the Mecklenburg County Site Inspector.
5. **Replanting Guarantee:**
 - a. **Financial Assurance:** The Applicant shall obtain a performance bond (or increase the amount of an existing performance bond) from a surety bonding company authorized to do business in North Carolina and approved by the Board of Commissioners or its designee. The bond shall be payable to the Town and shall be in an amount equal to 125% of the estimated cost to complete the buffer, and to provide a warranty of the revegetation and reseeding.
 - b. **Initial Inspection.** After the Applicant has completed the initial revegetation, the Town shall inspect and approve such initial revegetation to ensure such installation is in compliance the Davidson Planning Ordinance and/or manufacturer recommendations.
 - c. **Second Inspection and Warranty Period.** After installation of all required plantings, a twenty-four (24) month warranty for trees of 4-5 inch caliper at planting and eighteen (18) month warranty for all other plantings (as applicable, “warranty period”) shall commence from the date of the notification to the Town of complete installation. At the end of the warranty period, the Town shall re-inspect to verify that growth has occurred and that the site has stabilized. If any areas need to be replanted or reseeded, the Town shall notify the Applicant and the Applicant shall perform any necessary replanting or reseeding.
 - d. **Remedies:** Subject to the subsequent sentence, upon default of the Applicant to complete any necessary replanting and reseeding, the Town may obtain and use all or any portion of the funds necessary to complete the replanting and reseeding based on actual construction costs. The Town shall return any bond funds not spent in completing such work. Prior to using funds, the Town shall notify the Applicant, its successors or assigns, of the default and provide ten (10) days to cure the default. If the Applicant, or its successors or assigns, has not diligently commenced to cure such default within ten (10) days, the Town shall have the right to obtain and use funds for the revegetation or warranty corrections to be replanted, reseeded, or stabilized.
- c. **Plaza:** The design of the Plaza and ornamental tree plantings in the plaza area will be subject to approval of the Design Review Board. The plaza area will be publicly accessible and identified as such on the Final Plat.
- d. **Crosswalk:** As shown on the Plan, Applicant will construct textured/patterned crosswalks to be approved by the Planning Director – one crosswalk at the intersection of Davidson Gateway and Griffith Street and one crosswalk across Davidson Gateway from the entrance driveway of Woodies to the CSD site.
- e. **Multi-Use Path Bridge:** Subject to the provisions of this sub-section (e), the Applicant agrees to pay up to \$102,000 (“Applicant’s share”) towards the cost of a multi-use path bridge on the site’s eastern boundary, as illustrated in the Walks & Rolls Plan Figure 4-2. One-half of the payment shall be made at the time of Final Plat approval and one-half of the payment shall be made upon the issuance of the Certificate of Occupancy. The Applicant shall pay fifty percent (50%) of the actual construction costs (not including soft costs, such as the costs of plans and permits or management fees) of the 10’ multi-use bridge along Griffith Street over the stream on the Site’s eastern boundary as shown on Walks and Rolls Plan Figure 4-2, but, in any event,

the Applicant shall not pay more than One Hundred and Two Thousand and No/100 Dollars (\$102,000.00) for such bridge. The payment shall be held in escrow and used only for the construction of the bridge. In the event the Applicant's share is less than \$102,000, the Applicant shall be reimbursed the remaining amount.

- f. **Mid-Block Crossing (Griffith St.):** The Applicant agrees to pay \$61,000 towards the cost of a mid-block crossing. The payment shall be made at the time of the issuance of a certificate of occupancy for the hotel unless the Town is prepared to construct the mid-block crossing prior to the issuance of the certificate of occupancy, then in such event, the Applicant shall make such payment at the time of Final Plat approval. The payment shall be held in escrow and used only for construction of the mid-block crossing.
- g. **Benches:** The Applicant shall install two benches along Griffith Street as a part of the public art experience.
- h. **Multi-Use Path:** The Applicant shall provide a multi-use path as shown on the Plan. Tree grates shall not interfere with cyclists' ability to safely move through the area (i.e. small-diameter openings and installed perpendicular to the travel path).
- i. **Retaining Wall:** The retaining wall will be setback 13' – 60' from the eastern boundary. The maximum height of the retaining wall at the head wall is 13' and the wall is tiered three times. The maximum height of any tier is 6' throughout the Site. The approximate location and length of the wall is shown on the Plan. The modular block retaining wall design shall be approved by the Design Review Board.
- j. **Setbacks:** The hotel building shall front on Griffith Street with minimum front and side setbacks of 0'.
- k. **Parking Lot Walkway:** In lieu of DPO 8.4.5 Pedestrian Access; a sidewalk between parking aisles shall not be required.
- l. **Transit Amenities:** The Applicant shall install two transit stops in the following locations: 1. In front of the hotel; and 2. at the Mid-Block Crossing on the north side of Griffith St. Designs shall be in accordance with CATS standards and shall include a bench and bicycle parking. A Certificate of Occupancy shall not be issued until the transit stops, as installed, are approved by CATS.

4. **Parking:**

- a. **Required Parking:** The plan shall provide a mix of parking formats including off-street surface parking (78), on-street parking (18), and a shared parking arrangement with the adjacent Woodies Automotive building (15), for a total of 111 spaces. On-street parking is shown on the Plan.
- b. **Bicycle Sharing:** A bike sharing station shall be installed by the Applicant and/or cycles shall be made available to hotel patrons for use around town.
- c. **Bicycle Parking:** The plan shall provide 6 long term and 12 short-term bicycle parking spaces. Bicycle parking spaces shall incorporate some public art features as reasonably determined by the Applicant in conjunction with the Davidson Public Art Commission.

5. **Construction Sequence:** The Applicant shall conduct all construction staging on the Site and off-site improvements shall be completed during summer, weekends and school holidays.

6. **Impervious Coverage:**

Impervious Calculations	Approved	% of Total	Existing
Tract 4-A	26,180	21.72%	12,709.50
Tract 4-B	26,180	21.72%	12,709.50

Tract 4-C	34,161	28.34%	34,161
Tract 4-D	34,000	28.21%	Unimproved
Total	120,521	100%	59,580

The 52,323 square feet of impervious cover allocated to Tracts 4-A and 4-B may be distributed among such Tracts in accordance with the approved amended Master Plan and may also be redistributed between Tracts if requested by the Applicant and approved by the Planning Director.

7. **Amendments:** The Applicant may request an amendment to the Plan and approved zoning without the written consent of any other owner of all or any portion of the property shown on the Plan so long as the recorded Declaration of Protective Covenants for the property contains a valid and enforceable provision with the stated purpose of granting power of attorney to the Declarant to execute an amendment to the Plan and approved zoning on behalf of such owners. Developer understands that the Town cannot waive the rights of property owners.
8. **Plat Notes:** In the event the event of an amendment to the plat of the Site, entitled Davidson Commons East Map 1, recorded in Map Book 49, Pages 655 – 657, Mecklenburg County Public Registry, as amended in Map Book 55, Pages 623, Mecklenburg County Public Registry (the “Plat”), the notes included on the Plat shall be included on the subdivision plat of the Site as modified by the provisions herein.



Design Review

DAVIDSON HYATT PLACE HOTEL

(Name of Project)

Development Process

Date Completed	Outline of Steps & Checklist
COND. USE REZONING	<input checked="" type="checkbox"/> 1. Initial Meeting
12/28/17	<input checked="" type="checkbox"/> 2. Application and Fee
	<input type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
	<input type="checkbox"/> 4. Planning Director Site Schematic Design Review
	<input type="checkbox"/> 5. Design Review Board Approval
	<input type="checkbox"/> 6. Building Construction Documents
	<input type="checkbox"/> 7. Site and Landscape Construction Documents
	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
	<input type="checkbox"/> 9. Building Permit Approval
	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
	<input type="checkbox"/> 12. Certificate of Occupancy

** For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*



Design Review

DAVIDSON HYATT PLACE HOTEL
(Name of Project)

Application Requirements

Date Received

- ☐ Application Fee per Town of Davidson Fee Schedule
- ☒ Contact Information
- ☒ General Statement of Intent
(Use, building type, approx. square footage, height, design features)
- ☒ Statement of Compliance with Section 2
- ☒ Master Plan or Conditional Planning Area
(Including all documents, plans, maps, and conditions of approval)
- ☒ Environmental Inventory in accordance with Section 14.15.1
(Including adjacent properties and buildings) INCLUDED W/ CONDITIONAL USE APPROVAL
- ☐ General Description
(Including a description and color photographs to existing / adjacent site)
- ☒ Site Schematic Design in accordance with Section 14.15.7 PART OF CONDITIONAL USE SUBMITTAL
- ☐ Building Schematic Design in accordance with Section 14.15.3
(Including rendered elevations of each façade per 14.15.3 C)
- ☒ Landscape Schematic Design in accordance with Section 14.15.5 AS PRESENTED FOR CONDITIONAL USE SUBMITTAL
- ☒ Building Perspective
- ☐ Building Materials/Colors
(Roofing, siding, doors, windows, etc.)

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.



Applicant's Signature

12.27.17

Date



Design Review

DAVIDSON HYATT PLACE HOTEL

(Name of Project)

Contact Information

Applicant's Information

Name:

NISH PATEL

E-Mail:

NISH@BEACONIMG.COM

Mailing Address:

6428 BANNINGTON RD. #B

CHARLOTTE, NC 28226

Business Phone:

704-752-7901

Mobile Phone:

704-363-1230

Property Owner's Information

(If Different from Applicant)

Name:

E-Mail:

Mailing Address:

Business Phone:

Mobile Phone:

Architect's Information

Name of Firm:

THE RBA GROUP

Architect's Name:

DAVE MALUSHIK

E-Mail:

DAVE@THERBAGROUP.COM

Mailing Address:

122-B WEST BLAND ST

CHARLOTTE NC 28203

Business Phone:

704-344-9098

Mobile Phone:

704-975-5960



Design Review

DAVIDSON HYATT PLACE HOTEL

(Name of Project)

Project Description

Application Date:

12.27.17

Project Location:

127 & 151 DAVIDSON GATEWAY RD

Tax Parcel(s):

00323190 & 00323191

Planning Area:

CONDITIONAL

Overlay District:

Master or Cond. Plan

(Attach Conditions of Approval)

Gen. Statement of Intent:

TO DEVELOP A COMMERCIAL HOTEL ON THE 2.1 ACRES (COMBINED) SITE. THE HOTEL WILL BE APPROX. 74,500 SF - 4 STORIES WITH 115+ ROOMS AND A GROUND FLOOR RETAIL SPACE FOR LEASE.

Project Details:

• Project Type:



Individual Bldg.



Master Plan



Conditional Planning Area



Sign

• Building Type:



Detached House



Townhouse



Attached House (Tri- or Quadplex)



Institutional



Live/Work



Multi-family (Apts., Condos, Flats)



Workplace



Storefront



Accessory Structure

• Use(s):

HOTEL / RETAIL RESTAURANT

• Height & Stories:

49' & FOUR STORIES

• Square Footage:

74,500 SQUARE FEET

• Building Materials:

BRICK, STUCCO (E.I.F.S.) & ALUMINUM WINDOW AND ENTRANCE SYSTEMS

Architectural

Features:

ACTIVE STREET LEVEL FACADE / PEDESTRIAN SCALE / ENTRY PLAZA - URBAN MASSING ACCENTUATED BY MATERIALS / PARAPET CAPPED WITH ORNATE CORNICE

Existing Site

Conditions:

See 14.12.2.D

PREVIOUSLY UNDEVELOPED SITE WITH SOME EXISTING PAVED AREAS USED FOR PARKING



Design Review

DAVIDSON HYATT PLACE HOTEL

(Name of Project)

Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.

☐

Planning Ordinance

<http://www.townofdavidson.org/1006/Planning-Ordinance>

(Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)

☐

Section 2 Planning Areas

☐

Permitted Use/Add'l Req.

☒

Not Permitted

ALLOWED PER
CONDITIONAL USE

☒

Permitted Building Type

☐

Not Permitted

☒

Meets Setback Criteria

☐

Does Not Meet

☒

Meets Open Space Criteria

☐

Does Not Meet

☒

Meets Density Criteria

☐

Does Not Meet

☐

Section 4 Design Standards

☒

General Site Design Criteria (4.3)

☒

General Building Design Criteria (4.4)

☒

Specific Building Type Criteria (4.5)

☒

Existing Industrial Campuses Criteria (4.6)

☒

Renovation of Existing Structures Criteria (4.7)

☒

Section 8 Parking & Driveways

☒

Section 9 Tree Preservation, Landscaping & Screening

☒

Section 10 Lighting

☒

Section 22 Local Historic District Guidelines

**Design Review Board Application
Statement of Compliance**

Davidson Hyatt Hotel

The following is an outline format narrative addressing the requirement for compliance with each section of the Davidson Planning Ordinance:

- Planning Ordinance:
 - The proposed building will preserve Davidson's character and sense of community with the development of a contextually sensitive design through the use of appropriate materials and scale, appropriate street facing facades, entrances at the street and from on-site parking, retail lease space at the corner of Griffith Street and Davidson Gateway Drive and a public entry plaza adorned with public art. The project will encourage alternative means of active transportation via adjacency to public transportation, the installation of pedestrian crosswalks to adjacent development and public rights of way and a use that will support local business needing accommodations within a ¼ from the site. The development is located within existing walkable, mixed-use developments and near planned commercial centers so walking, bicycling, and riding public transit to these destinations are viable options. The development will employ energy efficient design and specific LEED criteria as outlined in the conditions. The project ensures that development builds up and not out, supporting economic growth without jeopardizing sense of community and will enhance Davidson's quality of life through design, a dynamic public realm, and seamless connections between the two.
- Section 2 – Planning Areas:
 - The project is consistent with every aspect of the Planning Area requirements except the (Hotel) use which was approved as part of the conditional use zoning process. The building type is a "Workplace" building. Engaging street facades will meet the criteria for percentage and type of glass allowing the lobby, meeting and dining spaces to be visible from the street. A leasable retail spaces also included to engage the corner of Davidson Gateway Drive and Griffith Street as well as the public entry plaza. The setback criteria are met by bringing the building to the street to create an activated street scape. Open space for the project includes natural areas to remain with additional planting as well as an urban plaza. The density of the project is consistent with adjacent development and provides a much needed temporary residential use to serve the college and local business conferencing needs as well as visiting family members for the residents of Davidson
- Section 4 – Design Standards
 - General Site requirements: The project is in compliance with all site requirements as follows:

Design Review Board Application Statement of Compliance

Davidson Hyatt Hotel

- **Pedestrian and vehicular Access**
 - The primary entrance is from Griffith Street and the on-site parking.
 - An additional entrance can be provided to the lease space from Davidson Gateway Drive
 - Porte Cochere is located in the rear of the site accessed from the parking to side of the building
 - The building engages both existing streets and provides entry to parking from the secondary street.
- **Building Location and Orientation**
 - The Building fronts both public streets
 - The building is located at an intersection and no parking, loading or service areas are located at the corner.
- **Building Height**
 - The height of the building, which is four stories, is consistent with adjacent development. The proposed four story building is approximately 49' tall as compared to other three and four story building in the area which range from 47' to 57'
- Fencing is not proposed, however a low masonry screening wall is proposed to screen parking along Davidson Gateway Drive.
- Loading/service is not proposed for this project and mechanical equipment will be screened appropriately.
- **Public Spaces**
 - The urban plaza will provide a safe visible and easily accessible public amenity which will engage the street and encourage public use
 - The space is partially enclosed with building mass and incorporated raised planters, street trees and on street parking to help define the space.
- **General Building Design Requirements**
 - The project is a four story building approximately 49' tall
 - The massing and facade articulation is broken down with varying materials and colors and follows the urban design philosophy of "Base, Middle & Cap" referring to an accentuated base with an articulated cap or parapet. The proposed design includes a simplified Italianate cornice
 - Facade transparency will be achieved via an articulated base design with storefront window systems for a majority of the perimeter, concentrated at street facades.
 - Materials will be brick and stucco in varying colors and blend with adjacent development while creating an articulated scale appropriate for street scape buildings
- **Specific Building Design Requirements**

**Design Review Board Application
Statement of Compliance**

Davidson Hyatt Hotel

- Workplace Building Type:
 - The project is in compliance with all criteria outlined in the ordinance for workplace buildings
- Section 8 Parking and Driveways
 - Based on the proposed design and the conditions assigned to the project via the conditional use approval this project is in compliance with all parking and driveways criteria outlined in the ordinance
- Section 9 Tree Preservation, Landscaping & Screening
 - Based on the proposed design and the conditions assigned to the project via the conditional use approval this project is in compliance with all Tree Preservation, Landscaping & Screening criteria outlined in the ordinance and actually exceeds the requirements as follows:
 - Additional off-site planting to mitigate a previously installed inadequate planting buffer behind the adjacent Woodie's project.
- Section 10 Lighting
 - Based on the proposed design and the conditions assigned to the project via the conditional use approval this project is in compliance with all lighting criteria outlined in the ordinance and actually exceeds the requirements as follows:
 - LEED criteria will be met for all site lighting
- Section 22 Local Historic District
 - Not Applicable



FRONT RENDERING

LOCATION : DAVIDSON, NC

PROJECT: 17-1878 HYATT PLACE DAVIDSON



CORNER RENDERING

LOCATION : DAVIDSON, NC

PROJECT: 17-1878 HYATT PLACE DAVIDSON



PLAZA RENDERING

LOCATION : DAVIDSON, NC

PROJECT: 17-1878 HYATT PLACE DAVIDSON



RIGHT ELEVATION
LOCATION : DAVIDSON, NC
PROJECT: 17-1878 HYATT PLACE DAVIDSON

Illustrative Images of Retaining Walls

