



**TOWN OF DAVIDSON
DESIGN REVIEW BOARD
7:00PM Board Room in Town Hall at 216 S Main St, Davidson, NC**

February 20, 2019

-
- I. CALL TO ORDER**
 - II. SILENT ROLL CALL**
 - III. CHANGES TO THE AGENDA**
 - IV. REVIEW/APPROVAL OF THE MINUTES**
 - (a) Minutes 2019 January 16
 - V. NEW BUSINESS**
 - (a) 253 Catawba Ave Garage
 - (b) 1506 Matthew McClure Cr Garage
 - VI. ADJOURN**



Agenda Title: Minutes 2019 January 16

Summary:

ATTACHMENTS:

Description	Upload Date	Type
☐ Minutes 2019 January 16	2/11/2019	Cover Memo

Meeting Minutes

Design Review Board

Town of Davidson, NC
January 16, 2019

A meeting of the Town of Davidson *Design Review Board* was held in the Town Hall, Board Room, 216 S. Main St.

Call to Order: 6:59 p.m.

Silent Roll Call and Determination of Quorum:

Members Present signified by ☒:

☒ Bruce Barteldt, Chair

☒ Tom Goodwin

☒ Mike Kessler

☐ John Burgess

☒ Brian Bumann

☒ Bob Sipp

☒ EB Dyer

☒ Lorraine Degree

☒ Jeff Osman

Town Staff Present: Lindsay Laird (Planner)

Changes to the Agenda: Lindsay Laird requested a change to the agenda for Dawn Blobaum to give an update to the board on three potential Historic Landmark Designation projects and the Local Historic District expansion. Both new items shall be included under Other Items before discussion of the Certified Local Government draft ordinance.

Review/Approval of the Minutes

A motion was made (MK) to approve meeting the minutes of November 28, 2018 as submitted. It was seconded (EB) and the motion was approved unanimously.

Consent Item: None.

Old Business: None

New Business:

1. 712 North Main Street Garage

Located at 712 N. Main Street

Village Infill (Blue Overlay District)

Proposed accessory structure in excess of 650 square feet

Lindsay Laird gave an overview of the project, noting that the proposed garage requires approval by the DRB because the footprint is greater than 650 square feet. The footprint is compliant with the DPO for Village Infill properties. The garage will be constructed of materials to complement the existing home on site. The applicant explained that the colors and finishes of the proposed garage will match a recent addition on the rear of the home.

After discussion, a motion was made (BS) to approve the project as submitted with the following conditions:

1. The structure shall have corner boards to match the existing house on site;
2. The structure shall have a frieze board following the roofline to match the existing home; and
3. Any proposed lighting shall be reviewed by staff.

The motion was seconded (MK) and approved unanimously.

Other Items:

1. Historic Landmarks Designation Update – HPC Discussion

Dawn Blobaum gave an update on three properties with the potential for Landmark Designation. Properties include 310 Concord Road, 601 North Main Street, and 21525 Shearer Road. These properties will be presented to the Board of Commissioners at their next meeting to discuss funding of Landmark Designation reports. The HPC voiced support for continued consideration of the above properties for landmark designation.

2. Local Historic District Expansion Update – HPC Discussion

Dawn Blobaum gave an update on the possible expansion of the Local Historic District. Consultant Mary Ruffin Hanbury of Hanbury Preservation Consulting proposed two options moving forward. Option one would include survey documentation of the entire National Register district and properties adjacent to the current boundary which could now be considered contributing. Option two would be a phased approach with survey documentation of North Main Street included in phase one and the remainder of the National Register district included in phase two. Residents of North Main Street have voiced support for moving forward on Local Historic District expansion in this area of town ahead of the rest of the National Register district. The HPC voiced general support for option two, which North Main Street first and then the remaining areas of town.

3. Certified Local Government Draft Ordinance Discussion – HPC Discussion

The HPC discussed general comments and concerns regarding the Certified Local Government draft model ordinance. The board notes that rules and procedures need to be adopted by the HPC. The board expressed concern with the time obligations associated with an increase in the responsibilities of the HPC. A question was raised about whether or not the DRB and HPC should be two separate boards rather than combined. The board decided to further review the draft ordinance and discuss further at the February meeting.

Adjourn: A motion was made to adjourn (TG), seconded (EB), and approved unanimously. The meeting was adjourned at 8:22 pm.

Approval of Minutes:

Date: _____ By: _____

Please note: This is a summary of the meeting and not to be considered a complete transcript.



Agenda Title: 253 Catawba Ave Garage

Summary:

ATTACHMENTS:

Description	Upload Date	Type
20190220 253 Catawba Ave Garage	2/13/2019	Exhibit

**Town of Davidson, NC
Design Review Board: Staff Analysis
February 20, 2019**

Project: Accessory Structure (over 650 square feet)
Location: 253 Catawba Ave.
Applicant: Tim Pratt, Copper Builders, Inc.
Designer: ALB Architecture
Planning Area: Village Infill (Orange Overlay District)

The applicant would like to construct a detached garage in the rear yard at 253 Catawba Avenue. A new home and detached garage are proposed for this site.

The footprint of the proposed detached garage is in excess of 650 square feet. Per DPO Section 4.5.8.B.2., any accessory structure over 650 square feet of first floor area shall be reviewed by the Design Review Board.

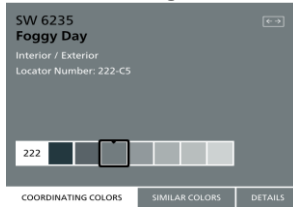
The proposed garage will have a footprint of 756 square feet. This is less than 30% of the footprint of the principal building, as required per DPO Section 4.5.8.B.1. The footprint of the principal building is 2,542 square feet (30% of this footprint is 763 square feet). The height of the structure will be 25'7" (two stories).

The proposed garage will be constructed with materials to match the new home to be constructed on site. The exterior of the structure will have gray hardi plank siding and white trim (see samples below). Gutters and downspouts will also be white. The foundation will be brick. The roof will be asphalt shingles.

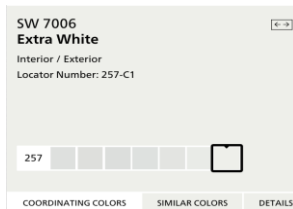
Additional architectural features include carriage style garage doors, brackets on dormer roof lines shown on the front and rear elevations, and a 10" square wood column on the front elevation at the garage entrance door and another on the left side elevation at the entrance to the stairs leading to the garret above the garage.

Lightning will be recessed in soffits above the garage door. Additional recessed lighting will be located at the garage entrance door on the front elevation and at the vestibule entering the garret above the garage on the left side elevation.

Exterior Siding Color:



Exterior Trim Color:



DAVIDSON PLANNING ORDINANCE:

Section 4.5.8 Accessory Structures

B. Size of Accessory Structure

1. *In the Rural Reserve and Rural Planning Areas, on lots over two acres where the proposed accessory structure is located more than 150 feet from the right-of-way or is not otherwise visible from the right-of-way, the footprint of an accessory structure shall not exceed 1,200 square feet. In all planning areas, except the Rural Reserve and Rural Planning Areas, the footprint of an accessory structure must not exceed 650 square feet or 30% of the footprint of the principal building (up to a maximum of 900 square feet), whichever is greater.*
2. *Any accessory structure over 650 square feet of first floor area and all accessory structure ancillary to non-residential building types shall be reviewed by the Design Review Board, in accordance with the procedures in Section 14.*

Section 4.4.1 General Building Design Standards

E. Materials

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*
4. *Building materials and colors shall be:*
 - a. *Complementary to the materials already being used in the neighborhood.*

F. Architectural Details

1. *Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.*
4. *Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*



Design Review

253 Catawba Ave Detached Garage Accessory Structure

(Name of Project)

Application Requirements

Date Received

- ☒ Application Fee per Town of Davidson Fee Schedule
- ☒ Contact Information
- ☒ General Statement of Intent
(Use, building type, approx. square footage, height, design features)
- ☒ Statement of Compliance with Section 2
- ☒ Master Plan or Conditional Planning Area
(Including all documents, plans, maps, and conditions of approval)
- ☒ Environmental Inventory in accordance with Section 14.15.1
(Including adjacent properties and buildings)
- ☒ General Description
(Including a description and color photographs to existing / adjacent site)
- ☒ Site Schematic Design in accordance with Section 14.15.7
- ☒ Building Schematic Design in accordance with Section 14.15.3
(Including rendered elevations of each façade per 14.15.3 C)
- ☐ Landscape Schematic Design in accordance with Section 14.15.5
- ☒ Building Perspective
- ☒ Building Materials/Colors
(Roofing, siding, doors, windows, etc.)

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

DocuSigned by:
Tim Pratt
495112402F31446...

Applicant's Signature

1/4/2019

Date



Design Review

253 Catawba Ave Detached Garage Accessory Structure

(Name of Project)

Contact Information

Applicant's Information

Name: Copper Builders, Inc

E-Mail: timpratt@copperbuilders.com

Mailing Address: 1235E East Blvd #155 Charlotte, NC 28203

Business Phone: None Mobile Phone: 704-604-7452

Property Owner's Information

(If Different from Applicant)

Name: Clay and Shannon Hooper

E-Mail: clay.hooper@nike.com

Mailing Address: 253 Catawba Ave Davidson, NC 28036

Business Phone: _____ Mobile Phone: 704-236-6385

Architect's Information

Name of Firm: ALB Architecture

Architect's Name: Angie Lauer

E-Mail: lauer.alb@icloud.com

Mailing Address: 1200 E Morehead St Suite 240

Charlotte, NC 28204

Business Phone: 704-503-9595 Mobile Phone: 704-506-6540



Design Review

253 Catawba Ave Detached Garage Accessory Structure

(Name of Project)

Project Description

Application Date: 1/3/19

Project Location: 253 Catawba Ave Davidson, NC 28036

Tax Parcel(s): 00320519

Planning Area: Village Infill

Overlay District: Orange

Master or Cond. Plan N/A
(Attach Conditions of Approval)

Gen. Statement of Intent: Detached garage accessory structure compliant with zoning

Project Details:

• Project Type: ☒ Individual Bldg. ☐ Master Plan ☐ Conditional Planning Area

☐ Sign

• Building Type: ☐ Detached House ☐ Townhouse ☐ Attached House (Tri- or Quadplex)

☐ Institutional ☐ Live/Work ☐ Multi-family (Apts., Condos, Flats)

☐ Workplace ☐ Storefront ☒ Accessory Structure

• Use(s): Garage and garrett

• Height & Stories: 25'7" and 2 stories

• Square Footage: 861 sq/ft footprint Footprint amended to 756 Sq. ft.

• Building Materials: Hardi plank siding and asphalt shingles on a brick foundation

Architectural Features: Carriage style garage doors, corbels on overhangs and dormer roof lines

Existing Site Conditions: Empty lot- new construction



Design Review

253 Catawba Ave Detached Garage Accessory Structure

(Name of Project)

Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.



Planning Ordinance

<http://www.townofdavidson.org/1006/Planning-Ordinance>

(Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)



Section 2 Planning Areas



Permitted Use/Add'l Req.



Not Permitted



Permitted Building Type



Not Permitted



Meets Setback Criteria



Does Not Meet



Meets Open Space Criteria



Does Not Meet



Meets Density Criteria



Does Not Meet



Section 4 Design Standards



General Site Design Criteria (4.3)



General Building Design Criteria (4.4)



Specific Building Type Criteria (4.5)



Existing Industrial Campuses Criteria (4.6)



Renovation of Existing Structures Criteria (4.7)



Section 8 Parking & Driveways



Section 9 Tree Preservation, Landscaping & Screening

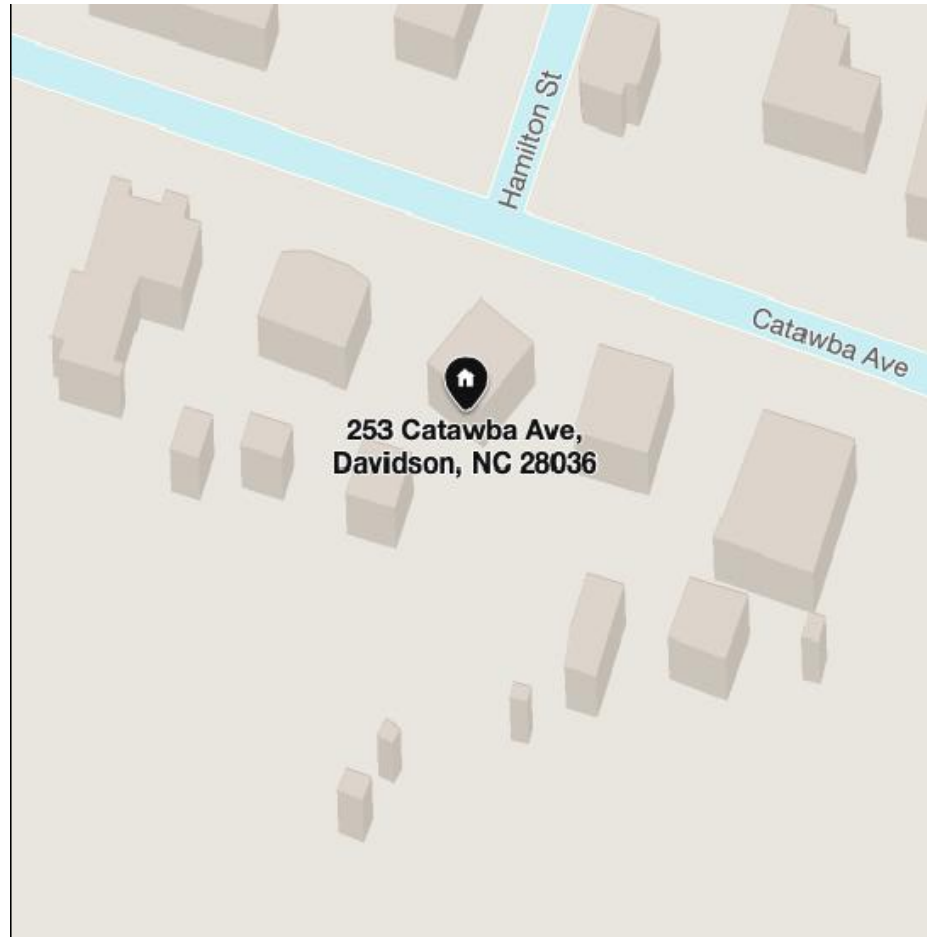


Section 10 Lighting



Section 22 Local Historic District Guidelines

VICINITY MAP



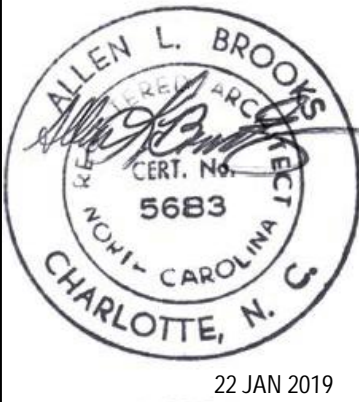
INDEX OF DRAWINGS

- A-0 COVER SHEET
- A-1.0 SITE PLAN
- A-4.0 ACCESSORY PLANS
- A-4.1 ACCESSORY PLANS
- A-4.2 ACCESSORY ELEVATIONS
- A-4.3 ACCESSORY SECTIONS



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lauer.alb@icloud.com



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ZONING INFORMATION

JURISDICTION	TOWN OF DAVIDSON
ZONED	VI-O
ACCESSORY FOOTPRINT	
HOUSE FOOTPRINT	2542 SQ.FT
ACCESSORY FOOTPRINT	756 (LESS THAN 30 PERCENT OF HOUSE FOOTPRINT)

ACCESSORY SQUARE FOOTAGE CALCULATIONS

	HEATED SPACE	UNHEATED SPACE
FIRST FLOOR	17	697 (GARAGE)
		42 (PORCHES)
SECOND FLOOR	545	
TOTAL	562	739
TOTAL UNDER ROOF	1301	

REQUESTED CHANGES

#	DATE	REQUESTED BY	REASON
1			

NOTE:
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

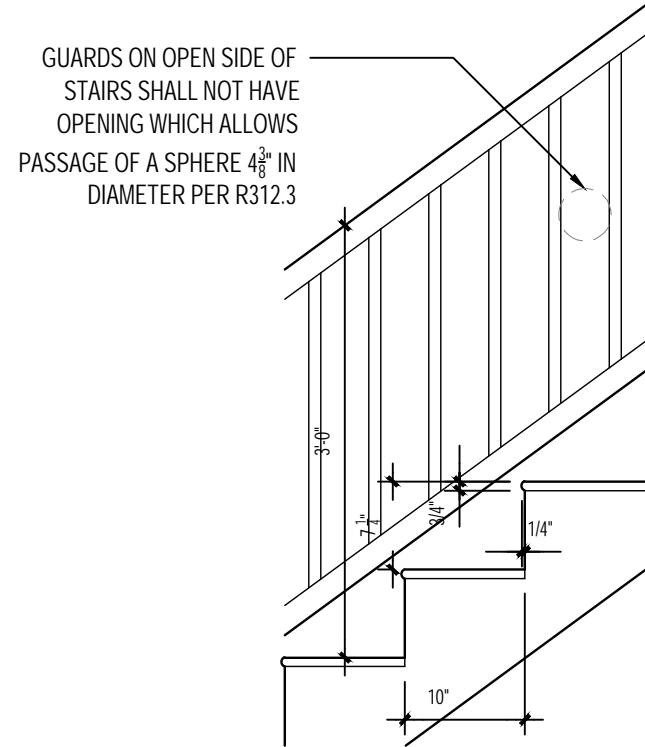
Designed Exclusively For the:
HOOPER RESIDENCE-ACCESSORY
253 Catawba Avenue, Davidson, NC 28036

PROJECT #: 18086
ISSUED: 22 JAN 2019
REVISIONS:

COVER SHEET

A-0

OF:



③ WOOD STAIR DETAIL
3/4" = 1'-0"

GARAGE FIRST FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
101	16'-0" X 8'-0"	GARAGE DOOR
102	2'-8" x 6'-8"	GARAGE ENTRY
103	2'-8" x 6'-8"	STAIR ENTRY

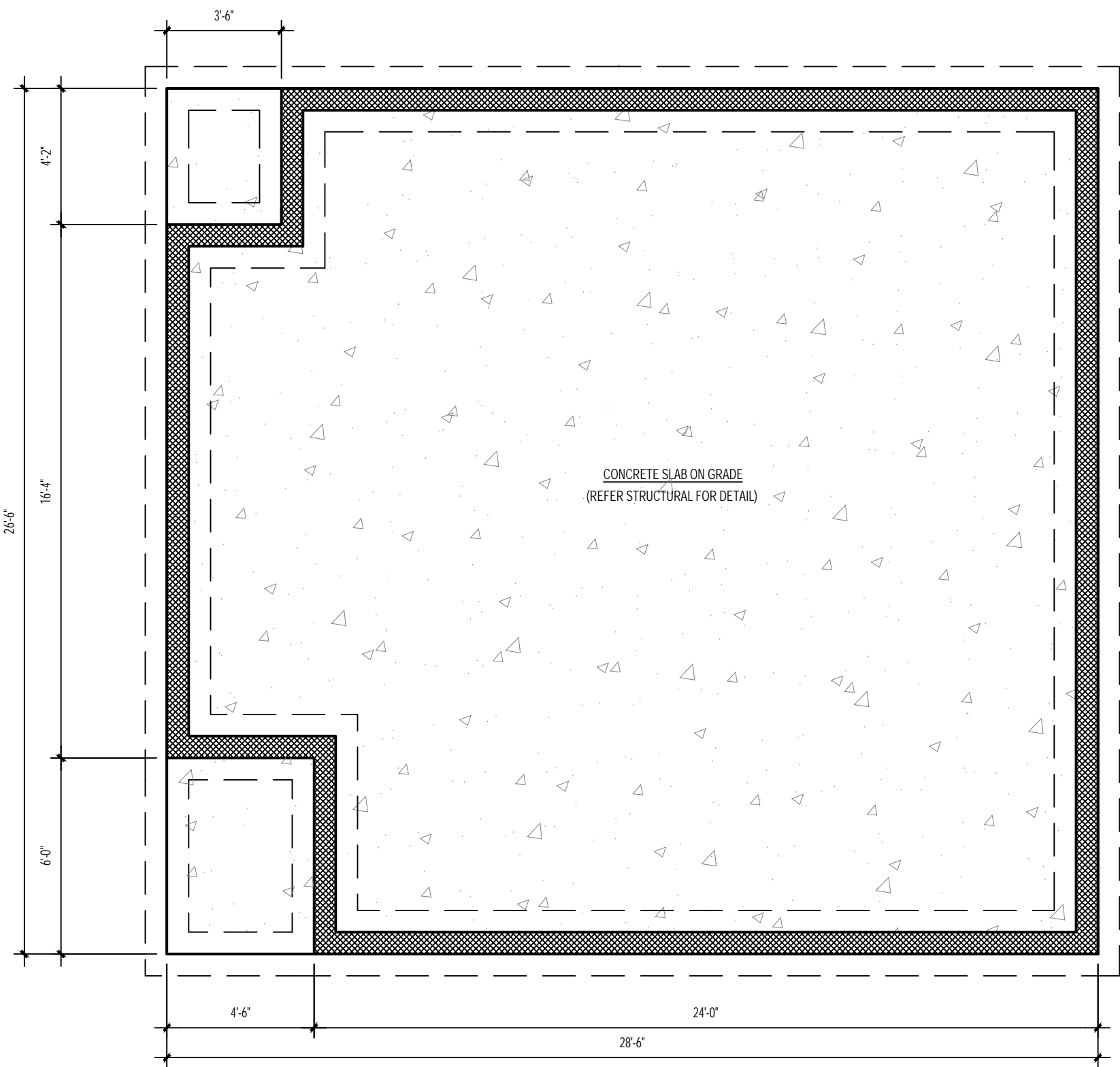
WINDOW SCHEDULE FOR GARAGE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-6" X 4'-6"	5'-9"	SINGLE HUNG
B	2'-6" X 2'-6"	7'-0"	CASEMENT

- NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 2. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
 5. WINDOW SIZING:
 - 5.1. NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 - 5.2. FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - 5.3. M.E. = MATCH EXISTING
 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

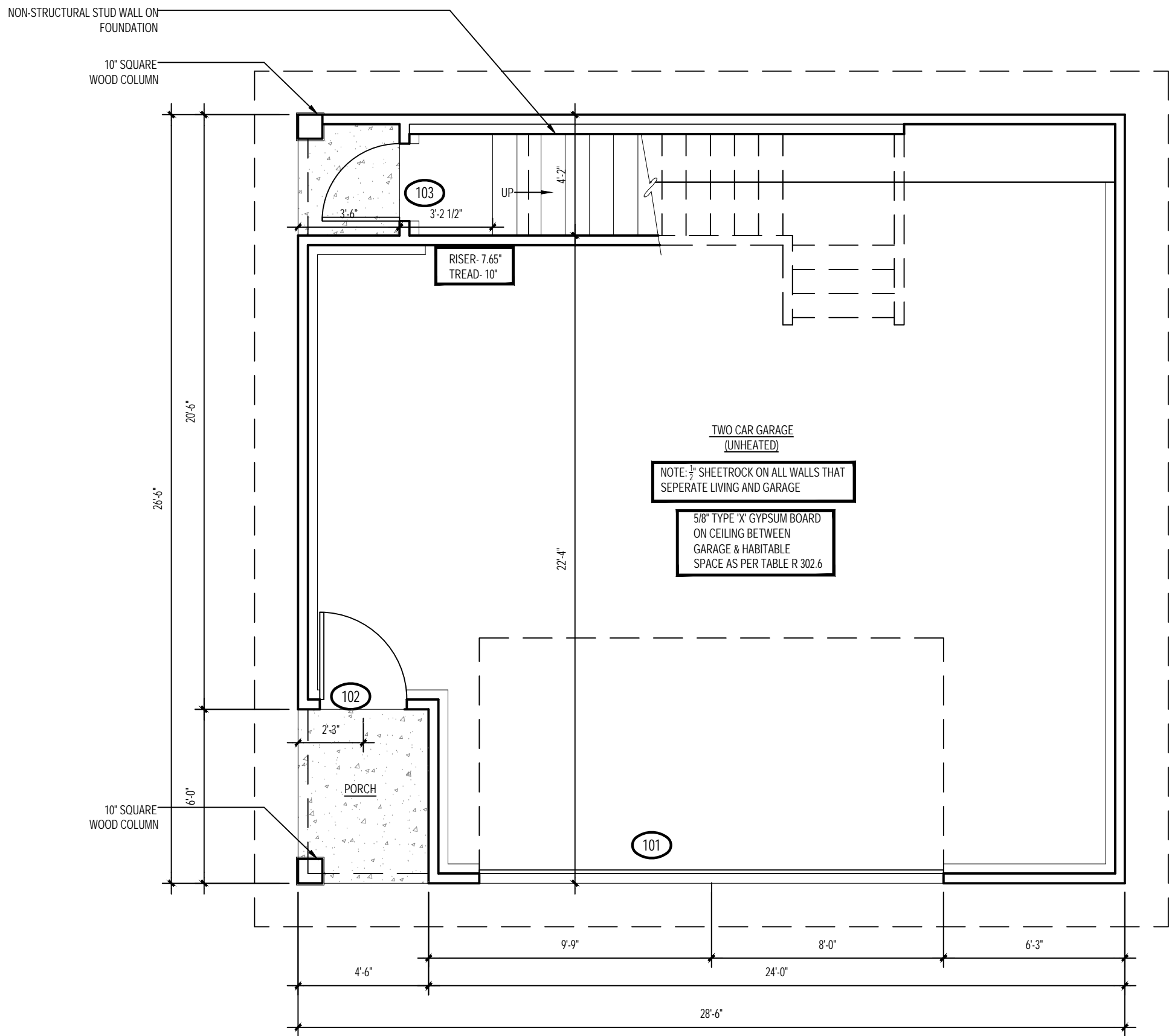
- GENERAL NOTES:
1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
 2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
 3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
 4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
 5. FACE OF STUD TO ALIGN WITH FACE OF BLOCK
 6. FIRE BLOCK @ FLOOR & CEILING PER CODE
 7. ALL DIMENSIONS ARE TO FACE OF STUD & BLOCK
 8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
 9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.5.3 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 3/8".
 10. ALL RISERS TO BE SOLID.
 11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
 12. RAILS TO BE 36" IN HEIGHT
 13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
 14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
 15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
 16. ALL EAVES TO BE 1'-6" U.O.
 17. ALL FASCIAS TO BE 8".
 18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
 19. CONTINUOUS EAVE VENT U.O.

- STAIRS, RAILING & GUARD NOTES:
1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
 2. R311.7.5.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
 3. R311.7.5.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
 4. R311.7.8 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
 5. R311.7.8.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
 6. R312.1.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHS
 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
 7. R312.1.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/8 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

- NOTE:
1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.
 2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.
 3. THIS PAGE SHALL EXPIRE ON DECEMBER 31, 2019 @ 11:59 PM IF BUILDING PERMIT HAS NOT BEEN ACQUIRED PRIOR TO EXPIRATION DATE



② PROPOSED GARAGE FOUNDATION PLAN
1/4" = 1'-0"

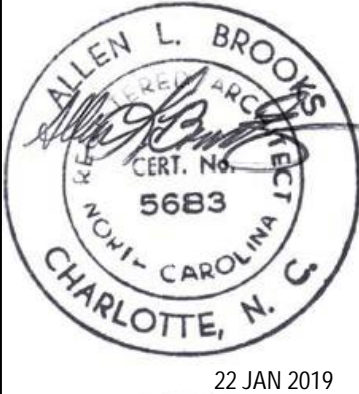


① PROPOSED GARAGE PLAN
1/4" = 1'-0"



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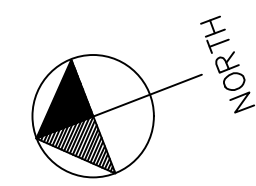
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Designed Exclusively For the:
HOOPER RESIDENCE-ACCESSORY
253 Catawba Avenue, Davidson, NC 28036

PROJECT #: 18086
ISSUED: 22 JAN 2019
REVISIONS:

PROPOSED GARAGE PLANS

A-4.0
OF:



- NOTE: 1. MATCH TRIM DETAILS WITH METAL DRYIP CAP (WITH FLASHING) & BACK BAND TO MATCH AT WINDOW.
2. SEE ELEVATIONS FOR MOUNTED PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
3. MEET MINIMUM U-VALUE OF GLASS OR MORE & LESS THAN 0.14 F.F MUST BE TEMPERED.
4. PROVIDE FULL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE FINISH FLOOR. PROVIDE PROTECTION WHERE WINDOW IS GREATER THAN 24" ABOVE FINISH FLOOR OR WALKING SURFACE BELOW.
5. WINDOW SIZING:
 - 5.1. NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
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- 5.3. ME = MATCH EXISTING
6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
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9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311 7.5.3 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN $\frac{1}{4}"$.
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
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16. ALL EAVES TO BE 1'-6" U.O
17. ALL FASCIAS TO BE 8".
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2. R311.7.1.5 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.5.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.8 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
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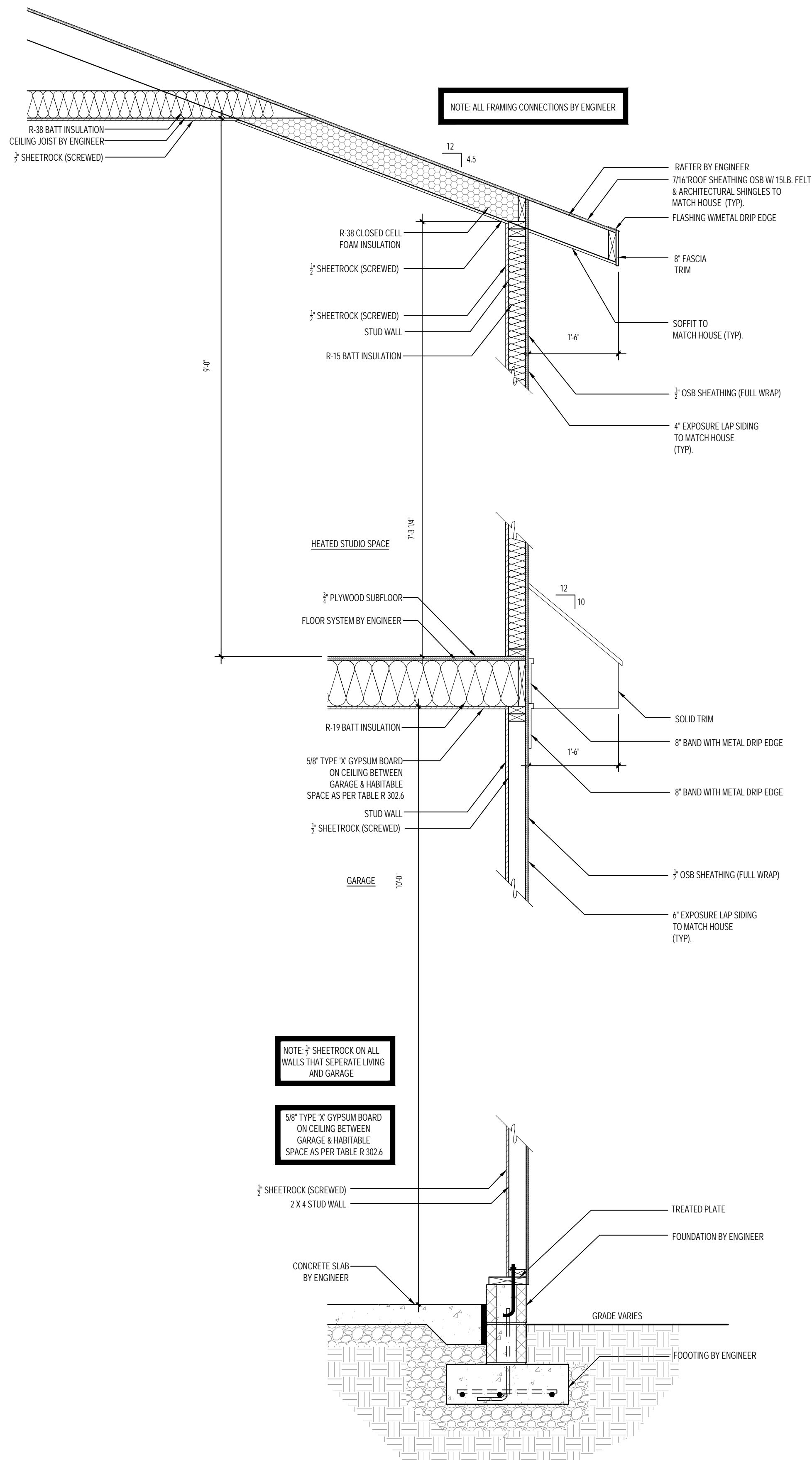
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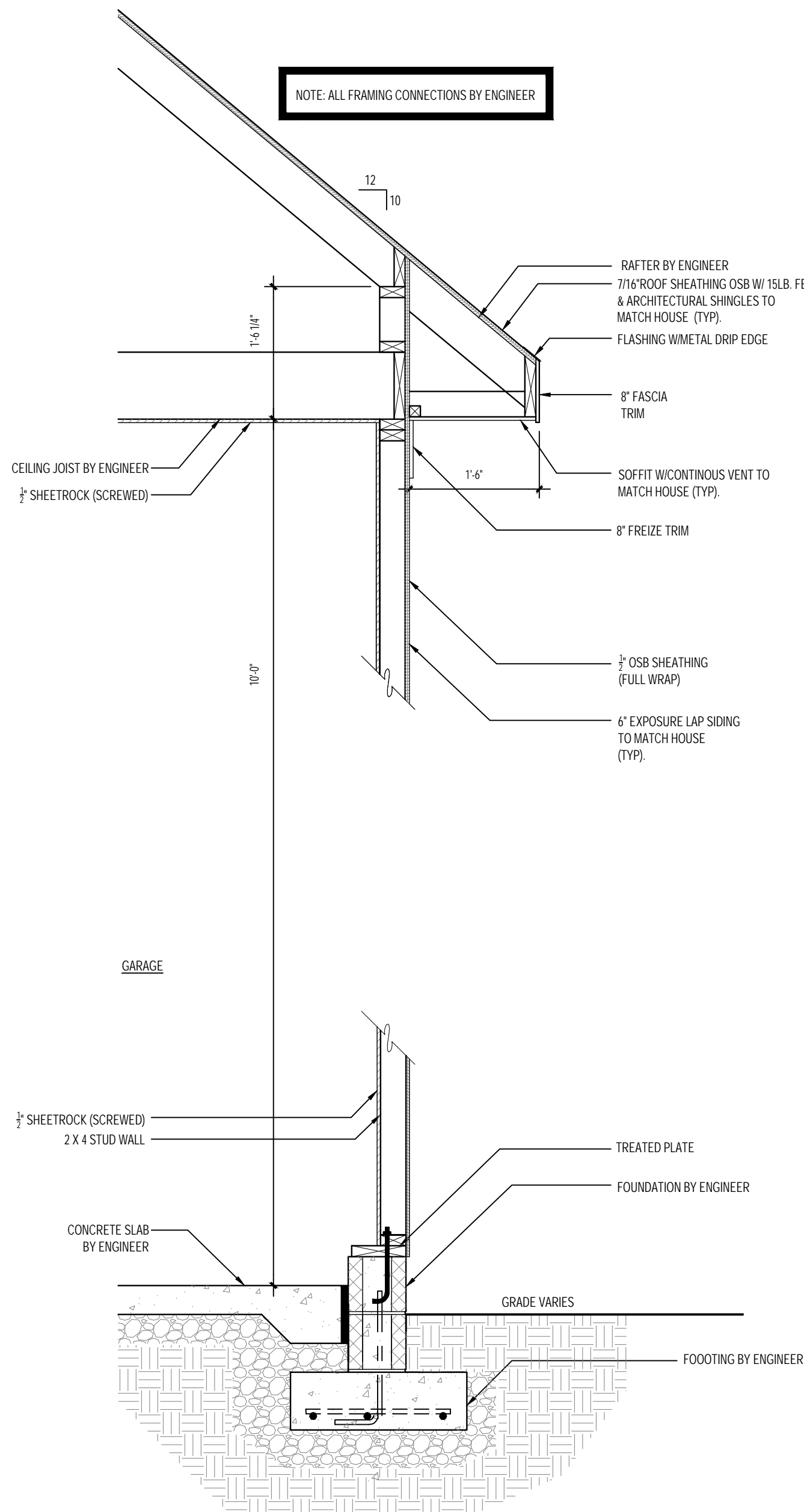
HOOPER RESIDENCE-ACCESSORY

253 Catawba Avenue, Davidson, NC 28036

OF:



② TYPICAL SECTION THROUGH SHED DORMERS
3/4" = 1'-0"



① TYPICAL SECTION
3/4" = 1'-0"

- GENERAL NOTES:**
- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
 - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
 - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
 - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
 - FACE OF STUD TO ALIGN WITH FACE OF BLOCK
 - FIRE BLOCK @ FLOOR & CEILING PER CODE
 - ALL DIMENSIONS ARE TO FACE OF STUD & BLOCK
 - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
 - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.5.3 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN $\frac{3}{8}$ "
 - ALL RISERS TO BE SOLID.
 - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
 - RAILS TO BE 36" IN HEIGHT
 - ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
 - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
 - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
 - ALL EAVES TO BE 1'-6" U.N.O
 - ALL FASCIAS TO BE 8"
 - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
 - CONTINUOUS EAVE VENT U.N.O.

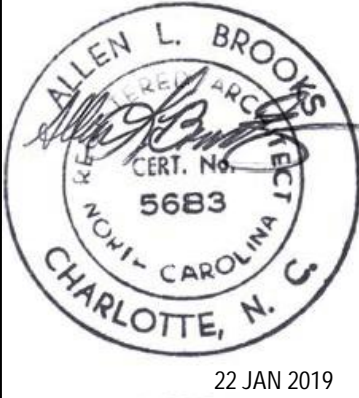
- STAIRS, RAILING & GUARD NOTES:**
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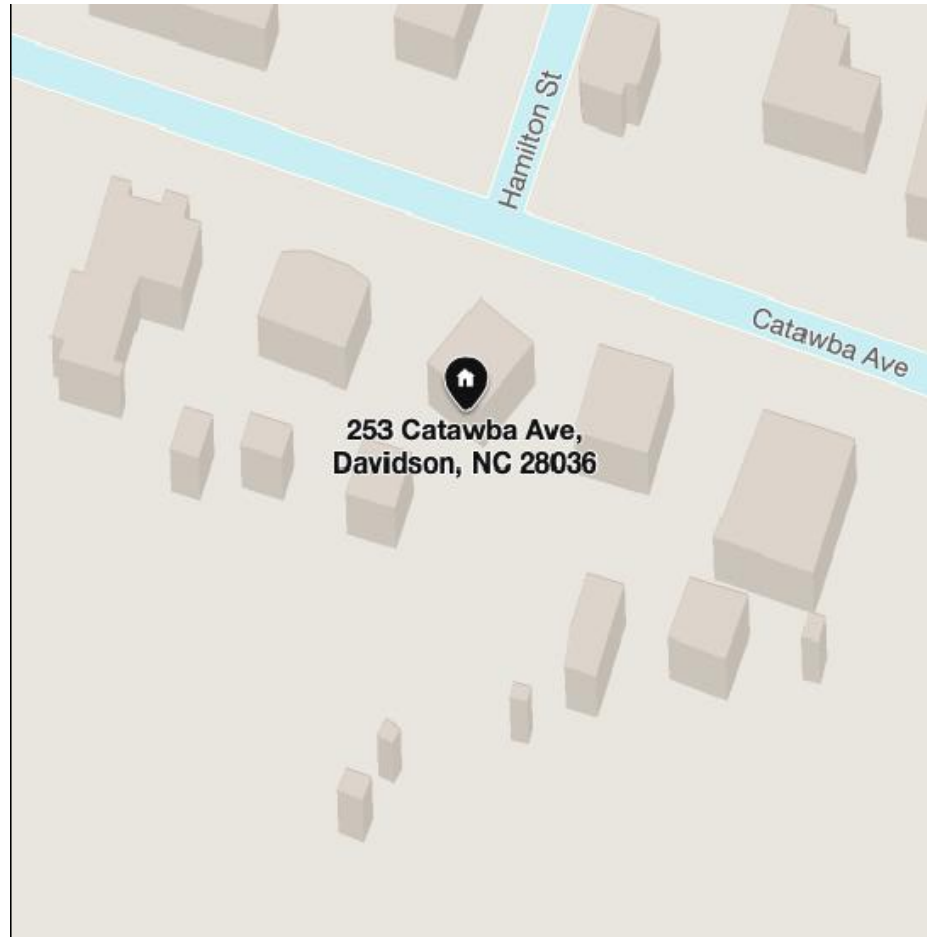
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253 Catawba Avenue, Davidson, NC 28036

PROJECT #: 18086
ISSUED: 22 JAN 2019
REVISIONS:

PROPOSED GARAGE SECTIONS

A-4.3
OF:

VICINITY MAP



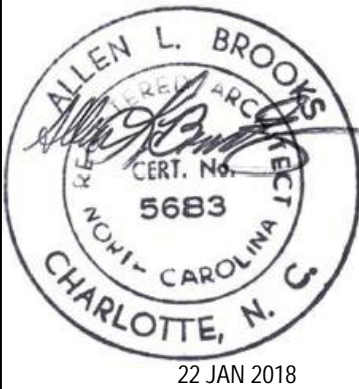
INDEX OF DRAWINGS

- A-0 COVER SHEET
- A-1.0 SITE PLAN
- A-2.0 FOUNDATION PLAN
- A-2.1 FIRST FLOOR PLAN
- A-2.2 SECOND FLOOR PLAN
- A-2.3 ROOF PLAN
- A-3.0 FRONT & RIGHT ELEVATION
- A-3.1 REAR & LEFT ELEVATION
- A-3.2 SECTIONS & DETAILS
- A-3.3 SECTIONS & DETAILS



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ZONING INFORMATION

JURISDICTION	TOWN OF DAVIDSON
ZONED	VI-O
BUILDING LIMITS	
FRONT SETBACK	25'-0"
LEFT SIDE YARD	6'-0"
RIGHT SIDE YARD-SIDE SETBACKS BASED ON 30 % OF LOT WIDTH	16.45'
REAR SETBACK	20'-0"
MAXIMUM BUILDING HEIGHT	32'-0"
FLOOR AREA RATIO-ORANGE OVERLAY DISTRICT-	
LOT SIZE	22,433 SQ.FT
21,000 TO LESS THAN 28,000	0.13 BUT CAN GO TO 0.16
MAXIMUM FAR	3589 SQ.FT

SQUARE FOOTAGE CALCULATIONS

	HEATED SPACE	UNHEATED SPACE
FIRST FLOOR	1996	
FRONT PORCH		275
REAR PORCH		237
SECOND FLOOR	1336	
TOTAL	3332	512
TOTAL UNDER ROOF		3844

NOTE:
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

REQUESTED CHANGES

#	DATE	REQUESTED BY	REASON
1			

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COVER SHEET

A-0

OF:



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Designed Exclusively For the:

HOOPER RESIDENCE

253 Catawba Avenue, Davidson, NC 28036

PROJECT #: 18086
ISSUED: 22 JAN 2018
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PROPOSED SITE PLAN

A-1.0



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9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.5.3 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN $\frac{1}{8}"$.
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT
13. ALL EXTERIOR COLUMNS VARIES - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO BE 2'-0" U.O.N
17. ALL FASCIAS TO BE 8".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.O.N.

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10. 7. R312.1.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
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CONCRETE

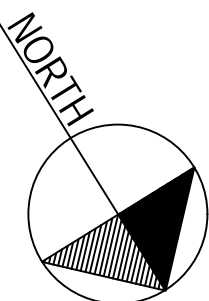
GRAVEL

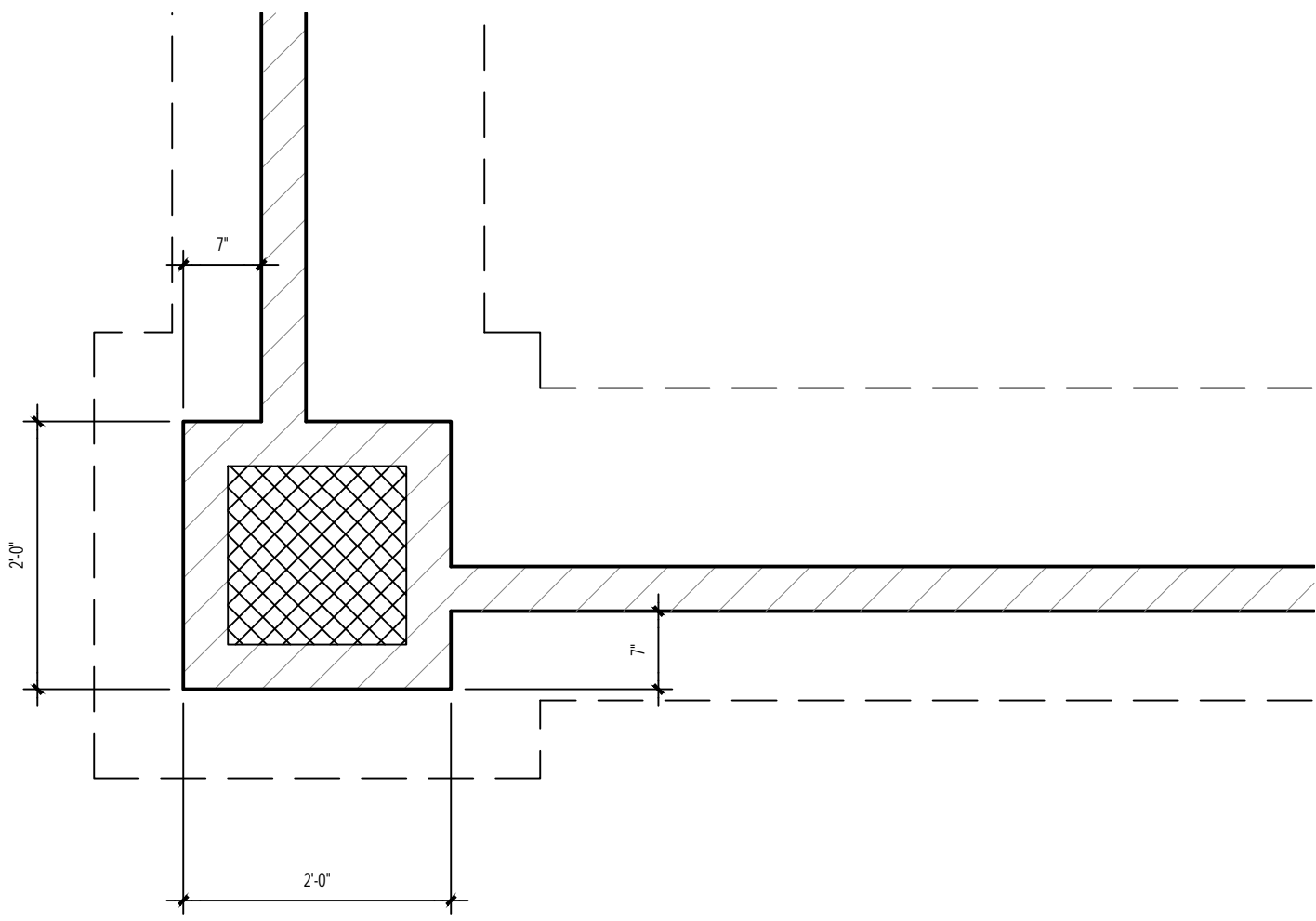
RETAINING WALL

PAVER SYSTEM

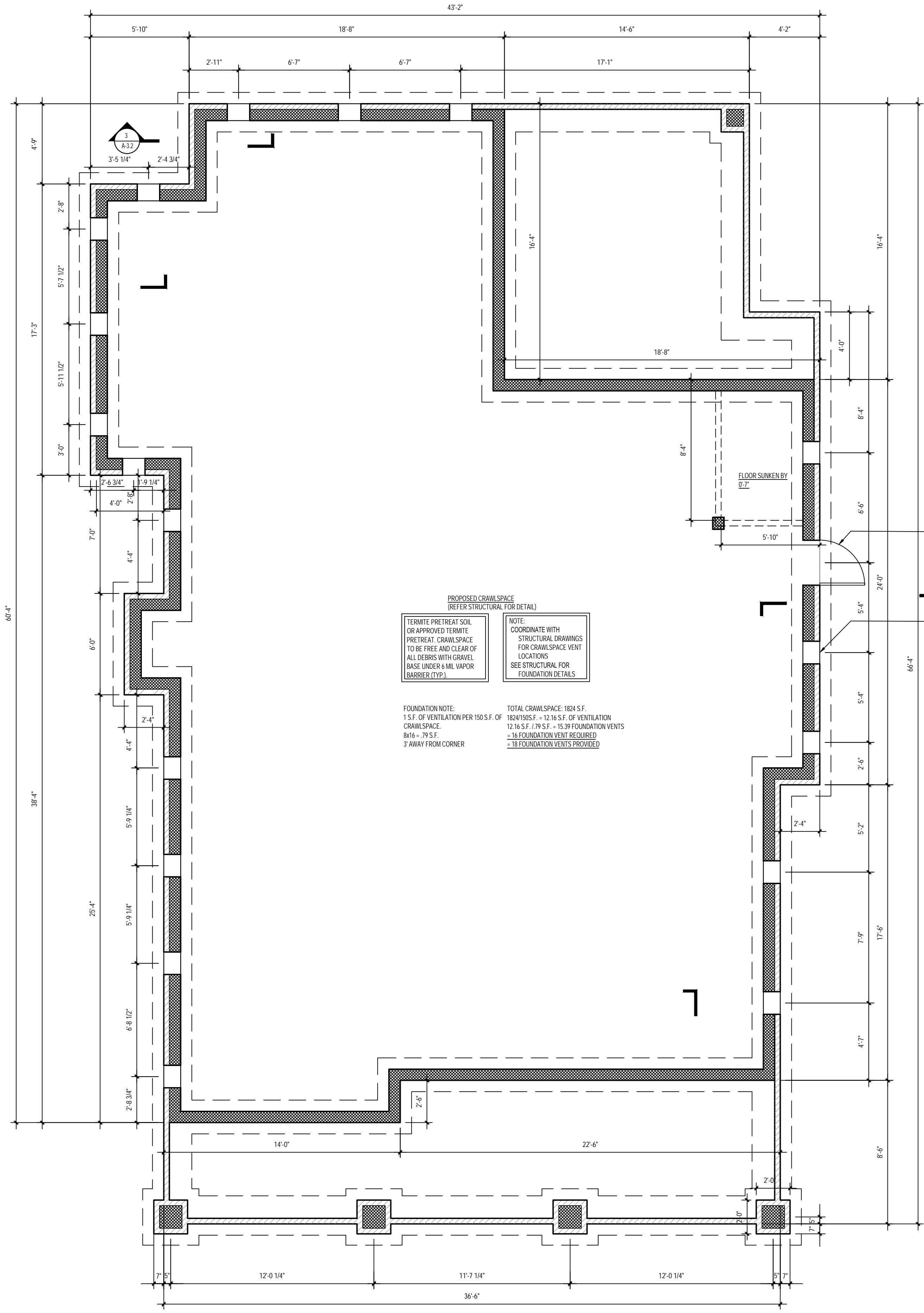
KEY:
WALL TO BE REMOVED 
ITEM TO BE REMOVED 

BOUNDARY LINE: — — — — —
OVERHEAD UTILITIES: — — — — —
FENCE (TYPE NOTED): □
UTILITY POLE: ○
R/W: RIGHT OF WAY
E/P: EDGE OF PAVEMENT
C/L: CENTERLINE





2 DETAIL OF FRONT PIER
3/4" = 1'-0"



1 PROPOSED FOUNDATION PLAN
1/4" = 1'-0"

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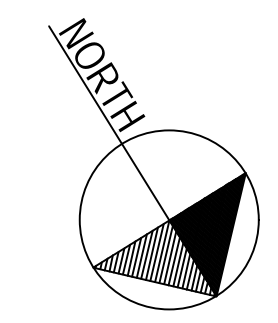
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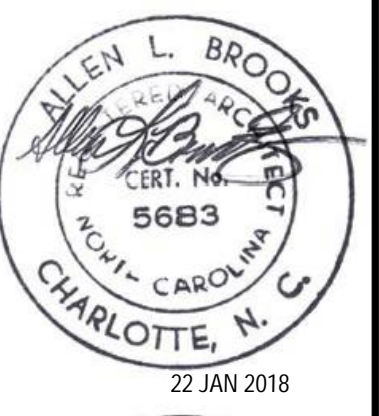
NOTE:

CMU	
STUD WALL	
6" STUD WALL	
BRICK	



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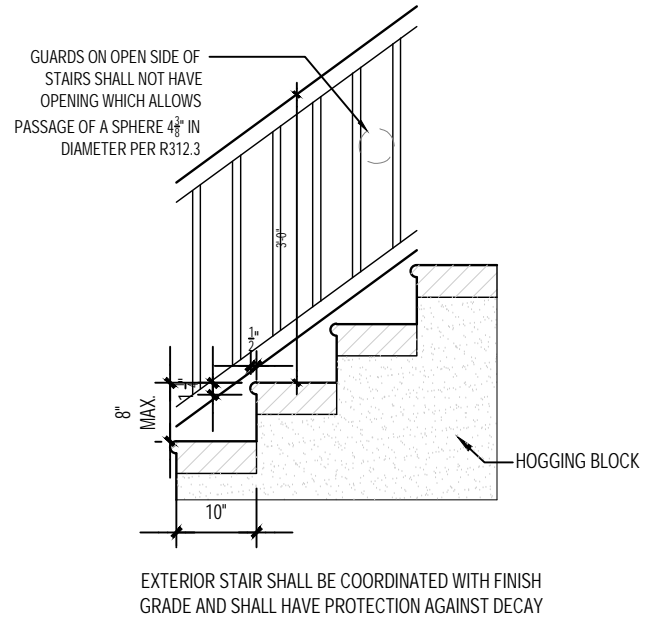


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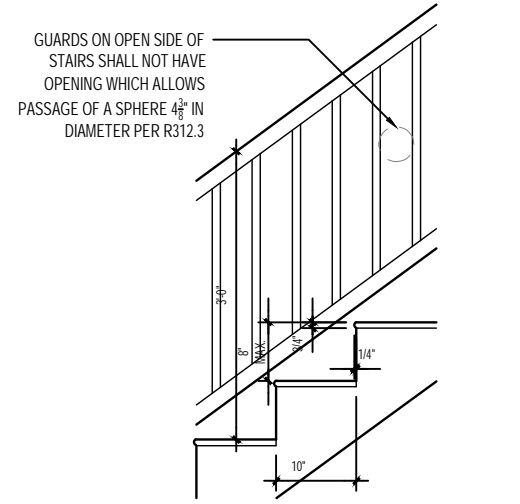
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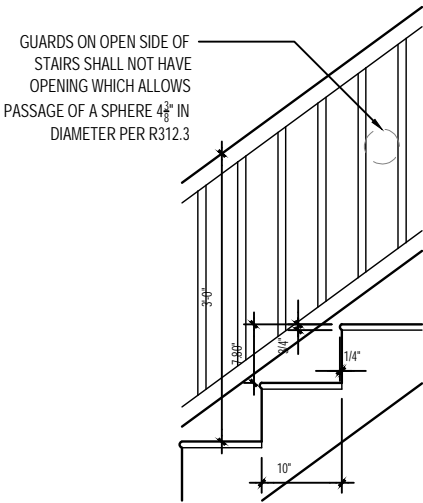
PROPOSED FOUNDATION
PLAN
A-2.0
OF:



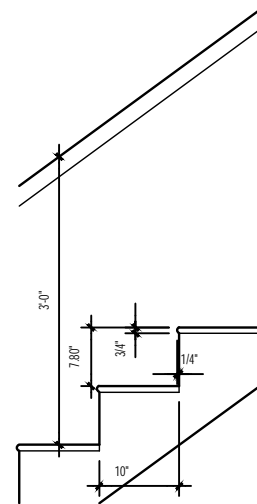
2 MASONRY STAIR DETAIL
1/2" = 1'-0" (EXTERIOR ONLY)



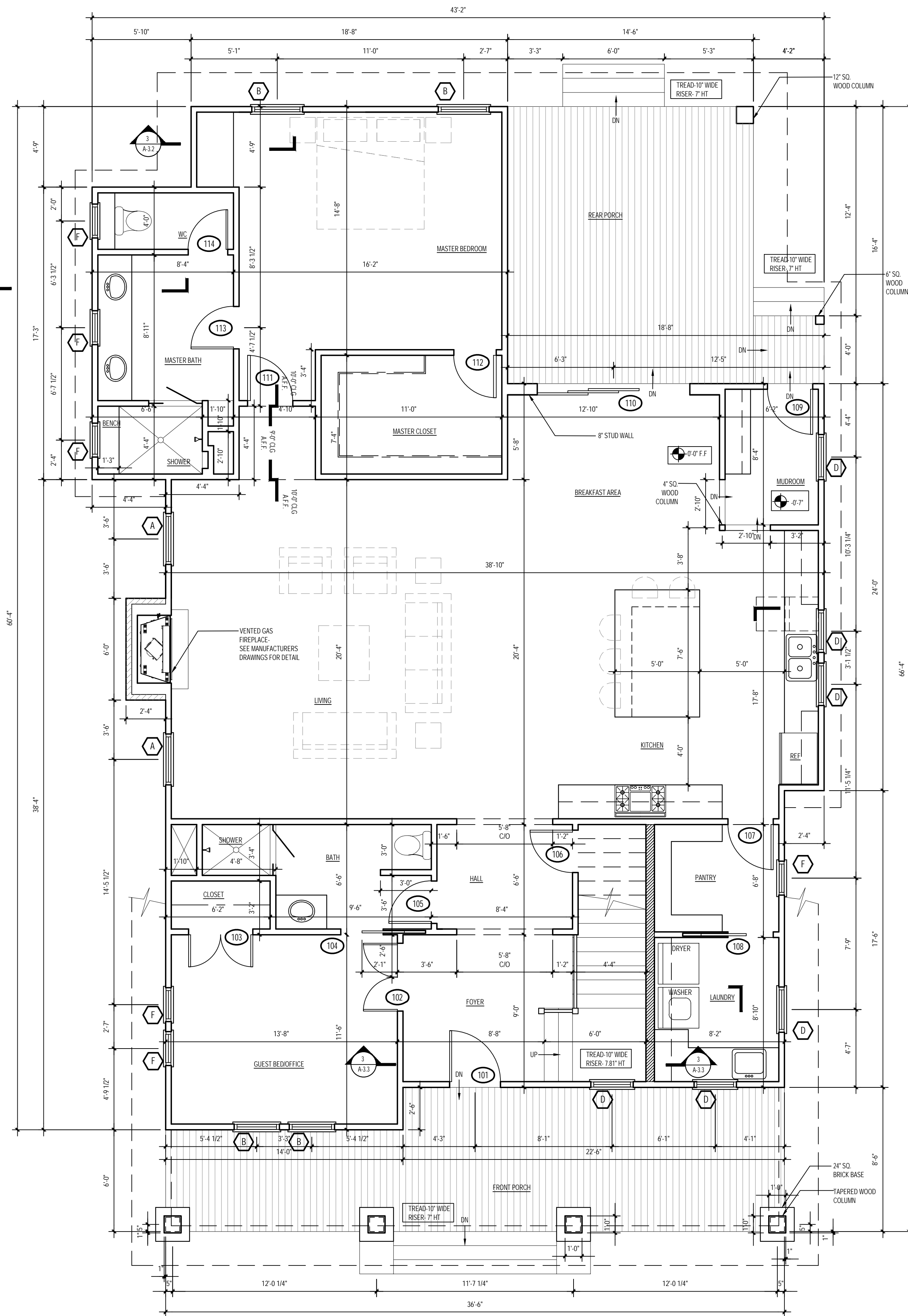
3 WOOD STAIR DETAIL
1/2" = 1'-0" (EXTERIOR ONLY)



4 STAIR DETAIL w/ GUARD
1/2" = 1'-0" (INTERIOR ONLY)



5 STAIR DETAIL w/ RAIL
1/2" = 1'-0" (INTERIOR ONLY)



1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	8'-0"	SINGLE HUNG
B	3'-0" X 5'-6"	8'-0"	SINGLE HUNG
C	2'-8" X 5'-0"	7'-0" 2ND FLOOR 9'-4" FOYER (FROM SECOND FLOOR)	SINGLE HUNG
D	2'-6" X 4'-6"	8'-0" 8'-7" @ MUDROOM	SINGLE HUNG
E	2'-0" X 2'-6"	8'-0" 2ND FLOOR	CASEMENT
F	2'-0" X 2'-0"	8'-0" 1ST FLOOR 13'-10" FOYER (FROM SECOND FLOOR)	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
 - WINDOW SIZING:
 - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 - FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - M.E. = MATCH EXISTING.
 - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

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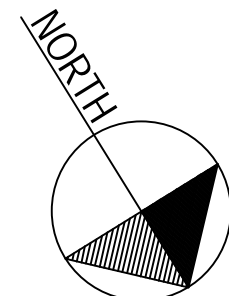
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 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A $4\frac{1}{8}$ DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

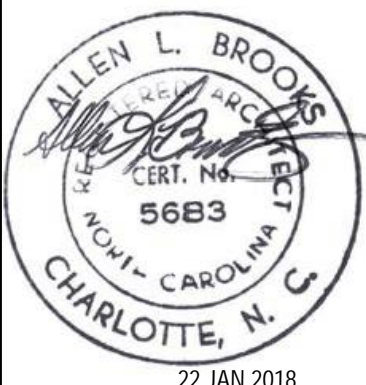
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- THIS PAGE SHALL EXPIRE ON DECEMBER 31, 2019 @ 11:59 PM IF BUILDING PERMIT HAS NOT BEEN ACQUIRED PRIOR TO EXPIRATION DATE

- NOTE:
- CMU
 - STUD WALL
 - 6" STUD WALL
 - BRICK



ALB Architecture
1200 E. Morehead St.
Suite 240
Charlotte, NC 28204
Phone: 704.503.9595

E-mail:
brooks.alb@icloud.com
lauer.alb@icloud.com



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Designed Exclusively For the:
HOOPER RESIDENCE
253 Catawba Avenue, Davidson, NC 28036

PROJECT #: 18086
ISSUED: 22 JAN 2018
REVISIONS:

PROPOSED FIRST FLOOR
PLAN
A-2.1
OF:



22 JAN 2018



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Designed Exclusively For the:

HOOPER RESIDENCE

253 Catawba Avenue, Davidson, NC 28036

PROPOSED 2ND FLOOR
PLAN
A-2.2
OF:

MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAN TRIM AT WINDOWS.

SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

ALL WINDOWS WITH 9" OF GLASS OR MORE & LESS THAN 18" AT A FLUSH BE TEMPERED.

SEE FLOOR PROTECTION WHERE THE WINDOW IS LESS THAN 21" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE.

WINDOW SIZING:

1. NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE LITE SERIES DIMENSIONS.

2. FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

3. O.E. = MATCH EXISTING.

PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF STUD TO ALIGN WITH FACE OF BRICK
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD & BRICK
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.5.3 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
10. ALL RISERS TO BE SOLID.
11. ALL CASPED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT
13. ALL EXTERIOR COLUMNS VARIES - SEE DRAWINGS FOR ALL SIZES AHEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO BE 2" O U O
17. ALL FASCIAS TO BE 8".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U N.O.





STAIRS, RAILING & GUARD NOTES:

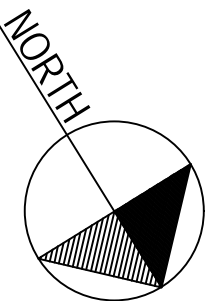
1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT - SEE PLANS FOR CLEAR WIDTH.
2. 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
3. R311.7.5.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
4. 2.1. ALL SPECIFICS MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
5. R311.7.5.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
6. R311.7.8 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
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NOTE:

CMU	
STUD WALL	
6" STUD WALL	
BRICK	



① PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES:

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- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
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- RAILS TO BE 36" IN HEIGHT
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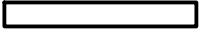
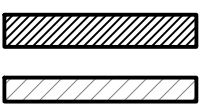
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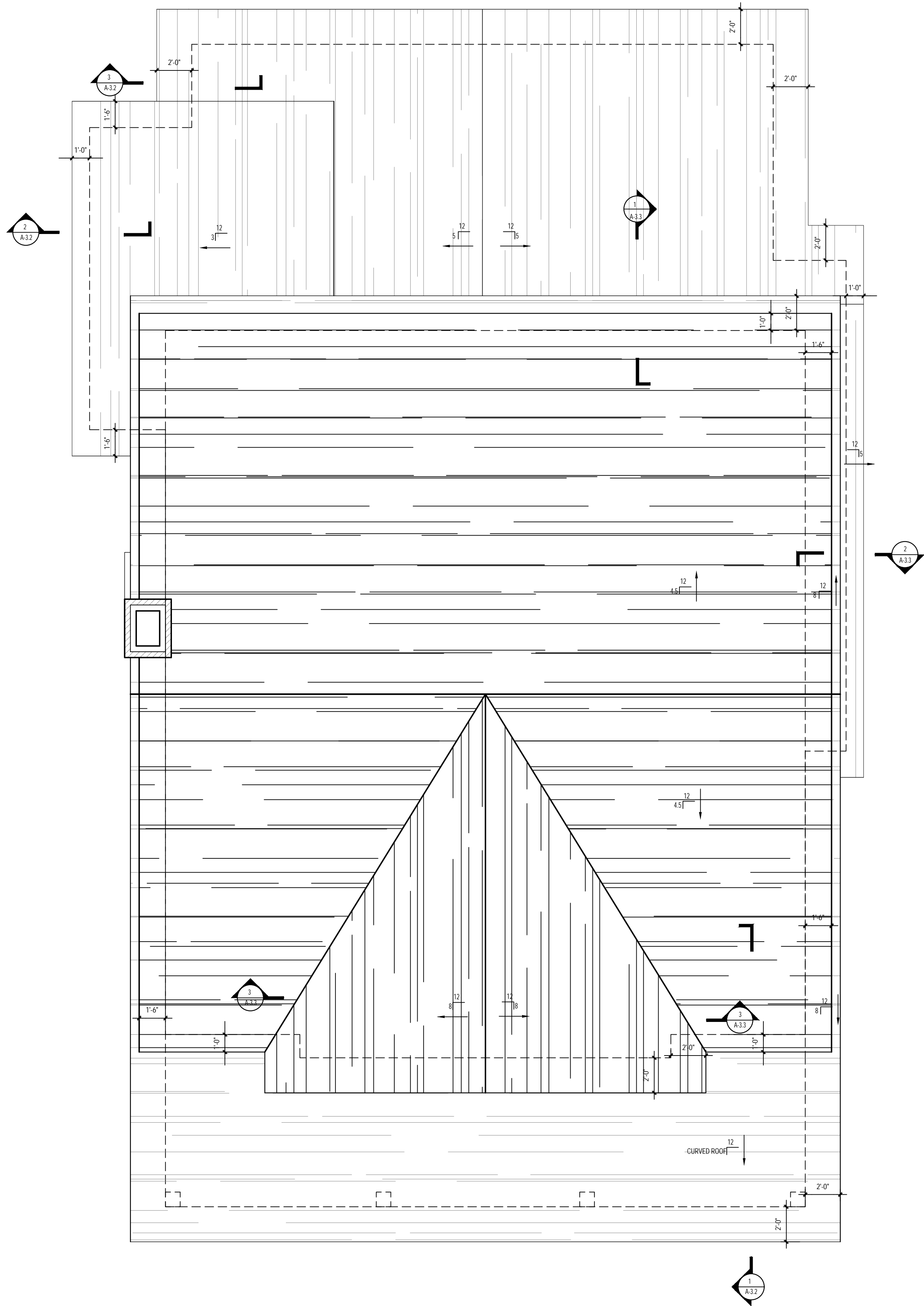
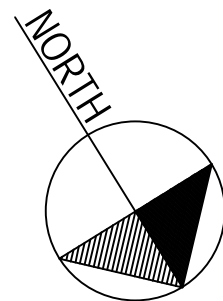
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 - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
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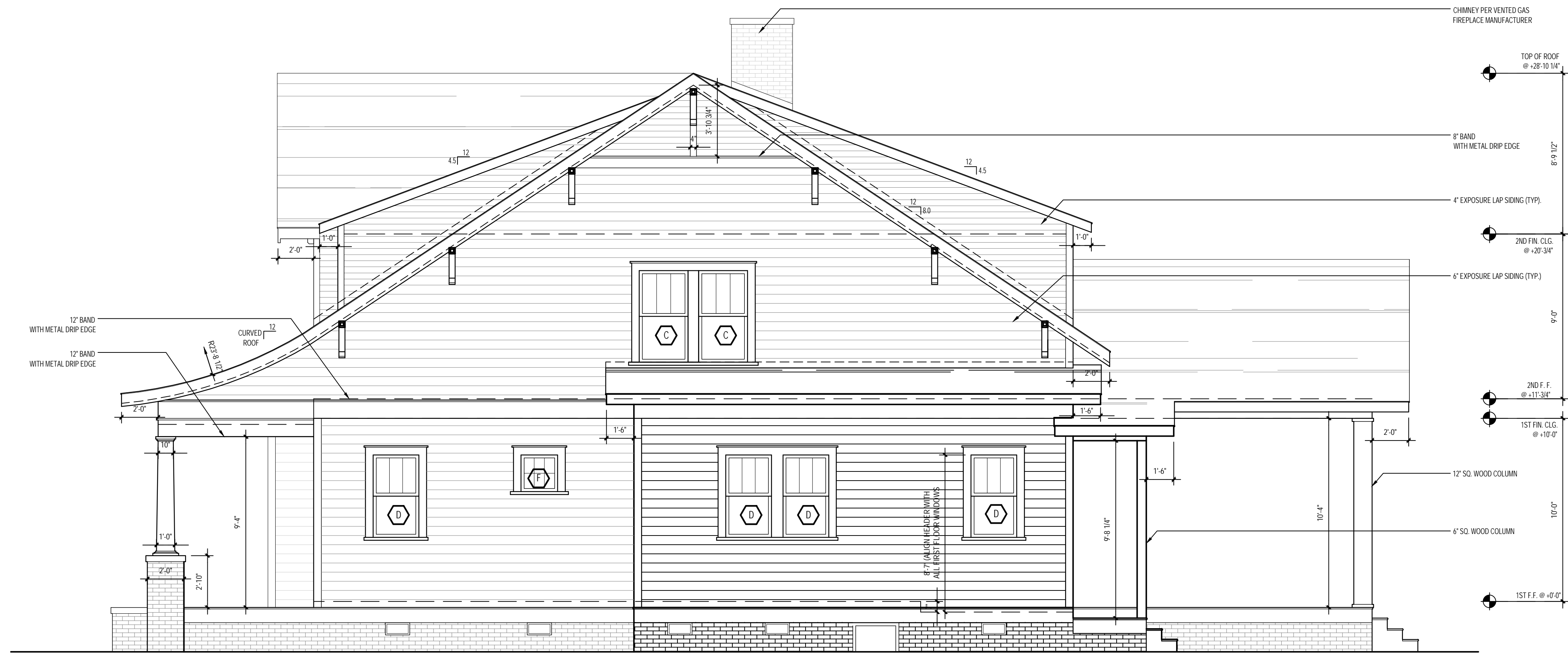
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NOTE:

CMU	
STUD WALL	
6" STUD WALL	
BRICK	



1 PROPOSED ROOF PLAN
1/4" = 1'-0"



2 PROPOSED RIGHT ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	8'-0"	SINGLE HUNG
B	3'-0" X 5'-4"	8'-0"	SINGLE HUNG
C	2'-8" X 5'-0"	7'-0" 2ND FLOOR 9'-4" FOYER (FROM SECOND FLOOR)	SINGLE HUNG
D	2'-6" X 4'-4"	8'-0" @ MUDROOM	SINGLE HUNG
E	2'-0" X 2'-4"	8'-0" 2ND FLOOR	CASEMENT
F	2'-0" X 2'-0"	8'-0" 1ST FLOOR 13'-10" FOYER (FROM SECOND FLOOR)	CASEMENT

NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
2. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
3. ALL WINDOWS WITH 5 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE.
5. WINDOW SIZING:
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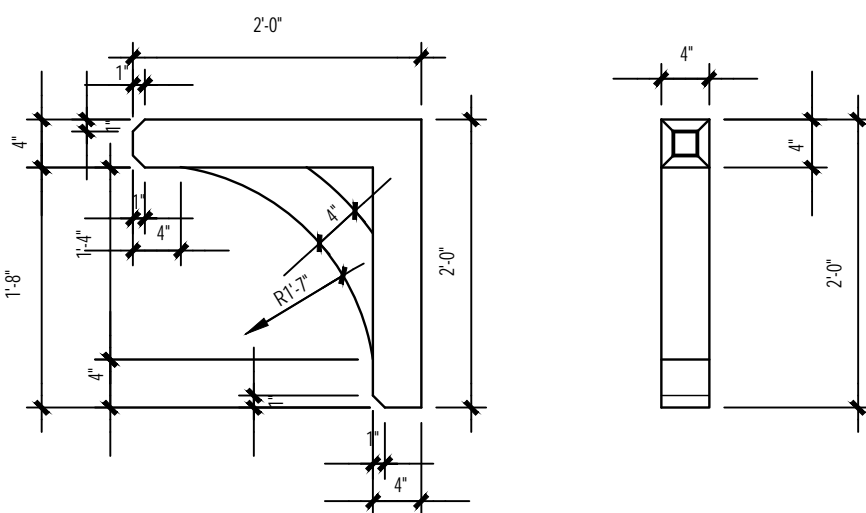
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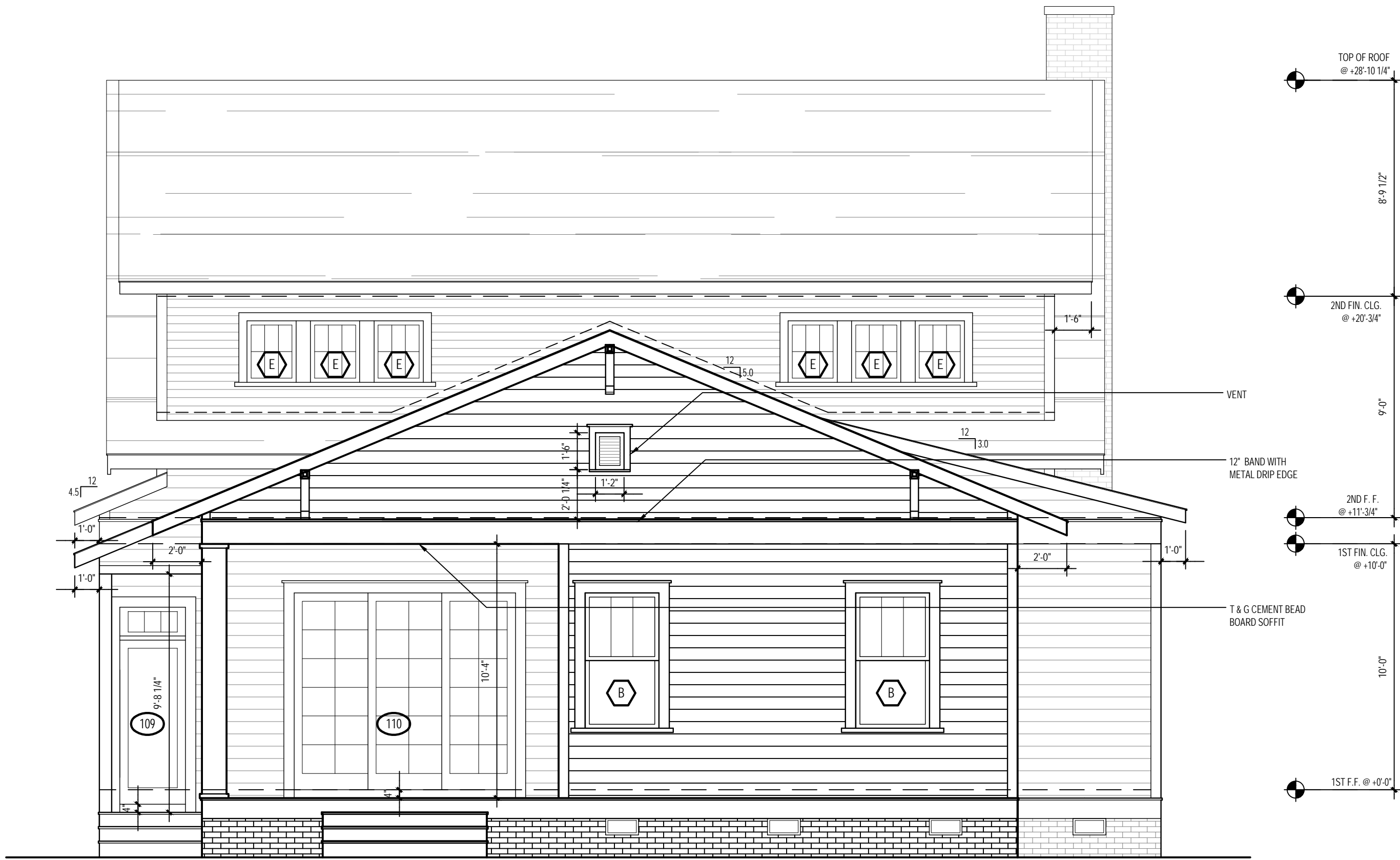
3 WOOD BRACKET DETAIL
3/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



2 PROPOSED LEFT ELEVATION
1/4" = 1'-0"



1 PROPOSED REAR ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
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B	3'-0" X 5'-6"	8'-0"	SINGLE HUNG
C	2'-8" X 5'-0"	7'-0" 2ND FLOOR 9'-6" FOYER (FROM SECOND FLOOR)	SINGLE HUNG
D	2'-6" X 4'-6"	8'-0" 8'-7" @ MUDROOM	SINGLE HUNG
E	2'-0" X 2'-6"	8'-0" 2ND FLOOR	CASEMENT
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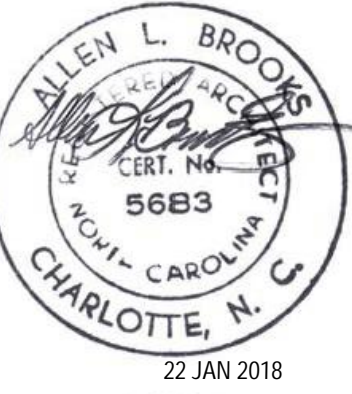
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Designed Exclusively For the:

HOOPER RESIDENCE

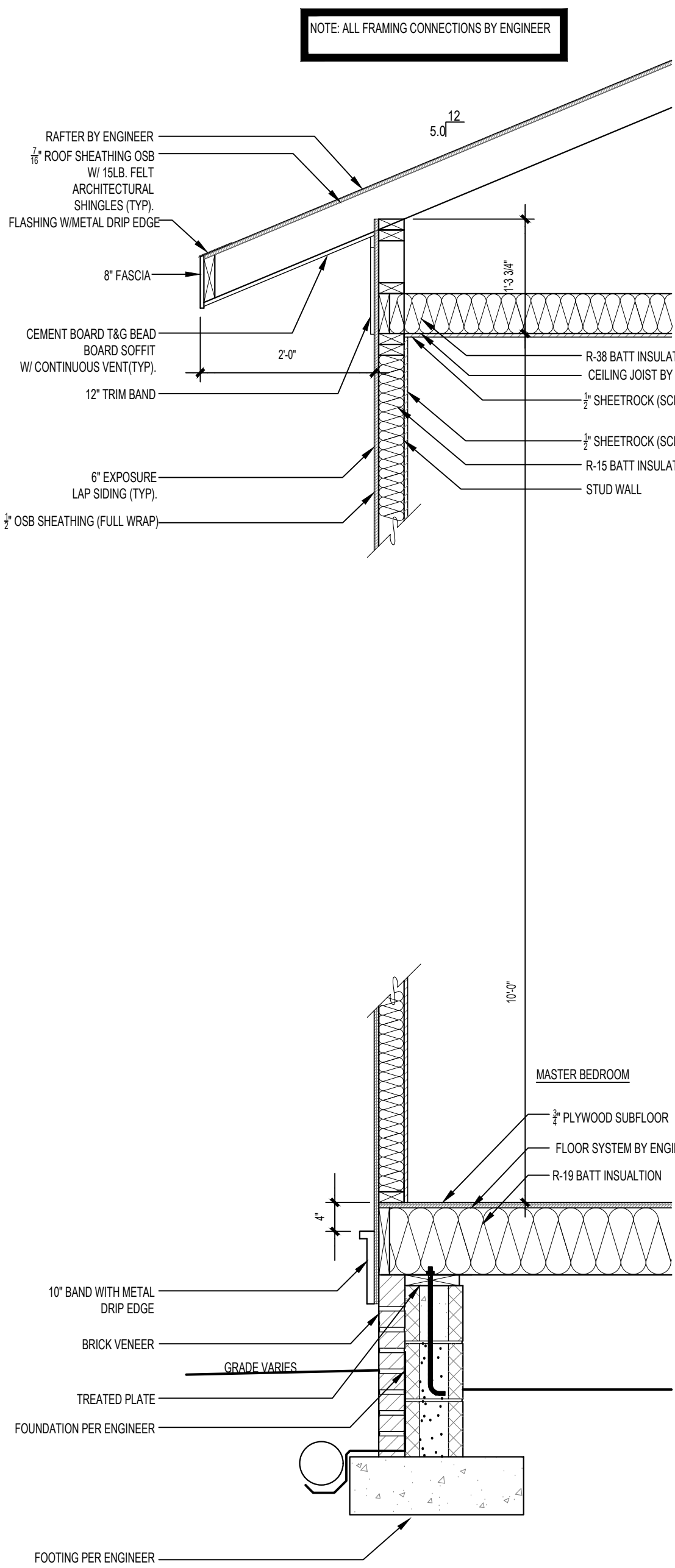
253 Catawba Avenue, Davidson, NC 28036

PROJECT #: 18086
ISSUED: 22 JAN 2018
REVISIONS:

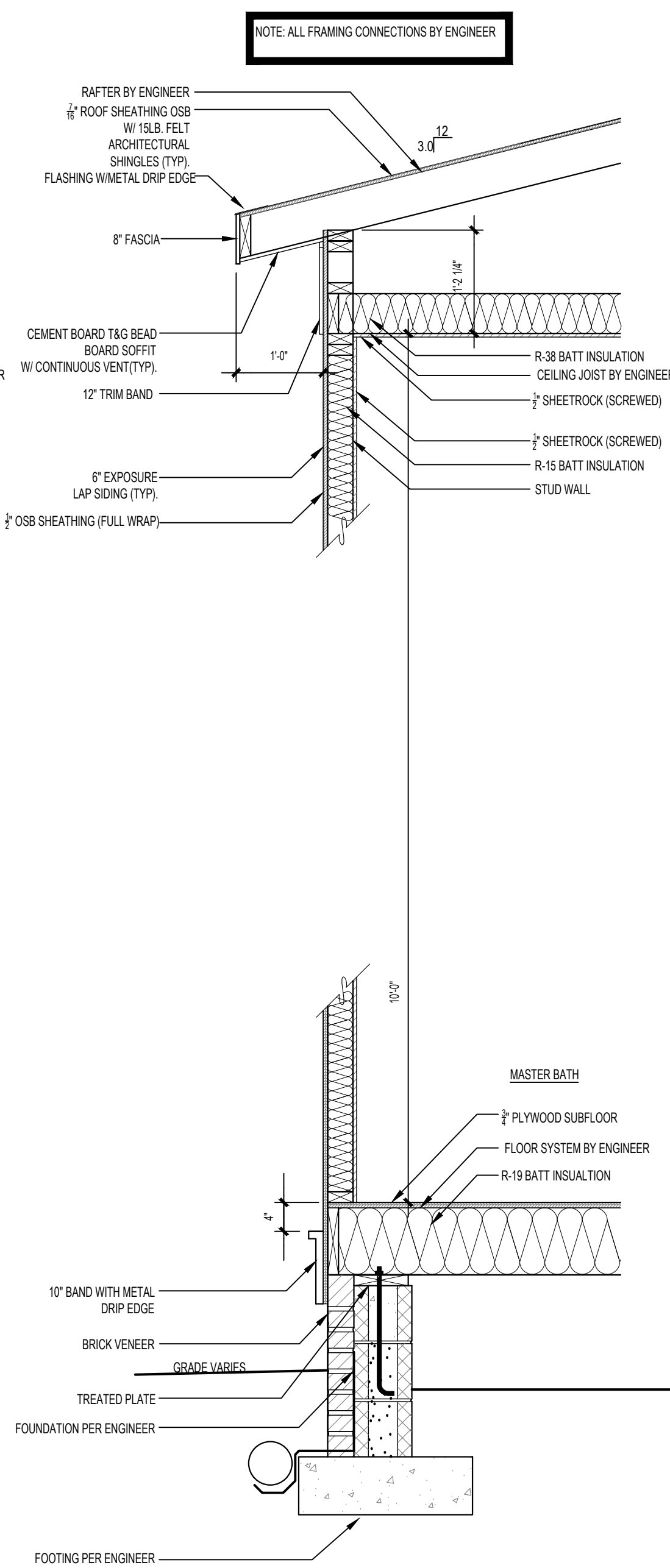
PROPOSED REAR & LEFT ELEVATION

A-3.1

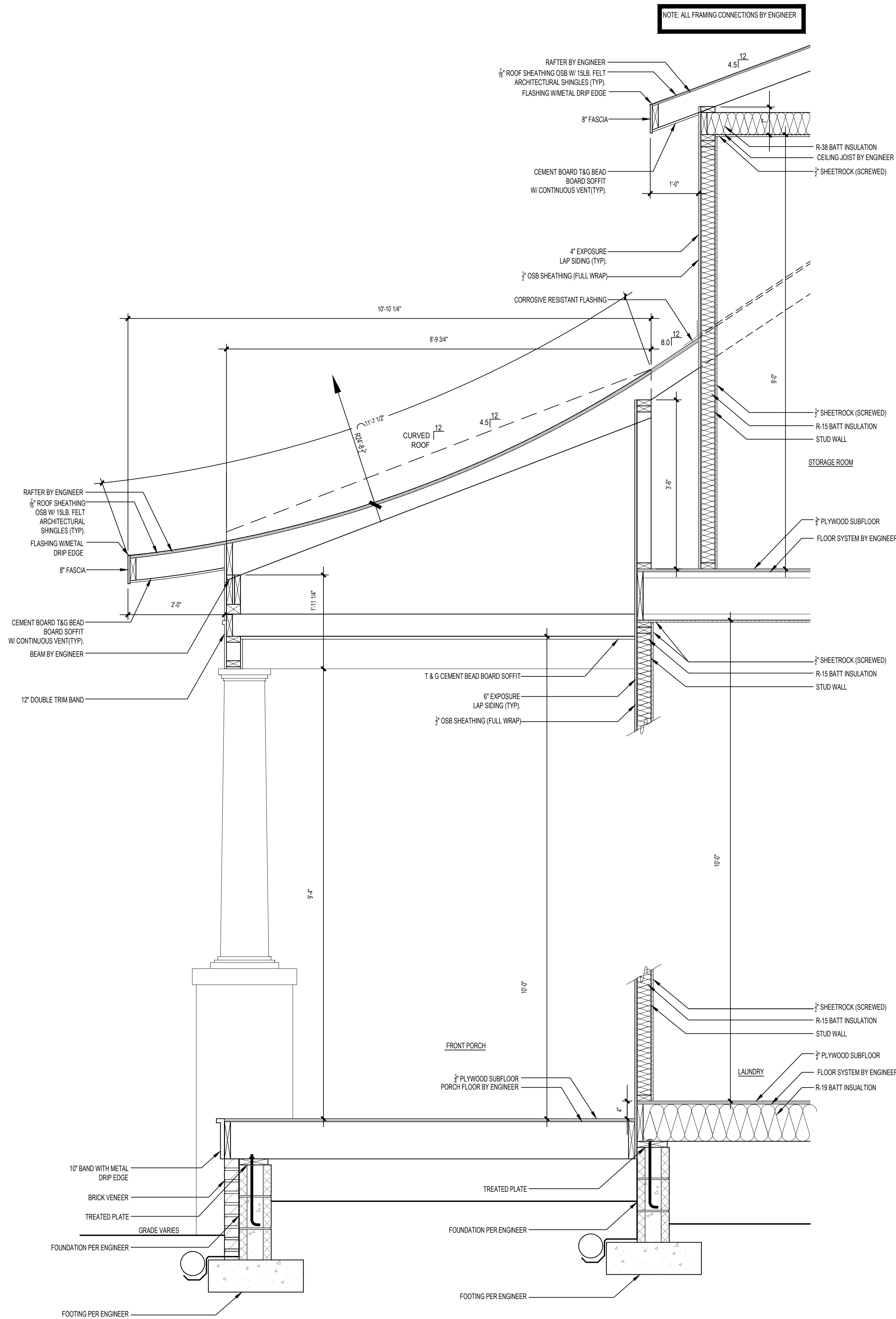
OF:



③ SECTION THROUGH MASTER BED
3/4" = 1'-0"



② SECTION THROUGH MASTER BATH
3/4" = 1'-0"



① SECTION THROUGH FRONT PORCH
3/4" = 1'-0"

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF STUD TO ALIGN WITH FACE OF BRICK.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD & BRICK.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.5.3 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN $\frac{1}{8}$ ".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT.
13. ALL EXTERIOR COLUMNS VARIES - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO BE 2'-0" U.N.O.
17. ALL FASCIA TO BE 8".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.5.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 $\frac{1}{2}$ INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.5.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.8 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
5. R311.7.8.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.1.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES
 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.1.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 INCH DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.
2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.
3. THIS PAGE SHALL EXPIRE ON DECEMBER 31, 2019 @ 11:59 PM IF BUILDING PERMIT HAS NOT BEEN ACQUIRED PRIOR TO EXPIRATION DATE

253 Catawba Ave. – Existing Conditions

1. Existing Site



2. Neighboring Home



3. Neighboring Home



4. Neighboring Home





Agenda Title: 1506 Matthew McClure Cr Garage

Summary:

ATTACHMENTS:

Description	Upload Date	Type
20180220 1506 Matthew McClure Cr Garage	2/13/2019	Exhibit

Town of Davidson, NC
Design Review Board: Staff Analysis
February 20, 2019

Project: Accessory Structure (over 650 square feet)
Location: 1506 Matthew McClure Cr
Applicant: Tim Pratt, Copper Builders, Inc.
Designer: ALB Architecture
Planning Area: Village Infill

The applicant would like to construct a detached garage in the rear yard at 1506 Matthew McClure Circle in the Davidson Hall neighborhood. Currently, this is an undeveloped lot. A new home and detached garage are proposed for this site.

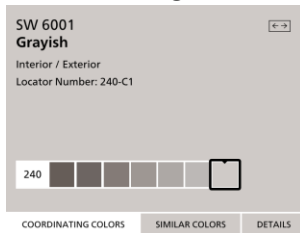
The footprint of the proposed detached garage is in excess of 650 square feet. Per DPO Section 4.5.8.B.2., any accessory structure over 650 square feet of first floor area shall be reviewed by the Design Review Board.

The proposed garage will have a footprint of 756 square feet. This is less than 30% of the footprint of the principal building, as required per DPO Section 4.5.8.B.1. The footprint of the principal building appears to be 2,873 square feet (30% of this footprint is 862 square feet). The height of the structure will be 23' 11" (two stories).

The proposed garage will be constructed with materials to match the new home to be constructed on site. The exterior of the structure will have gray hardi plank siding and white trim (see sample colors below). Gutters and downspouts will be white. The foundation will be brick. The roof appears to be architectural shingles with dormers having a 5V metal roof to match the proposed home.

Additional architectural features include carriage style garage doors, vertical board and batten accents, and a 10" square wood column on the front elevation at the garage entrance door (house facing façade). Lightning fixtures to be located on front elevation above the garage doors (see light detail below). Exact location is not shown on elevation.

Exterior Siding Color:



Exterior Trim Color:



Lighting Detail:



DAVIDSON PLANNING ORDINANCE:

Section 4.5.8 Accessory Structures

B. Size of Accessory Structure

- 1. In the Rural Reserve and Rural Planning Areas, on lots over two acres where the proposed accessory structure is located more than 150 feet from the right-of-way or is not otherwise visible from the right-of-way, the footprint of an accessory structure shall not exceed 1,200 square feet. In all planning areas, except the Rural Reserve and Rural Planning Areas, the footprint of an accessory structure must not exceed 650 square feet or 30% of the footprint of the principal building (up to a maximum of 900 square feet), whichever is greater.*
- 2. Any accessory structure over 650 square feet of first floor area and all accessory structure ancillary to non-residential building types shall be reviewed by the Design Review Board, in accordance with the procedures in Section 14.*

Section 4.4.1 General Building Design Standards

E. Materials

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*
4. *Building materials and colors shall be:*
 - a. *Complementary to the materials already being used in the neighborhood.*

F. Architectural Details

1. *Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.*
4. *Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*

T:\Planning_Shared_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2019 DRB Agendas\20190220_DRB-Agenda\1. 20190220 1506 Matthew McClure Cr Garage – Staff Analysis



Design Review

1506 Matthew McClure Circle Detached Garage Accessory Structure
(Name of Project)

Application Requirements

Date Received

- ☒ Application Fee per Town of Davidson Fee Schedule
- ☒ Contact Information
- ☒ General Statement of Intent
(Use, building type, approx. square footage, height, design features)
- ☒ Statement of Compliance with Section 2
- ☒ Master Plan or Conditional Planning Area
(Including all documents, plans, maps, and conditions of approval)
- ☒ Environmental Inventory in accordance with Section 14.15.1
(Including adjacent properties and buildings)
- ☒ General Description
(Including a description and color photographs to existing / adjacent site)
- ☒ Site Schematic Design in accordance with Section 14.15.7
- ☒ Building Schematic Design in accordance with Section 14.15.3
(Including rendered elevations of each façade per 14.15.3 C)
- ☐ Landscape Schematic Design in accordance with Section 14.15.5
- ☒ Building Perspective
- ☒ Building Materials/Colors
(Roofing, siding, doors, windows, etc.)

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

DocuSigned by:
Tim Pratt
49B112462F31446...

Applicant's Signature

1/4/2019

Date



Design Review

1506 Matthew McClure Circle Detached Garage Accessory Structure

(Name of Project)

Contact Information

Applicant's Information

Name: Copper Builders, Inc

E-Mail: timpratt@copperbuilders.com

Mailing Address: 1235E East Blvd #155 Charlotte, NC 28203

Business Phone: None Mobile Phone: 704-604-7452

Property Owner's Information

(If Different from Applicant)

Name: Larina and Brian Pierce

E-Mail: larina2@gmail.com

Mailing Address: 1104 Samuel Spencer Pkwy Davidson, NC 28036

Business Phone: _____ Mobile Phone: _____

Architect's Information

Name of Firm: ALB Architecture

Architect's Name: Angie Lauer

E-Mail: lauer.alb@icloud.com

Mailing Address: 1200 E Morehead St Suite 240

Charlotte, NC 28204

Business Phone: 704-503-9595 Mobile Phone: 704-506-6540



Design Review

1506 Matthew McClure Circle Detached Garage Accessory Structure

(Name of Project)

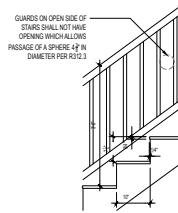
Project Description

Application Date:	1/3/19
Project Location:	1506 Matthew McClure Cr Davidson, NC 28036
Tax Parcel(s):	00740246
Planning Area:	Village Infill
Overlay District:	N/A
Master or Cond. Plan <i>(Attach Conditions of Approval)</i>	N/A
Gen. Statement of Intent:	Detached garage accessory structure compliant with zoning

Project Details:

• Project Type:	<input checked="" type="checkbox"/> Individual Bldg.	<input type="checkbox"/> Master Plan	<input type="checkbox"/> Conditional Planning Area
	<input type="checkbox"/> Sign		
• Building Type:	<input type="checkbox"/> Detached House	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Attached House (Tri- or Quadplex)
	<input type="checkbox"/> Institutional	<input type="checkbox"/> Live/Work	<input type="checkbox"/> Multi-family (Apts., Condos, Flats)
	<input type="checkbox"/> Workplace	<input type="checkbox"/> Storefront	<input checked="" type="checkbox"/> Accessory Structure
• Use(s):	Garage and garrett		
• Height & Stories:	23'11 1/4" and 2 stories		
• Square Footage:	890 sq/ft footprint Amended footprint of 756 sq. ft.		
• Building Materials:	Hardi plank siding and asphalt shingles on a brick foundation		
Architectural Features:	Carriage style garage doors, vertical board/batten accents and dormer roof lines		
Existing Site Conditions:	Empty lot- new construction		

See 14.12.2.D



3 WOOD STAIR DETAIL
3/4" = 1'-0"

WINDOW SCHEDULE FOR GARAGE			
NO.	SIZE	RISER HEIGHT	TYPE
1	2'0" x 6'0"	5'4"	DOUBLE HUNG
2	2'0" x 2'0"	7'0"	CASSETTE

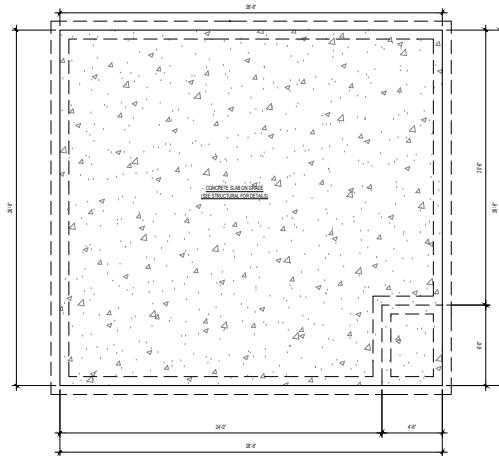
NOTE:
1. MATCH TRIM DETAILS WITH METAL DROPPY CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
2. SEE ELEVATIONS FOR WEATH. INTERNAL. VERIFY ANY REQUIREMENTS FOR GLASS OR TAMPERS GLASS.
3. ALL WINDOWS WITH 36" UP OF GLASS OR MORE & LESS THAN 16" A.F.F. MUST BE TAMPERS.
4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 4' ABOVE A.F.F. AND GREATER THAN 17" ABOVE GRADE OR WALKING SURFACE BELOW.
5. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

GARAGE FIRST FLOOR DOOR SCHEDULE		
NO.	OPENING	LOCATION
1	9'0" x 8'0"	GARAGE DOOR
2	9'0" x 8'0"	GARAGE DOOR
3	2'0" x 8'0"	GARAGE ENTRY
4	2'0" x 8'0"	STAIR ENTRY
5	7'0" x 7'0"	STORAGE ROLL UP DOOR

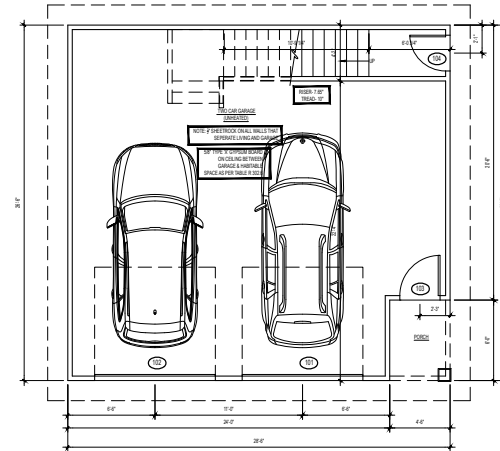
NOTE:
1. MATCH TRIM DETAILS WITH METAL DROPPY CAP (WITH FLASHING) & BACK BAND TRIM AT EXTERIOR DOORS.
2. SEE ELEVATIONS FOR WEATH. INTERNAL.
3. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

- GENERAL NOTES:**
- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
 - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
 - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
 - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
 - FACE OF BRICK TO ALIGN WITH FACE OF STUD.
 - FIRE BLOCK @ FLOOR & CEILING PER CODE.
 - ALL DIMENSIONS ARE TO FACE OF BRICK AT FOUNDATION.
 - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
 - INTERIOR & EXTERIOR STAIR NOISING SHALL CONFORM TO R311.7.4 PROFILE. CURVATURE OF THE NOISING SHALL BE NO GREATER THAN 1/4".
 - ALL RISERS TO BE SOLID.
 - ALL CASSED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
 - RAILS TO BE 36" IN HEIGHT.
 - ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
 - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 20" IN HEIGHT.
 - USE DOUBLE FELT FOR ALL PITCHES OF 4/12 OR LESS.
 - ALL EAVES TO BE 1" U.L.G.
 - ALL FASCIES TO BE 10".
 - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
 - CONTINUOUS EAVE VENT U.L.G.

- STAIRS, RAILING & GUARD NOTES:**
- R311.7.1 WIDTH:** STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT - SEE PLANS FOR CLEAR WIDTH. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
 - R311.7.4.1 RISER HEIGHT:** THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
 - R311.7.4.2 TREAD DEPTH:** THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
 - R311.7.7 HANDRAILS:** HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
 - R311.7.7.1 HANDRAIL HEIGHT:** HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
 - R312.2 GUARD HEIGHT:** GUARDS SHALL NOT BE LESS THAN 36 INCHES.
 - EXCEPTIONS:** 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
 - R312.3 OPENING LIMITATIONS:** REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - EXCEPTIONS:** 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 DIAMETER SPHERE ON OPEN SIDE OF STAIR.
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2 PROPOSED GARAGE FOUNDATION PLAN
1/4" = 1'-0"



1 PROPOSED GARAGE PLAN
1/4" = 1'-0"

ALB Architecture
1200 E. Morehead St.
Suite 240
Charlotte, NC 28204
Phone: 704.503.9595

E-mail:
brooks.ab@icloud.com
sewer.ab@icloud.com

This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

Designed Exclusively For the:
PIERCE RESIDENCE
1506 Mathew McClure Cir. Davidson, NC 28036

PROJECT # 1806
ISSUED 29 JAN 2019
REVISIONS:

PROPOSED GARAGE PLANS

A-4

OF: FOURTEEN

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF BRICK TO ALIGN WITH FACE OF STUD.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF BRICK AT FOUNDATION.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. **INTERIOR & EXTERIOR STAIR NOISING SHALL CONFORM TO R311.7.4 PROFILE.** CURVATURE OF THE NOISING SHALL BE NO GREATER THAN 4".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. **RAILS TO BE 3" IN HEIGHT.**
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOPS & PORCHES IS LESS THAN 20" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4/12 OR LESS.
16. ALL EAVES TO BE 1" @ 1/4" G.
17. ALL FASCIAS TO BE 10".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

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 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
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- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. **R311.7.4.2 TREAD DEPTH:** THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
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NOTE:

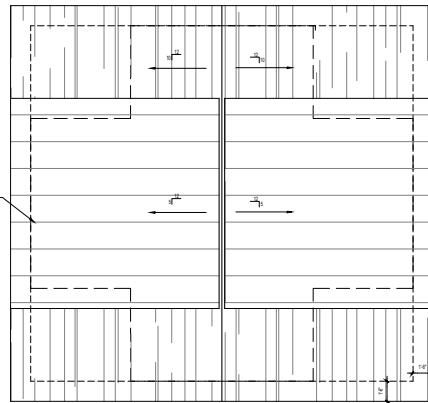
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GARAGE SECOND FLOOR DOOR SCHEDULE		
NO.	OPENING	LOCATION
001	2'6" x 6'6"	BATHROOM
002	10'0" x 6'6"	CLOSET

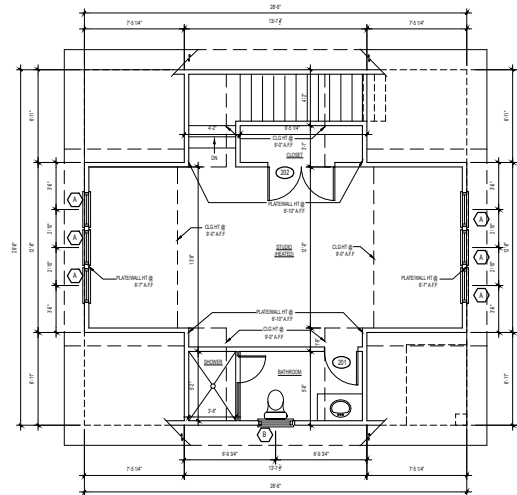
- NOTE:**
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT EXTERIOR COVERS.
 2. SEE SCHEDULE FOR TRIM MATERIALS.
 3. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

WINDOW SCHEDULE FOR GARAGE			
NO.	SIZE	HEADER HEIGHT	TYPE
001	2'6" x 4'6"	0'4"	DOUBLE HUNG
002	3'6" x 3'6"	7'10"	CAWSEY

- NOTE:**
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 2. SEE SCHEDULE FOR TRIM MATERIALS. VERIFY ANY REQUIREMENTS FOR GLAZES OR TINTED GLASS.
 3. ALL WINDOWS WITH UP TO 24" GLASS OR MORE & LESS THAN 16" A.F.F. MUST PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 4' ABOVE A.F.F. AND GREATER THAN 7' ABOVE GRADE OR WALKING SURFACE BELOW.
 4. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.



2 PROPOSED GARAGE ROOF PLAN
1/4" = 1'-0"



1 PROPOSED GARRETT PLAN
1/4" = 1'-0"

WINDOW SCHEDULE FOR GARAGE

NO.	SIZE	HEADER HEIGHT	TYPE
1	2' 0" x 4' 0"	2' 0"	STABLE HAND
2	2' 0" x 2' 0"	2' 0"	CASEMENT

NOTE: 1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND DETAIL AT WINDOWS. 2. SEE ELEVATION FOR FINISHES. VERIFY ANY REQUIREMENTS FOR EXPRESS OR TEMPORARY GLASS. 3. ALL WINDOWS WITH 1/2" OF GLASS OR MORE LESS THAN 16" A.F.F. MUST BE TEMPORARY. 4. PROVIDE FULL PROTECTION WHERE THE WINDOW IS LESS THAN 48" A.F.F. AND GREATER THAN 12" ABOVE GRADE OR WALKING SURFACE BELOW. 5. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

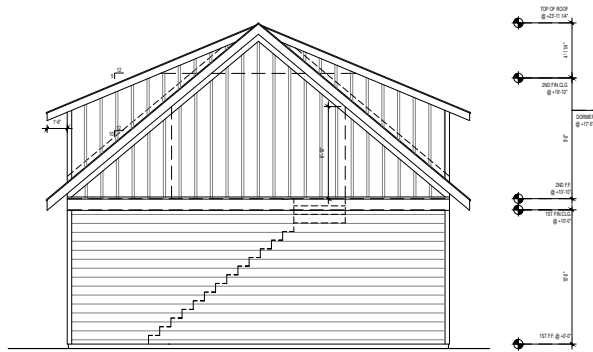
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 - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
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 - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE. CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/4".
 - ALL RISERS TO BE SOLID.
 - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
 - RAILS TO BE 36" IN HEIGHT.
 - ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
 - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 20" IN HEIGHT.
 - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
 - ALL EAVES TO BE 1" (U.G.).
 - ALL FASCIAS TO BE 10".
 - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
 - CONTINUOUS EAVE VENT U.O.G.

- STAIRS, RAILING & GUARD NOTES:
- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT - SEE PLANS FOR CLEAR WIDTH.
 - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
 - R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
 - R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
 - R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
 - R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
 - R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
 - EXCEPTIONS: 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
 - R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - EXCEPTIONS: 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

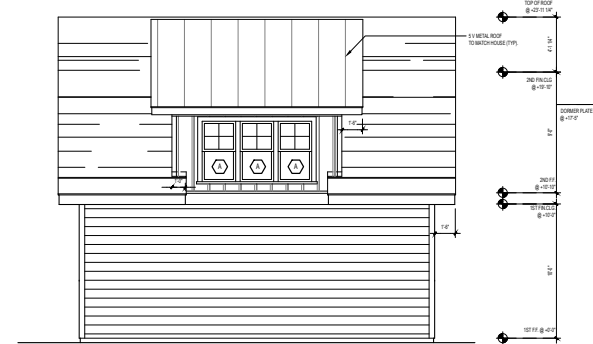
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4 PROPOSED RIGHT SIDE ELEVATION
1/4" = 1'-0"



3 PROPOSED REAR ELEVATION
1/4" = 1'-0"



2 PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION (HOUSE FACING)
1/4" = 1'-0"

ALB
Architecture

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Suite 240
Charlotte, NC 28204
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Designed Exclusively For the:
PIERCE RESIDENCE
1506 Mathew McClure Cir. Davidson, NC 28036

PROJECT # 1806
ISSUED 29 JAN 2019
REVISIONS:

PROPOSED GARAGE
ELEVATIONS
A-4.2
OF: FOURTEEN

INDEX OF DRAWINGS

- A-0 COVER SHEET
- A-1.0 SITE PLAN
- A-2.0 FOUNDATION PLAN
- A-2.1 FIRST FLOOR PLAN
- A-2.2 SECOND FLOOR PLAN
- A-2.3 ROOF PLAN
- A-3.0 FRONT AND RIGHT ELEVATION
- A-3.1 REAR AND LEFT ELEVATION
- A-3.2 BUILDING SECTIONS AND DETAILS
- A-3.3 BUILDING SECTIONS AND DETAILS
- A-4.0 GARAGE PLANS
- A-4.1 GARAGE PLANS
- A-4.2 GARAGE ELEVATIONS
- A-4.3 GARAGE WALL SECTIONS

BUILDING INFORMATION

BUILDING CODE: 2012 NC RESIDENTIAL CODE

ZONING INFORMATION

JURISDICTION TOWN OF DAVIDSON
ZONED VI

BUILDING LIMITS

FRONT SETBACK 17'-0"
SIDE YARD 5'-0"
REAR YARD 25'
MAXIMUM BUILDING HEIGHT 32'-0"

FLOOR TO AREA RATIO - GREEN OVERLAY DISTRICT

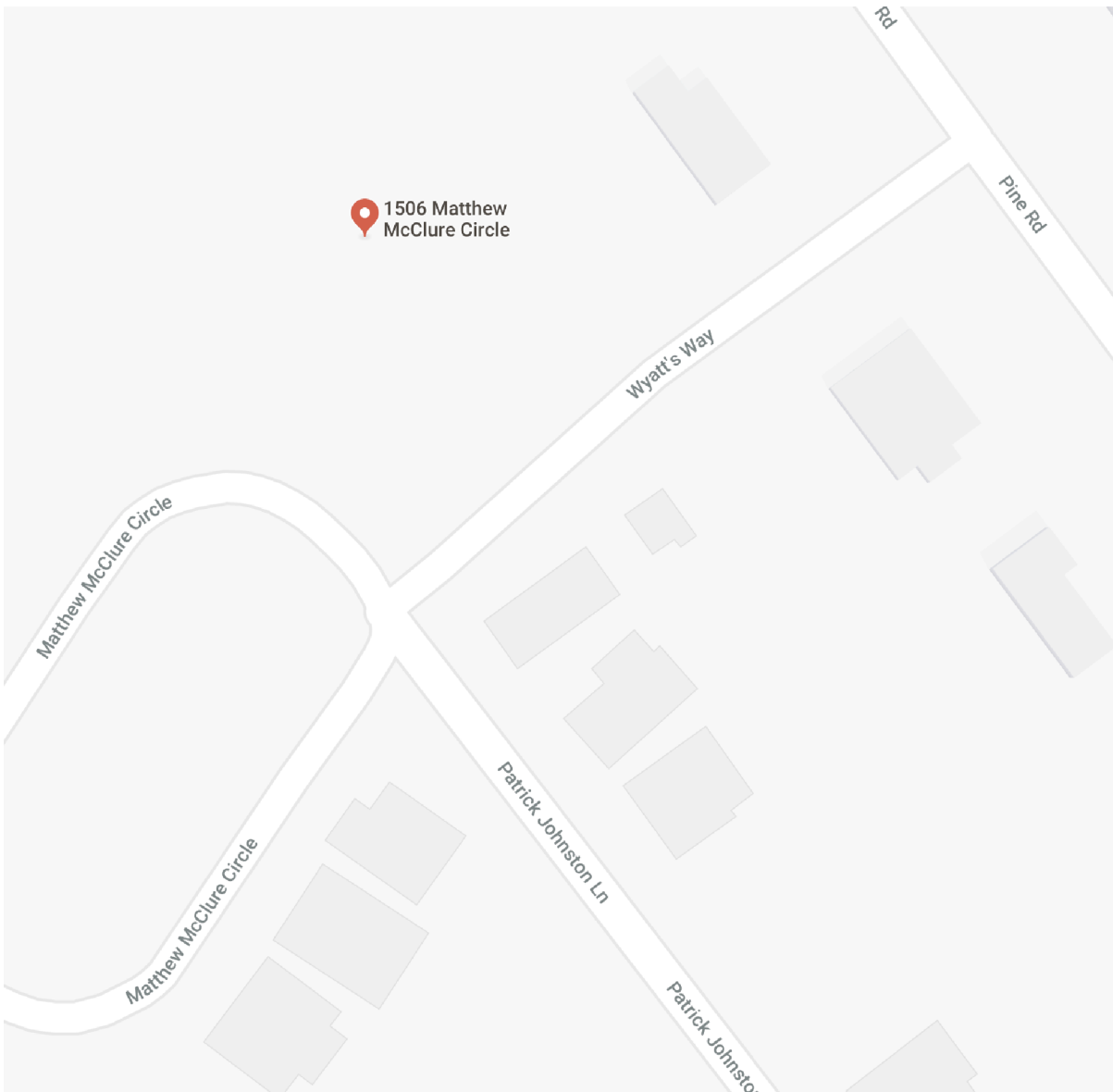
LOT SIZE

MAXIMUM FAR

SQUARE FOOTAGE CALCULATIONS

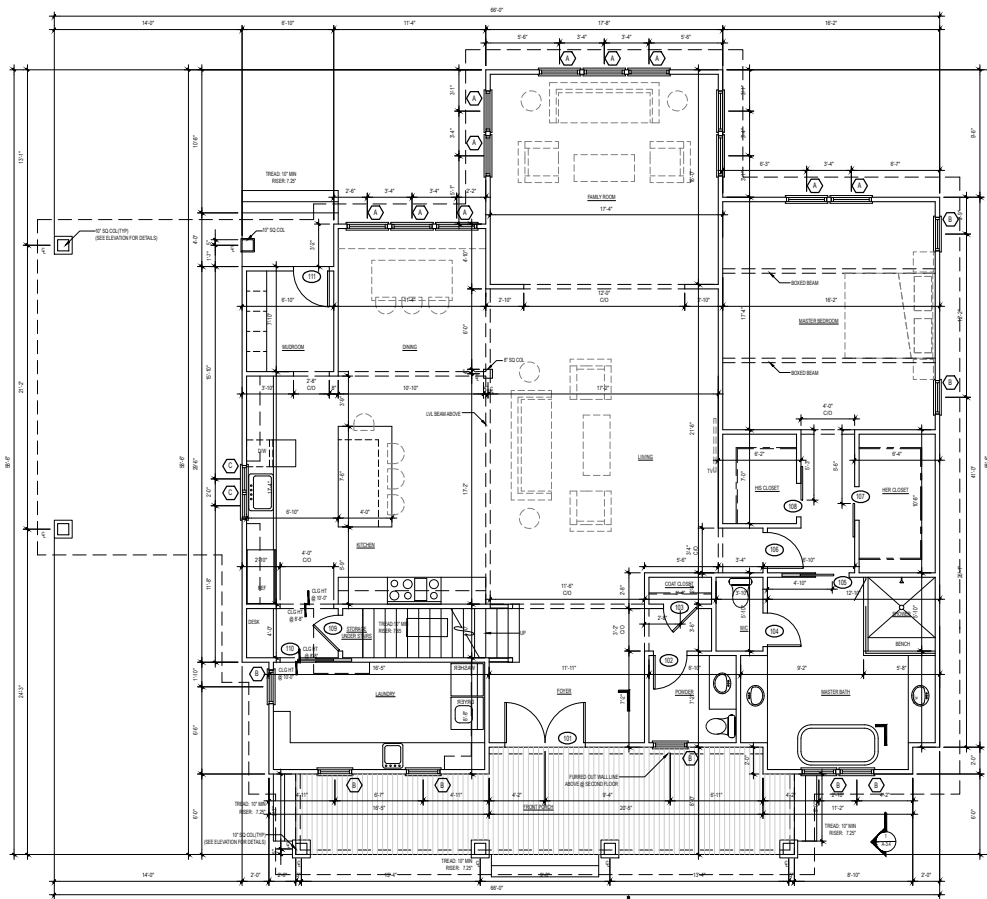
	FIRST FLOOR	
	HEATED SPACE	UNHEATED SPACE
1ST FLOOR	2298	
FRONT PORCH	0	272
CAR PORT		303
2ND FLOOR	1725	0
TOTAL	4023	575
TOTAL UNDER ROOF		4598
	DETACHED GARAGE	
	HEATED SPACE	UNHEATED SPACE
FIRST FLOOR	46	683
STOOP	0	27
SECOND FLOOR	489	0
TOTAL	535	710
TOTAL UNDER ROOF		1245

NOTE:
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.



VICINITY MAP





1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

WINDOW SCHEDULE			
NO.	SIZE	HEADER HEIGHT	TYPE
1	3'-0" x 5'-0"	8'-0"	DOUBLE HUNG
2	2'-0" x 4'-0"	8'-0"	DOUBLE HUNG
3	2'-0" x 4'-0"	8'-0"	CASEMENT
4	2'-0" x 3'-0"	7'-0"	CASEMENT
5	2'-0" x 5'-0"	7'-0"	DOUBLE HUNG
6	2'-0" x 5'-0"	7'-0"	DOUBLE HUNG

- NOTE:
1. MATCH TRIM DETAILS WITH METAL DROP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 2. ALL FINISH GRADES TO BE VERIFIED BY SURVEYOR.
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FIRST FLOOR DOOR SCHEDULE		
NO.	OPENING	LOCATION
1	10'-0" x 8'-0"	POWDER ROOM
2	2'-0" x 8'-0"	POWDER ROOM
3	2'-0" x 8'-0"	COAT CLOSET
4	2'-0" x 8'-0"	WIC
5	2'-0" x 8'-0"	MASTER BATHROOM
6	2'-0" x 8'-0"	MASTER BEDROOM
7	2'-0" x 8'-0"	BEDROOM
8	2'-0" x 8'-0"	HALL CLOSET
9	2'-0" x 8'-0"	STORAGE UNDER STAIRS
10	2'-0" x 8'-0"	LAUNDRY
11	2'-0" x 8'-0"	MUD ROOM
12	2'-0" x 8'-0"	EXTERIOR



2 WOOD STAIR DETAIL (Interior)
3/4" = 1'-0"

- GENERAL NOTES:
1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
 2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
 3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
 4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
 5. FACE OF BRICK TO ALIGN WITH FACE OF STUD.
 6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
 7. ALL DIMENSIONS ARE TO FACE OF BRICK AT FOUNDATION.
 8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
 9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE. CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/4".
 10. ALL RISERS TO BE SOLID.
 11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
 12. RAILS TO BE 36" IN HEIGHT.
 13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
 14. NO RAIL REQUIRED IF GRADE TO STOPS OR PORCHES IS LESS THAN 20" IN HEIGHT.
 15. USE DOUBLE FELT FOR ALL PITCHES OF 4/12 OR LESS.
 16. ALL SCAVES TO BE 1/2" U.N.C.
 17. ALL FASCIAS TO BE 1/2" U.N.C.
 18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
 19. CONTINUOUS EAVE VENT U.N.C.

- STAIRS, RAILING & GUARD NOTES:
1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT - SEE PLANS FOR CLEAR WIDTH.
 2. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
 3. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 INCHES.
 4. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
 5. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
 6. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
 7. R311.7.7.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
 8. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
 9. R311.7.7.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 10. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER).
 11. GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 INCH DIAMETER SPHERE ON OPEN SIDE OF STAIR.

FLOOR FINISH KEY:			
TRAVERTINE		TRAVERTINE	
TILE		TILE	
CONCRETE		CONCRETE	
WOOD		WOOD	

- NOTE:
1. 10" CONCRETE
 2. STUD WALL
 3. BRICK

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1200 E. Morehead St.
Suite 240
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Phone: 704.503.9595

E-mail:
brooks.ab@icloud.com
leaver.ab@icloud.com

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Designed Exclusively For the:

PIERCE RESIDENCE

1506 Mathew McClure Cir. Davidson, NC 28036

PROJECT # 1846
DATED 29 JAN 2019
REVISIONS:

PROPOSED 1ST FLOOR PLAN
A-2.1
OF FOURTEEN

NOTE:









1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK TO BACK FLASHING.
2. SEE EXPLANATIONS FOR TRIMMING PATTERNS. **VERIFY ANY REQUIREMENTS FOR TRIMMING PATTERNS.**
3. A.F.T. & G.T. TRIMMING OF SLABS OR MORE & LESS THAN 4" AFF. BE TEMPORARY.
4. PROVIDE FULL PROTECTION WHERE THE WINDOW IS LESS THAN 24" AFF. AND ALL TRIMMING TO BE ABOVE GRADE OR WALKING SURFACE BELOW.

NEW CONSTRUCTION:

5. NEW CONSTRUCTION: DIMENSIONS BASED ON KOLBE ULTRA SLAB DIMENSIONS.
6. MATCH EXISTING'S & REMOVED'S - MATCH EXISTING WINDOW & A.D. METAL. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATION FOR TRIMMING PATTERNS. **VERIFY ANY REQUIREMENTS FOR EXISTING'S & REMOVED'S.**
7. M.E. - MATCH EXISTING
8. P.R. - ORDERING DIMENSIONS. SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. ALL EXISTING TO BE REMOVED PRIOR TO CONSTRUCTION.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT STUD E PRIOR TO CONSTRUCTION.
5. FLOOR FINISH TO BE 1" ON CENTER OF STUD E.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO A FACE OF BRICK AT FOUNDATION.
8. ALL EXISTING HEAD ROOMS TO BE VERIFIED ON SITE AT START COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOISING SHALL CONFORM TO CITY & STATE REQUIREMENTS. CURVATURE OF THE NOISING SHALL NOT BE GREATER THAN 2".
10. ALL RISERS TO BE SOLID.
11. ALL EXTERIOR RISERS TO MATCH DOOR MFL.
12. CONTRACTOR TO COORDINATE.
13. RAILS TO BE 36" IN HEIGHT.
14. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
15. NO RAIL REQUIRED IF GRADE TO STOPS & PORCHES IS LESS THAN 2" IN HEIGHT.
16. USE DOUBLE FLETCH FOR ALL PITCHES OF 4:12 OR LESS.
17. ALL EAVES TO BE 1/2" L.G.N.
18. ALL FLASHES TO BE 90°.
19. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
20. CONTINUOUS EAVE VENT U.N.O.

[illegible]

TRAVERTINE		TRAVERTINE	
TILE		TILE	
CONCRETE		CONCRETE	
WOOD		WOOD	

10" CONCRETE 

STUD WALL

BRICK

E-mail:
brooks.alb@icloud.com
lauer.alb@icloud.com

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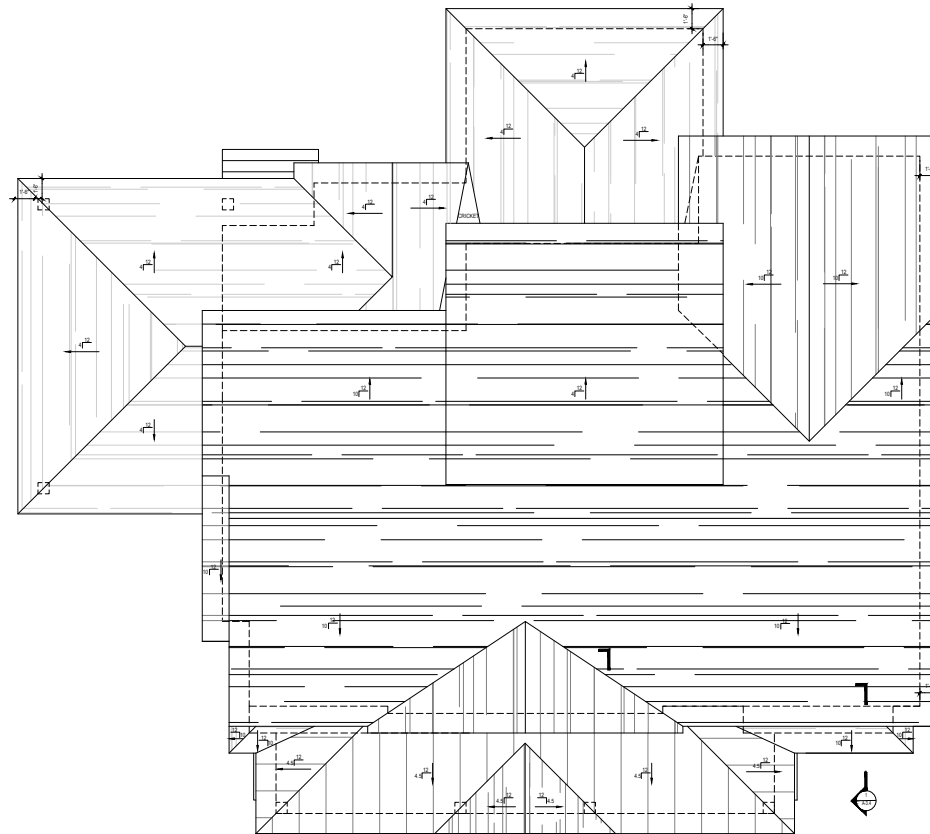
Designed Exclusively For the:

PIERCE RESIDENCE

1506 Mathew McClure Cir, Davidson, NC 28036

PROJECT #:	18045
ISSUED:	29 JAN 2019
REVISIONS:	

PROPOSED 2ND FLOOR
PLAN
A-2.2
OF: FOURTEEN



① PROPOSED ROOF PLAN
1/4" = 1'-0"

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF BRICK TO ALIGN WITH FACE OF STUD.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF BRICK AT FOUNDATION.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
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14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4/12 OR LESS.
16. ALL EAVES TO BE 1" (2" O.G.).
17. ALL FASCIAS TO BE 10".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT - SEE PLANS FOR CLEAR WIDTH.
- 1.1 EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
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- 6.1. EXCEPTIONS: 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
- 7.1. EXCEPTIONS: 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

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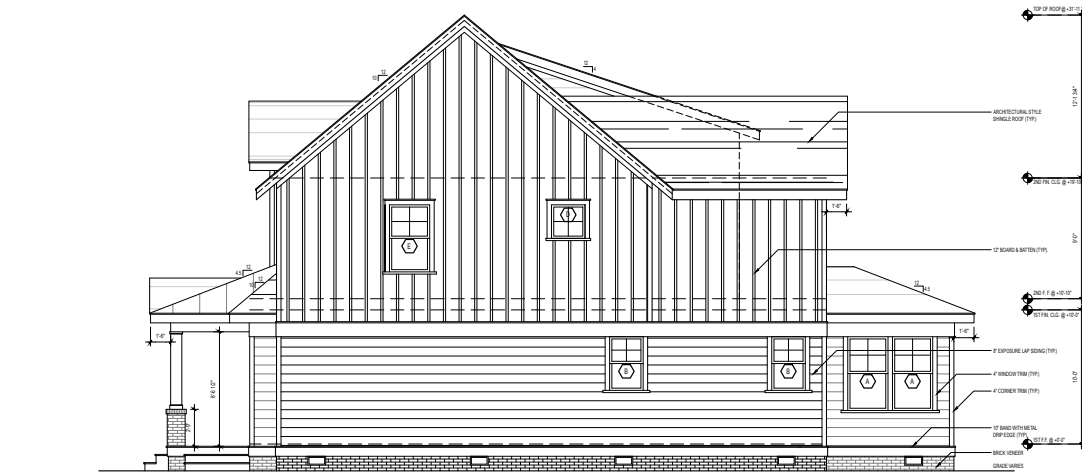
Designed Exclusively For the:
PIERCE RESIDENCE
1506 Mathew McClure Cir, Davidson, NC 28036

PROJECT # 1806
ISSUED 29 JAN 2019
REVISIONS:

PROPOSED ROOF PLAN

A-2.3

OF FOURTEEN



② PROPOSED RIGHT ELEVATION
1/8" = 1'-0"



① PROPOSED FRONT ELEVATION
1/8" = 1'-0"

WINDOW SCHEDULE			
NO.	SIZE	HEADER HEIGHT	TYPE
1	3'0" x 6'0"	8'-0"	DOUBLE HUNG
2	2'0" x 4'0"	8'-0"	DOUBLE HUNG
3	2'0" x 4'0"	8'-0"	CASEMENT
4	2'0" x 2'0"	7'-0"	CASEMENT
5	2'0" x 2'0"	7'-0"	DOUBLE HUNG
6	2'0" x 2'0"	7'-0"	DOUBLE HUNG

- NOTE:
1. MATCH TRIM DETAILS WITH METAL Drip CAP (WITH FLASHING) & BACK BAND TRIM OF WINDOWS.
 2. SEE ELEVATIONS FOR MATCH PATTERNS. **VEHICLE REQUIREMENTS FOR IMPROVED SURFACES:**
 3. ALL WINDOWS WITH TOP OF GLASS OR FINISH & LESS THAN 10' A.P.F. MUST BE TRIMMED.
 4. PROVIDE FULL PROTECTION WHERE THE WINDOW IS LESS THAN 10' ABOVE A.P.F. AND GREATER THAN 10' ABOVE GRADE OR WALKING SURFACE BELOW.
 5. **WINDOW SCHEDULE:** DIMENSIONS BASED ON KOLBE ULTRA SERIES.
 6. **FINISHES:** FOR ADDITIONAL FINISHES, MATCH EXISTING WINDOW & DOOR FINISHES. MATCH WITH Drip CAP AND FLASHING. SEE ELEVATIONS FOR MATCH PATTERNS. VERIFY ANY REQUIREMENTS FOR GLASS OR TRIMMED GLASS.
 7. **W.E. & MATCH EXISTING.**
 8. PRIOR TO FINISHING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF BRICK TO ALIGN WITH FACE OF STUD.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF BRICK AT FOUNDATION.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. **INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE.** CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/4".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. **RAILS TO BE 36" IN HEIGHT.**
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 20" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4/12 OR LESS.
16. ALL EAVES TO BE 1'-0" U.O.G.
17. ALL FASCIES TO BE 10".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.O.G.

STAIRS, RAILING & GUARD NOTES:

1. **R311.7.1 WIDTH:** STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT - **SEE PLANS FOR CLEAR WIDTH.**
2. **EXCEPTION DOES NOT APPLY TO THIS PROJECT.**
3. **R311.7.4.1 RISER HEIGHT:** THE MAXIMUM RISER HEIGHT SHALL BE 8 INCHES.
4. **R311.7.4.2 TREAD DEPTH:** THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
5. **R311.7.7 HANDRAILS:** HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
6. **R311.7.7.1 HANDRAIL HEIGHT:** HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
7. **R312.2 GUARD HEIGHT:** GUARDS SHALL NOT BE LESS THAN 36 INCHES.
8. **EXCEPTIONS:** 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
9. **R312.3 OPENING LIMITATIONS:** REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
10. **EXCEPTIONS:** 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER).
11. GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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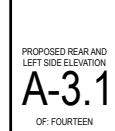
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1506 Mathew McClure Cir. Davidson, NC 28036

PROJECT # 1846
REVISIONS: 29 JAN 2019

PROPOSED FRONT AND
RIGHT SIDE ELEVATION
A-3.0
OF: FOURTEEN



1506 Matthew McClure Cr. – Existing Conditions

1. Existing Site



2. Neighboring Home



3. Neighboring Home

