HYATT PLACE
DAVIDSON, NORTH CAROLINA

CONDITIONAL MASTER PLAN
PARCEL ID: 00323190 & 00323191
TOTAL SITE AREA= 2.1 AC.

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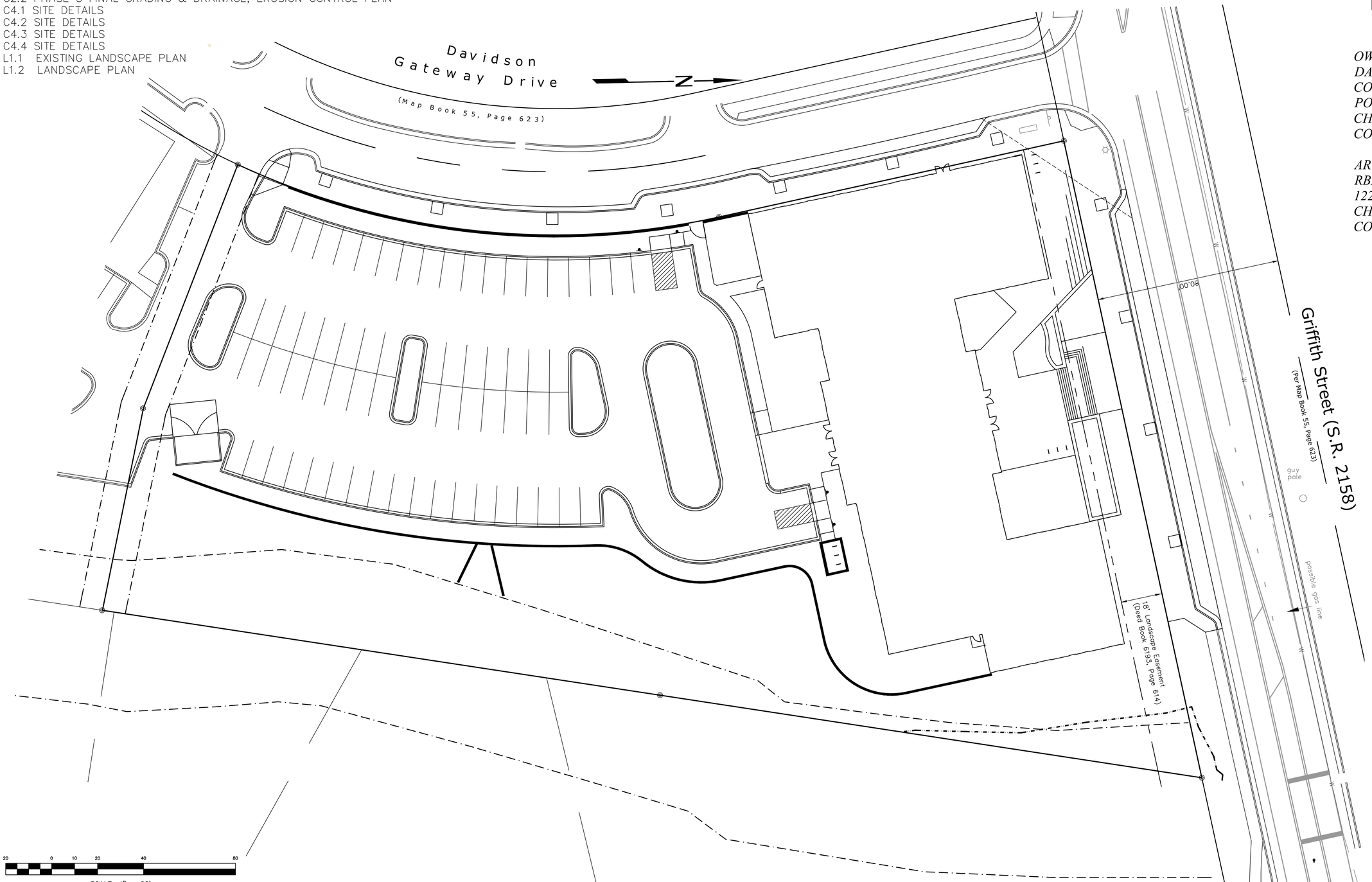
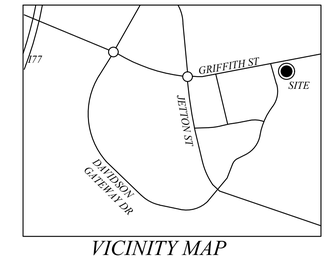




VICINITY MAP
1"=700'

OWNER:
DAVIDSON COMMONS EAST
CONDOMINIUM ASSOCIATES LLC
PO BOX 1696
CHARLOTTE, NORTH CAROLINA
CONTACT: NISH PATEL

ARCHTECT:
RBA GROUP
122-B WEST BLAND STREET
CHARLOTTE, NORTH CAROLINA
CONTACT: DAVE MALUSHIZKY

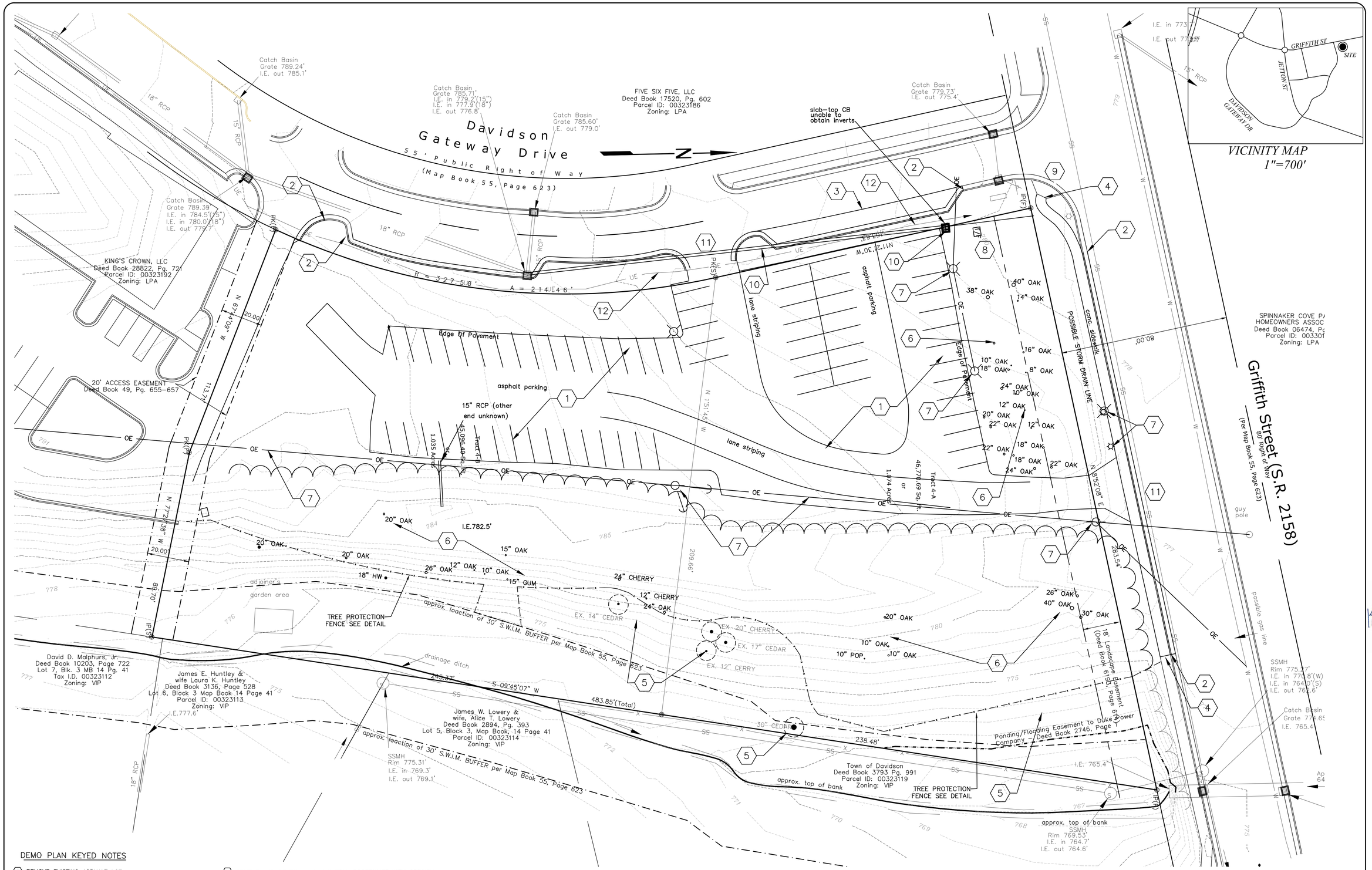
NORTH CAROLINA PROFESSIONAL SEAL 10725 ENGINEER KEVIN S. CALDWELL
7.7.17

GEoSCIENCE GROUP
Incorporated
500-K Clanton Road
Charlotte, NC 28217
(704) 525-2003

NC FIRM LICENSE: F-0585(ENG)
NC FIRM LICENSE: C-279(LA)

PROJECT DATE: 3.6.17

CS



DEMO PLAN KEYED NOTES

1. REMOVE EXISTING ASPHALT LOT
2. SAWCUT AND REMOVE CURB AND GUTTER
3. SAWCUT AND REMOVE ASPHALT
4. SAWCUT AND REMOVE SIDEWALK
5. TREES TO REMAIN (OUTSIDE TREE PROTECTION FENCE)
6. TREES TO BE REMOVED (INSIDE TREE PROTECTION FENCE)
7. REMOVE AND RELOCATE POWER POLES AND LINES, COORDINATE WITH DUKE POWER ON WHERE THE RELOCATION TAKES PLACE PRIOR TO ANY REMOVAL
8. REMOVE AND RELOCATE UTILITY BOX, COORDINATE WITH SPECIFIC UTILITY DEPARTMENT PRIOR TO ANY REMOVAL
9. ADA RAMP TO REMAIN
10. REMOVE AND RELOCATE STORM DRAIN AND PIPE, SEE SHEET C2.2 FOR RELOCATION. CONTRACTOR TO FIELD INVESTIGATE WHERE UNKNOWN PIPE TERMINUS IS AND COORDINATE WITH ENGINEER FOR SOLUTION OF RELOCATION
11. DRIVEWAY TO BE REMOVE, COORDINATE WITH TOWN OF DAVIDSON PRIOR TO REMOVAL
12. COORDINATE WITH DUKE POWER ABOUT UNDERGROUND ELECTRICAL LINE PRIOR TO CONSTRUCTION

Know what's **below.**
Call before you dig.

SCALE: 1" = 20'

DRAWING SCALE	1"=20'
PROJECT DATE	7.7.17
PROJECT NUMBER	17-0
TASK	PHASE
PLOT DATE	
FILE NAME	
PROJECT MANAGER	AJR
DESIGNED BY	AJR
APPROVED BY	AJR

REV.	DATE

GEOSCIENCE GROUP
Mailing: 9000 Harris Ridge Road
Charlotte, NC 28217
Phone: 704.525.2003
Fax: 704.525.2002
www.geosciencegroup.com
NC FIRM LICENSE C-0585(NW)
NC FIRM LICENSE C-2790(A)

Drawing Status
- [x] PRELIMINARY NOT FOR CONSTRUCTION
- [ ] ISSUED FOR BIDDING
- [ ] ISSUED FOR PERMIT
- [ ] ISSUED FOR CONSTRUCTION

HYATT PLACE
DAVIDSON, NORTH CAROLINA

NORTH CAROLINA PROFESSIONAL SEAL 10725 ENGINEER KEVIN S. CALDWELL
7.7.17

EXISTING CONDITIONS AND DEMOLITION PLAN

CO

Davidson Commons East Lots 4A-B: Hotel Site
General notes & Conditions
7/7/17

General Notes:

1. Zoning: The zoning of Tracts 4-A, 4-B, 4-C and 4-D of Davidson Commons East, consisting of 6.4 acres, more or less (the "Site"), is CPA (Conditional Planning Area), as shown on the Davidson Commons East Conditional Master Plan, as amended November 10, 2010 and April 9, 2013 (the "Plan"). The Site is to be developed in two phases. Phase II of the Plan was approved for a Change of Use on November 10, 2010 and an amendment to the conditions of Tract 4-C within Phase II was approved on April 9, 2013.

2. Building & Site Design: The building configurations, placements, and sizes shown on the Master Plan are schematic in nature and may be altered and/or modified during design development and construction document phases in accordance with the approved plan. Parking layouts and open spaces may also be modified to accommodate final building configurations in accordance with the Planning Ordinance.

3. Ordinance Modifications: If, at some point, modifications are made to the Ordinance by the Board of Commissioners, the Applicant may voluntarily agree to apply such modifications to the Plan in a manner consistent with the Ordinance as it changes from time to time. Such modifications to the Ordinance shall in no way impact the Applicant's vested rights established per the Ordinance once the Plan is approved.

4. Amendments: The Applicant may request an amendment to the Plan and approved zoning without the written consent of any other owner of all or any portion of the property shown on the Plan so long as the recorded Declaration of Protective Covenants for the property contains a valid and enforceable provision with the stated purpose of granting power of attorney to the Declarant to execute an amendment to the Plan and approved zoning on behalf of such owners. Developer understands that the Town cannot waive the rights of property owners.

5. Plat Notes: In the event the event of an amendment to the plat of the Site, entitled Davidson Commons East Map 1, recorded in Map Book 49, Pages 655 - 657, Mecklenburg County Public Registry, as amended in Map Book 55, Pages 623, Mecklenburg County Public Registry (the "Plat"), the notes included on the Plat shall be included on the subdivision plat of the Site; provided, however, Note 3 of the plat shall be revised to reflect the conditions provided below.

Conditions:

1. Building Type: The hotel building shall be a Workplace building type in accordance with DPO 4.5.6.

2. Height: The Tract 4-A and 4-B Height Restriction is hereby amended to provide that the height allowed for the building located on Tracts 4-A and 4-B, as shown on the amended Master Plan, is a Minimum of Two (2) Stories and a Maximum of Four (4) Stories.

3. Impervious Coverage:

Impervious Calculations	Approved	% of Total	Existing
Tract 4-A	26,180	21.72%	12,709.50
Tract 4-B	26,180	21.72%	12,709.50
Tract 4-C	34,161	28.34%	34,161.00
Tract 4-D	34,000	28.21%	Unimproved
Total	120,521	100.00%	59,580.00

The 52,360 square feet of impervious cover allocated to Tracts 4-A and 4-B may be distributed among such Tracts in accordance with the approved amended Master Plan and may also be redistributed between Tracts if requested by the Applicant and approved by the Planning Director was modified prior to completion of such improvements. After completion, modifications of such improvements shall be permitted with Planning Director approval if such modifications do not exceed the total permitted impervious area for the combined Tracts and do not constitute a major amendment.

4. Uses: Permitted uses on Tracts 4-A and 4-B shall include Hotel, Commercial Services, Restaurant and Retail, Primary and Secondary.

5. Setbacks: The hotel building shall front on Griffith Street with minimum front and side setbacks of 0'.

6. Parking: The parking requirement for lots 4-A and 4-B is 2 spaces per 1,000 square feet of building area, or 149 spaces; however, typical parking for a Hotel is 1 space per hotel room, or 115 spaces for this hotel. Parking provided on the plan totals 139 spaces, which is 120% of the typical requirement for a hotel. By comparison, at Homewood Suites in Davidson, the number of parking spaces typically used on a sold out night is approximately 84% of the number of hotel rooms. The majority of the Homewood Suites guests will need the parking spaces after 6:00 PM. Parking provided includes the shared parking in accordance with the Reciprocal Easement Agreement recorded in Book 30349, Page 645, Mecklenburg County Public Registry. This easement parking allows use of the additional spaces, which would only be required on sold out nights.

7. Bicycle Parking: Bicycle Parking provided is 6 long term spaces and 12 short-term spaces because hotel occupants typically are not using bicycles. This bicycle parking is provided for shoppers and workers. By comparison, at the Homewood Suites hotel, only one employee currently rides his bike to work. Therefore, even with shoppers and workers, the bicycle parking provided should be more than sufficient.

8. Tree Canopy: In order to fulfill the tree canopy requirements of 9.3.1A, Minimum Tree Coverage Requirements, 1.5 times the deficient trees, or 6 trees, will be planted in the southeast area of the property to help screen residential properties.

9. Walkway: DPO 8.4.5 Pedestrian Access, provides, that in large parking lots (36 spaces or greater), a sidewalk perpendicular to the main building shall be put in place. This cannot be accomplished due to the proximity to the eastern buffer and the impervious requirements.

REMOVED CONDITIONS:

- The pedestrian trail shown on the Master Plan from the eastern portion of the Site to the Town of Davidson property is removed.

GENERAL SITE NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. SITE BOUNDARY INFORMATION TAKEN FROM SURVEY BY LAND DESIGN
3. OMIT
4. CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS, WATER LINES, STORM DRAINAGE, LIGHT POLES, POWER POLES, ETC. WITH APPROPRIATE UTILITY COMPANIES WHO WILL VERIFY LOCATION, MATERIALS AND ADEQUACY OF PROPOSED COVER AND PLACEMENT.
5. CONTRACTOR TO COORDINATE WITH OWNER AND PROJECT ENGINEER FOR EXISTING BUILDING DEMOLISHING AND ANY OTHER STRUCTURES WHICH MAY BE ON PROJECT SITE.
6. CONTRACTOR TO COORDINATE ALL CONSTRUCTION IN R/W'S WITH N.C.D.O.T. AND CITY OF CHARLOTTE.
7. ALL CONSTRUCTION TO CONFORM TO THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL DETAILS AND SPECIFICATIONS.
8. ALL DRAINAGE FACILITIES, CURB CUTS AND CURB RAMPS MUST BE CONSTRUCTED IN COMPLIANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL AND COORDINATED WITH ENGINEERING AND PROPERTY MANAGEMENT.
11. A RIGHT OF WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ALL NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVERS, ETC.) WITHIN A PROPOSED/EXISTING CITY MAINTAINED STREET RIGHT OF WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNER'S/BUSINESS ASSOCIATION. AN ENCROACHMENT AGREEMENT MUST BE APPROVED BY CDOT PRIOR TO THE CONSTRUCTION/INSTALLATION OF THE NON-STANDARD ITEMS. CONTACT CDOT FOR ADDITIONAL INFORMATION CONCERNING COST, SUBMITTAL AND LIABILITY INSURANCE COVERAGE REQUIREMENTS.
12. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE GUIDELINES STANDARDS.
13. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.
14. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREAS.
15. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
16. URBAN FORESTER MUST BE NOTIFIED OF THE PRE-CONSTRUCTION MEETING.
17. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
18. ALL ROAD IMPROVEMENTS AT PROVIDENCE ROAD ARE TO BE COORDINATED WITH THE NCDOT PRIOR TO CONSTRUCTION
19. DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM #50.05 (9" SIGNS ONLY).
20. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
21. OMIT
22. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
23. APPROVAL OF THIS SITE IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRENT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
24. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE IN THE CURB.
25. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
26. CURB AND GUTTER SHOWN ON PLANS ALONG PROVIDENCE ROAD. ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATIONS BASED UPON FIELD CONDITIONS.
27. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
28. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
29. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
30. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

EROSION CONTROL NOTES

1. *ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.*
2. *ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.*
3. *GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.*
4. *ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.*
5. *ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE MECKLENBURG COUNTY LUESA.*
6. *SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. SLOPES GREATER THAN 10 FEET REQUIRE ADEQUATE TERRACING (MCLDSM #30.16) SOILS ENGINEER TO VERIFY STABILITY OF SLOPES GREATER THAN 2:1.*
7. *APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.*
8. *ALL "STD." NUMBERS REFER TO THE MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS MANUAL (MCLDS).*
9. *A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.*
10. *THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.*
11. *TEMPORARY DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT-OF-WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.*
12. *ALL EMBANKMENTS MUST BE CONSTRUCTED PER SECTION 4.0.6 EMBANKMENT REQUIREMENTS IN THE BMP DESIGN MANUAL.*
13. *SOIL COMPACTION TESTS ARE REQUIRED ON ANY BERM >=5' IN HEIGHT FROM THE NATURAL GRADE. SOIL COMPACTION MUST BE AT 95% PROCTOR AND CERTIFIED BY A LICENSED SOIL ENGINEER.*

NPDES Stormwater Discharge Permit for Construction Activities (NCGO1) — NCDENR/Division of Water Quality

NEW STABILIZATION TIMEFRAMES
(Effective Aug. 3, 2011)

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter dikes, swales, ditches, slopes	5 days	None
High Quality Water (HQW) Zones	5 days	None
Slopes steeper than 3:1	5 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	5 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	5 days	None, except for perimeters and HQW Zones.

GENERAL GRADING & SITE NOTES:

1. THE UTILITIES LOCATIONS SHOWN ON THE DRAWINGS REPRESENTS THE DESIGNERS UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, GAS, ETC.) WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATION. THE OMISSION OF, OR THE INCLUSION OF UTILITY LOCATIONS ON PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF, OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTACT U-LOCO (800-632-4949).
2. ALL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
3. ALL CONSTRUCTION AND CONSTRUCTION MATERIALS WITHIN STREET RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
4. ALL HANDICAP RAMPS, PARKING SPACES, ETC. TO MEET ALL ADA AND NC ACCESSIBILITY CODES.
5. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR THE LOCATION AND DIMENSIONS OF BUILDING AND SURROUNDING AREAS.
6. TOP SOIL TO BE STRIPPED AND STOCKPILED IN AREA DESIGNATED BY OWNER.
7. ANY UNSUITABLE MATERIALS ON SITE ARE TO BE QUALIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO REMOVING. CONTRACTOR MUST NOTIFY OWNER OR OWNER REPRESENTATIVE IN CASE UNSUITABLE MATERIAL IS UNCOVERED.
8. APPROVAL OF THIS PLAN IS NOT AUTHORIZATION TO WORK ON ADJACENT PROPERTIES. WHEN CONDITIONS WARRANT OFF-SITE GRADING, UTILITY WORK, CLEARING OR OTHER WORK NOT ON THE OWNER OF RECORDS PROPERTY, THE CONTRACTOR MUST OBTAIN WRITTEN AGREEMENT, OR OBTAIN AN EASEMENT FROM THE OWNER(S) BEFORE PROCEEDING.
9. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON ALL CURB AND GUTTER.
10. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
11. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK, AND OTHER ACCUMULATIONS.
12. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPT OF TRANSPORTATION TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
13. HDPE STORM PIPE INSTALLED WITHIN EXISTING OR PROPOSED STREET R/W MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED.
14. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
15. THE SWIMMING POOL AREA, INCLUDING POOL DECK GRADING AND STORM DRAINAGE WILL BE PERMITTED SEPARATELY.
16. GRADING AND STORM DRAINAGE FOR PHASE 3 RETAIL BUILDING, PHASE 3 OFFICE BUILDING AND ASSOCIATED PARKING WILL BE PERMITTED SEPARATELY.
17. CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING.
18. NON-STANDARD ITEMS (ie: PAVERS, IRRIGATIONS SYSTEMS, ETC) IN THE RIGHT-OF-WAY REQUIRE A R/W ENCROACHEMENT AGREEMENT WITH THE CHARLOTTE DEPT. OF TRANSPORTATION BEFORE INSTALLATION.
19. ANY WORK PERFORMED IN THE PUBLIC RIGHT OF WAY LASTING 30 DAYS OR LESS REQUIRES A RIGHT OF WAY USE PERMIT. CONTACT BOB STALEY AT 704-432-1562 TO OBTAIN. ANY WORK IN PUBLIC R/W LASTING 31 OR MORE DAYS REQUIRES A RIGHT OF WAY LEASE. CONTACT LINDA POISSANT AT 704-336-2562 TO OBTAIN.
20. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CDOT AT (704)336-4025.

CONSTRUCTION & EROSION CONTROL SEQUENCE

1. OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM THE MECKLENBURG COUNTY LUESA.
2. SET UP AN ON-SITE PRECONSTRUCTION CONFERENCE WITH TEH MECKLENBURG COUNTY LUESA EROSION CONTROL INSPECTOR TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY IS A VILOATION OF THE EROSION CONTROL ORDINANCE AND CODE AND IS SUBJECT TO FINE.
3. INSTALL TEMPORARY CONSTRUCTION ENTRANCE THEN INSTALL TREE PROTECTION BARRICADES PRIOR TO ANY ADDITIONAL ON-SITE ACTIVITIES. THEN INSTALL SILT FENCE ALONG THE PROJECT PERIMETER AND OTHER MEASURES AS SHOWN ON THE PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
4. CALL FOR ON-SITE INSPECTION BY EROSION CONTROL INSPECTOR. WHEN APPROVED, INSPECTOR ISSUES THE GRADING PERMIT AND CLEARING AND GRUBBING MAY BEGIN.
5. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
6. STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE, MAINTAIN EROSION CONTROL DEVICES AS NEEDED.
7. FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
8. SEE SITE DEMOLITION PLAN SHEET C0 FOR PHASING OF REMOVAL OF EXISTING CURB ALONG ONE HARBOUR PLACE PARKING. THE PURPOSE OF THIS IS TO DIRECT STORMWATER TO THE STORM DRAINAGE SYSTEM AND PREVENT RUNOFF FROM THE ASPHALT PARKING AREA ABOVE FROM ENTERING THE DISTURBED AREA OF THIS PROJECT.
9. COORDINATE WITH EROSION CONTROL INSPECTOR WHEN EROSION CONTROL MEASURES CAN BE REMOVED.
10. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPT. OF AGRICULTURE, MECKLENBURG COUNTY EROSION CONTOL ORDINANCE, AND THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS.
11. THE CONTRACTOR SHALL FOLLOW ALL NPDES RULES AND REGULATIONS AND SHALL CHECK, MAINTAIN AND REPAIR ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS OR AFTER 1/2" OR MORE RAINFALL. CONTRACTOR SHALL KEEP A RAIN GAUGE ON-SITE AT ALL TIMES, AND SHALL ALSO KEEP A DETAILED LOG OR JOURNAL OF RAIN GAUGE MEASUREMENTS AND MAINTENANCE PROCEDURES UTILIZED.
12. THE LAND DEVELOPMENT INSPECTOR SHALL BE CALLED TO CONDUCT INSPECTIONS ON STORM DRAINAGE, SIDEWALKS, DRIVEWAY IMPROVEMENTS, AND ALL ASPECTS OF ROAD CONSTRUCTION.

DEMOLITION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE DEMOLITION AND REMOVAL OF THE EXISTING IMPROVEMENTS INDICATED TO BE REMOVED.
2. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE LOCAL UTILITY COMPANIES FOR THE REMOVAL OR RELOCATION OF LIGHT POLES, POWER POLES/LINES, GAS LINES, ETC.
3. CONTRACTOR TO SAW-CUT EXISTING PAVEMENT AND CURB/GUTTER FOR REMOVAL AS REQUIRED.
4. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL CROSSINGS WELL IN ADVANCE OF TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THE PLAN OR 12 INCHES, WHICHEVER IS LESS, CONTACT THE DESIGN ENGINEER AND THE OWNER PRIOR TO PROCEEDING.
6. DEMOLITION SHALL BE PERFORMED IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS.
7. ALL DEMOLITION DEBRIS SHALL BE REMOVED AND TRANSPORTED TO A LICENSED LANDFILL OR OTHER FACILITY.
8. THE TRENCHES WHERE EXISTING UTILITIES HAVE BEEN REMOVED OR RELOCATED SHALL BE COMPACTED TO 95% STANDARD PROCTOR.
9. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS IN ADVANCE OF ANY DEMOLITION WORK.

EROSION CONTROL & WATER QUALITY INSPECTOR:
TOWN OF DAVIDSON
NICK FINELLI 980.721.9390

LAND DEVELOPMENT INSPECTOR:
TOMMY KEZIAH, TOWN OF DAVIDSON
(704) 634-6753

ZONING INSPECTOR:
BRIAN SIFFORD, TOWN OF DAVIDSON
(980) 721-0924

ENHANCED EROSION CONTROL MEASURES

1. ARE REQUIRED TO BE INSTALLED IN GOOSE CREEK WATERSHED AREA, MCDOWELL AREA, CRITICAL AND PROTECTED WATERSHED DISTRICTS FOR LAKE NORMAN, MY. ISLAND AND LAKE WYLIE, AND 303(d) LISTED STREAMS INCLUDING LAND WITHIN 500' OF THE STREAM (McDOWELL CREEK, ROCKY RIVER, CLARKE CREEK, LONG CREEK IRWIN CREEK, SUGAR CREEK, LITTLE SUGAR CREEK, MCALPINE CREEKM MCKEE CREEK, SIXMILE CREEK, NORTH FORK CROOKED CREEK AND GOOSE CREEK.
2. SURFACES WATER DRAW DOWN DEVICES (RISERS OR SKIMMER SHALL BE INSTALLED IN ALL SEDIMENT BASINS. FOREBAYS SHALL BE USED IN CONJUNCTION WITH ALL SEDIMENT BASIN. ROCK FOREBAY EMBANKMENTS MAY BE IN LIEU OF POROUS BAFFLES.
3. POLYACRYLAMIDES (PAM) SHALL BE USED TO REDUCE TURBIDITY AND SUSPENDED SOLIDS WHENEVER A SEDIMENT TRAP, BASIN, PIT, HOLE OR BUILDING FOUNDATION IS BEING PUMPED OUT TO REMOVE SEDIMENT LADEN WATER. PAM IS NOT REQUIRED WHEN ANY OF THE ABOVE IS BEING PUMPED TO AN APPROVED SEDIMENT BASIN ON SITE. THIS ACTIVITY MUST BE INSPECTED AND APPROVED BY THE MECKLENBURG COUNTY EROSION CONTROL INSPECTOR.
4. DOUBLE SILT FENCE SHALL BE USED ALONG WETLANDS, STREAMS, LAKES OR OTHER SURFACE WATER BODIES AS WELL AS ADJACENT TO ALL S.W.I.M. OR OTHER WATER QUALITY BUFFER. HIGH HAZARD SILT FENCE WITH WIRE BACKING AND WASHED STONE WILL BE INSTALLED AS DETERMINED NECESSARY BY THE COUNTY ENGINEER OR FIELD INSPECTOR.
5. TEH AMOUNT OF UNCOVERED AREA AT ANY ONE TIME SHALL BE LIMITED TO NO MORE THAN 20 ACRES, UNLESS APPROVED BY THE COUNTY ENGINEER.
6. A 10-FOOT BUFFER SHALL BE PROVIDED AROUND THE OUTSIDE EDGE OF DRAINAGE FEATURE SUCH AS INTERMITTENT AND PERENNIAL STREAMS, PONDS AND WETLANDS. INCIDENTAL DRAINAGE IMPROVEMENTS OR REPAIRS WILL BE PERMITTED WITHIN THE BUFFER S APPROVED BY COUNTY STAFF.
7. INSTALLATION OF TEMPORARY GROUND COVER OR SEEDING MUST BE PERFORMED WITHIN 5 WORKING DAYS OR SLOPE DRAINS INSTALLED AFTER FILL SLOPES ARE BROUGHTUP TO HEIGHT.
8. PERMANENT TERRACES SHALL BE INSTALLED ON 2:1 OR STEEPER SLOPES OVER 19 FEET IN HEIGHT TO REDUCE RUNOFF VELOCITY COMING DOWN THE SLOPES.

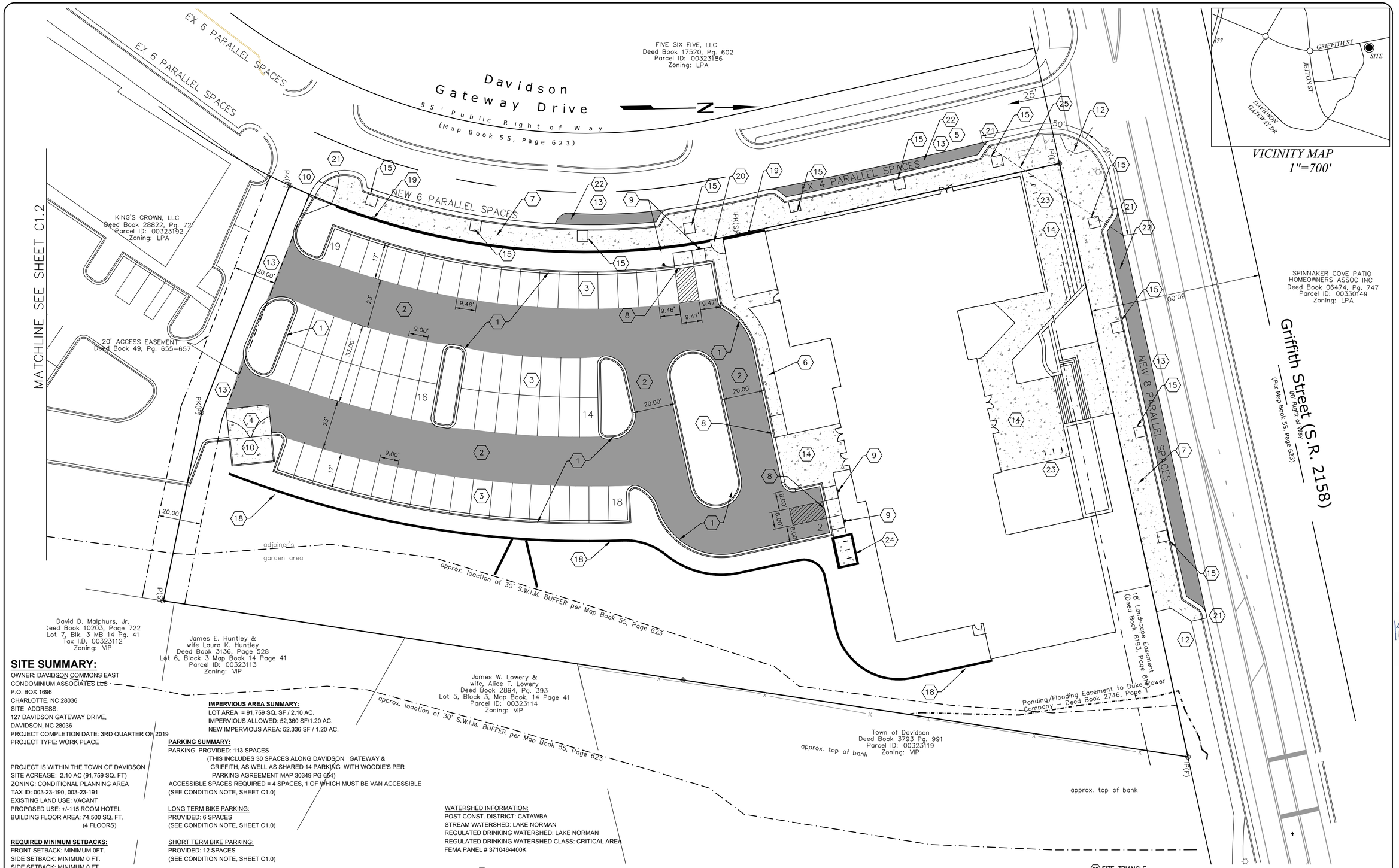
PLANTING NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET FORTH IN "THE AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC, WASHINGTON, D.C.
2. ALL PLANTS SHALL BE COMPACT, UNIFORM, AND WELL GROWN. PLANTS SHALL NOT BE LOOSE, OPEN PLANTS. THE CLIENT'S LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY AND ALL MATERIALS WHICH DO NOT MEET THESE REQUIREMENTS.
3. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" THICK COMPOSTED/MILLED PINE BARK.
4. ALL PLANTS SHALL BE FREE FROM DISEASE, INSECT INFESTATIONS, AND INJURIES.
5. ALL PLANT BEDS SHALL HAVE A 4" V-CUT TRENCH INSTALLED AT THE PERIMETER OF THE BED.
6. CONTRACTOR MUST PROVIDE A ONE YEAR WRITTEN GUARANTEE FOR ALL PLANT MATERIALS FROM THE DATE OF FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT.
7. THE SPECIES, VARIETIES, AND SIZE LISTED SHALL BE PROVIDED AS SPECIFIED. SUBSTITUTIONS WILL BE PERMITTED ONLY UPON WRITTEN APPLICATION BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT, AND WHEN APPROVAL BY SAID LANDSCAPE ARCHITECT IS IN WRITING.
8. SYMBOLS: B&B = BALLED AND BURLAPPED; O.C.=ON CENTER; GAL.=GALLON CONTAINER, M.S.=MULTI-STEM; HT.=HEIGHT, CAL.=CALIPER.
9. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL PLANTS ILLUSTRATED ON THE PLANTING PLAN. IF ANY DISCREPANCIES EXIST BETWEEN THE QUANTITIES LISTED ON THE PLANT LIST AND THE QUANTITIES SHOWN ON THE PLAN, THE CONTRACTOR SHALL PROVIDE ALL QUANTITIES ILLUSTRATED ON THE PLAN. IF ANY PLANTS ARE SHOWN NOT LABELED, THE CONTRACTOR SHALL VERIFY THE PLANT IDENTITY WITH THE LANDSCAPE ARCHITECT AND THESE PLANTINGS SHALL BE INCLUDED IN THE CONTRACTOR'S INITIAL BID.
10. SOIL AMENDMENTS SHALL BE UNIFORMLY SPREAD AND CULTIVATED THOROUGHLY BY A MECHANICAL TILLER INTO THE TOP 8" OF SOIL THROUGHOUT SHRUB BEDS.
11. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND THE OWNER IN WRITING OF ALL SOIL CONDITIONS THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANT MATERIALS. PROPER DRAINAGE MUST BE ASSURED.
12. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS BEFORE PREPARING SOIL AND PLANTING TREES.
13. NO TREE SHALL BE PLANTED ON A SLOPE GREATER THAN 3:1 .
14. PROVIDE AND INSTALL PREPARED PLANTING BED FOR ALL AREAS SHOWN TO RECEIVE PLANTING. TOP 12" SHALL BE 25% COMPOSTED PINE BARK SOIL CONDITIONER AND 75% NATIVE TOPSOIL, THOROUGHLY MIXED (3" LAYER OF SOIL CONDITIONER ROTOTILLED TO MIX 12" DEEP). PREPARED SOIL SHALL BE FINE TEXTURED AND FRIABLE AND RAKED TO CREATE A SMOOTH SURFACE. MULCH COMPLETED PLANTING BED W/ 3" THICK LAYER OF DOUBLE HAMMERED PINE BARK MULCH. (THE USE OF PINE BARK NUGGETS IS NOT ALLOWABLE).
15. ALL TREES SHALL BE PLANTED IN ACCORDANCE WITH CMLD STANDARD 40.01, SEE DETAIL 40.01, SHEET C2.
16. LANDSCAPE CONTRACTOR MUST PROVIDE BILL OF SALE OR NURSERY DOCUMENTATION FOR ALL PLANTS SOURCED FOR THIS PROJECT AS A REQUIRED SUBMITTAL TO VERIFY THAT THE PLANTS USED IN THIS PLANTING ARE TRUE TO THE SPECIES, SIZE AND CULTIVAR/SELECTION SPECIFIED. ANY TREE OR PLANT FOUND TO BE OTHER THAN THE SPECIFIC CULTIVAR/SELECTION SPECIFIED SHALL BE REMOVED AND REPLACED WITH THE CORRECT CULTIVAR/SELECTION AT THE CONTRACTOR'S EXPENSE.

IRRIGATION NOTES

1. PROVIDE AND INSTALL A MULTI-ZONE IRRIGATION SYSTEM WITH ELECTRONIC PROGRAMMABLE CONTROLLER FOR ALL AREAS TO RECEIVE PLANTING. ALL TREE, SHRUB AND GROUNDCOVER PLANTINGS SHALL RECEIVE DRIP IRRIGATION. ALL TURF AREAS SHALL RECEIVE SPRAY IRRIGATION. A SHOP DRAWING SUBMITTAL FOR THE IRRIGATION SYSTEM IS REQUIRED FOR APPROVAL PRIOR TO CONSTRUCTION. IRRIGATION SHOP DRAWING SHALL BE PREPARED BY AN IRRIGATION ASSOCIATION CERTIFIED DESIGNER. IRRIGATION DESIGN AND CONSTRUCTION SHALL INCLUDE ALL NECESSARY ELECTRICAL AND PLUMBING, INCLUDING IRRIGATION METER AND BACKFLOW PREVENTER.

PROJECT MANAGER	DRAWING SCALE	REV.	DATE
AJR			
DESIGNED BY	PROJECT DATE		
AJR	7-7-17		
DRAWN BY	PROJECT NUMBER		
AJR			
APPROVED BY	TASK / PHASE		
AJR			
F



SITE SUMMARY:

OWNER: DAVIDSON COMMONS EAST CONDOMINIUM ASSOCIATES LLC
P.O. BOX 1696
CHARLOTTE, NC 28036
SITE ADDRESS:
127 DAVIDSON GATEWAY DRIVE,
DAVIDSON, NC 28036
PROJECT COMPLETION DATE: 3RD QUARTER OF 2019
PROJECT TYPE: WORK PLACE

PROJECT IS WITHIN THE TOWN OF DAVIDSON
SITE ACREAGE: 2.10 AC (91,759 SQ. FT)
ZONING: CONDITIONAL PLANNING AREA
TAX ID: 003-23-190, 003-23-191
EXISTING LAND USE: VACANT
PROPOSED USE: +/-115 ROOM HOTEL
BUILDING FLOOR AREA: 74,500 SQ. FT.
(4 FLOORS)

REQUIRED MINIMUM SETBACKS:
FRONT SETBACK: MINIMUM 0FT.
SIDE SETBACK: MINIMUM 0 FT.
SIDE SETBACK: MINIMUM 0 FT.
REAR SETBACK: MINIMUM 0 FT.

IMPERVIOUS AREA SUMMARY:
LOT AREA = 91,759 SQ. SF / 2.10 AC.
IMPERVIOUS ALLOWED: 52,360 SF/1.20 AC.
NEW IMPERVIOUS AREA: 52,336 SF / 1.20 AC.

PARKING SUMMARY:
PARKING PROVIDED: 113 SPACES
(THIS INCLUDES 30 SPACES ALONG DAVIDSON GATEWAY & GRIFFITH, AS WELL AS SHARED 14 PARKING WITH WOODIE'S PER PARKING AGREEMENT MAP 30349 PG 654)
ACCESSIBLE SPACES REQUIRED = 4 SPACES, 1 OF WHICH MUST BE VAN ACCESSIBLE
(SEE CONDITION NOTE, SHEET C1.0)

LONG TERM BIKE PARKING:
PROVIDED: 6 SPACES
(SEE CONDITION NOTE, SHEET C1.0)

SHORT TERM BIKE PARKING:
PROVIDED: 12 SPACES
(SEE CONDITION NOTE, SHEET C1.0)

WATERSHED INFORMATION:
POST CONST. DISTRICT: CATAWBA
STREAM WATERSHED: LAKE NORMAN
REGULATED DRINKING WATERSHED: LAKE NORMAN
REGULATED DRINKING WATERSHED CLASS: CRITICAL AREA
FEMA PANEL # 3710464400K

KEY NOTES

1. NEW 1-6" CONC. CURB AND GUTTER(TYP) SEE DETAIL,
2. HEAVY DUTY ASPHALT PAVEMENT SEE DETAIL
3. LIGHT DUTY ASPHALT PAVEMENT TO SUPPORT 80,000 FIRE APPARATUS.
4. REINFORCED CONCRETE PAVEMENT SEE DETAIL
5. NEW 7' CONC. SIDEWALK (TYP) SEE DETAIL
6. NEW 6' CONC. SIDEWALK (TYP) SEE DETAIL
7. NEW CONC. SIDEWALK WIDTH VARIES SEE DETAIL
8. DEPRESSED CURB/GUTTER FLUSH WITH PAVEMENT FOR ACCESSIBILITY WITH VERTICAL CURB TRANSITION TO 6" HIGH BACK CURB.
9. ACCESSIBLE PARKING SIGN IN ACCORDANCE WITH APPLICABLE CODES (TYP), RAISE SIGNAGE TO 7 FEET PER DETAIL.
10. TRASH AND RECYCLE RECEPTACLES WITHIN OPAQUE SCREENING ENCLOSURE WITH OPAQUE GATES. SEE ARCH PLANS
11. ADA ACCESSIBLE RAMP
12. TIE NEW SIDEWALK INTO EXISTING SIDEWALK
13. TIE NEW ASPHALT INTO EXISTING ASPHALT
14. HARDSCAPE TO BE DESIGNED PER DPO CRITERIA
15. TREE PITS, SEE DETAIL
16. OMIT
17. TRANSFORMER INSTALLED PER DUKE ENERGY SPECIFICATIONS
18. RETAINING WALL DESIGNED PER DPO CRITERIA
19. SCREEN WALL DESIGNED PER DPO CRITERIA
20. PEDESTRIAN GATE DESIGNED PER DPO CRITERIA
21. TIE NEW CURB AND GUTTER INTO EXISTING CURB AND GUTTER
22. FULL DEPTH ASPHALT, SEE DETAIL
23. 6 SHORT TERM BIKE PARKING SPACES. (3) INVERTED U-RACKS W/4" CONC. PAD, SEE DETAIL, SHEET C4.2)
24. 6 COVERED LONG TERM BIKE PARKING SPACES. (3) INVERTED U-RACK W/4" CONC. PAD,, SEE DETAIL, SHEET C4.2) COVERED STRUCTURE SHALL BE DESIGNED PER DPO CRITERIA
25. SITE TRIANGLE

SEE SHEET C4.2 FOR STREET SECTIONS FOR DAVIDSON GATEWAY DRIVE & GRIFFITH STREET

PROJECT MANAGER	AJR
DESIGNED BY	AJR
DRAWN BY	AJR
APPROVED BY	AJR
SCALE	1"=20'
PROJECT DATE	7.7.17
PROJECT NUMBER	17-0-0-0

VICINITY MAP
1"=700'

20 0 10 20 40 80
SCALE: 1" = 20'

GEOSCIENCE GROUP
Mailing Address:
Post Office Box 1
Charlotte, NC 28217
Phone: 704.525.2003
Fax: 704.525.2013
www.geosciencegroup.com
NC FIRM LICENSE C-0585(NG)
NC FIRM LICENSE C-2790(A)

PROJECT MANAGER	DRAWING SCALE	REV.	DATE
AJR	1"=20'		
DESIGNED BY	PROJECT DATE		
JLR	7.7.17		
APPROVED BY	PROJECT NUMBER		
AJR	1		
TASK	PHASE		
FILE NAME	PLOT DATE		

Drawing Status

- [x] PRELIMINARY NOT FOR CONSTRUCTION
- [ ] ISSUED FOR BIDDING
- [ ] ISSUED FOR PERMIT
- [ ] ISSUED FOR CONSTRUCTION

HYATT PLACE
DAVIDSON, NORTH CAROLINA

NORTH CAROLINA PROFESSIONAL SEAL 10725 ENGINEER AARON S. CALDWELL
7.7.17

SITE PLAN

C1.2

FIVE SIX FIVE, LLC
Deed Book 17520, Pg. 602
Parcel ID: 00323186
Zoning: LPA

Davidson Gateway Drive
55' Public Right of Way
(Map Book 55, Page 623)

KING'S CROWN, LLC
Deed Book 28822, Pg. 721
Parcel ID: 00323192
Zoning: LPA

20' ACCESS EASEMENT
Deed Book 49, Pg. 655-657

20.00'

20.00'

PK(S)

PK(S)

PK(S)

IP(S)

IP(F)

IP(F)

IP(F)

80.00'

SPINNAKER COVE PATIO HOMEOWNERS ASSOC INC
Deed Book 06474, Pg. 747
Parcel ID: 00330149
Zoning: LPA

Griffith Street (S.R. 2158)
80' Right of Way
(Per Map Book 55, Page 623)

18' Landscape Easement
(Deed Book 6193, Page 61)

Ponding/Flooding Easement to Duke Power Company
Deed Book 2746, Page

approx. location of 30' S.W.I.M. BUFFER per Map Book 55, Page 623

approx. location of 30' S.W.I.M. BUFFER per Map Book 55, Page 623

approx. top of bank

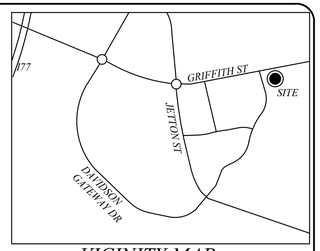
approx. top of bank

Town of Davidson
Deed Book 3793 Pg. 991
Parcel ID: 00323119
Zoning: VIP

David D. Malphurs, Jr.
Deed Book 10203, Page 722
Lot 7, Blk. 3 MB 14 Pg. 41
Tax I.D. 00323112
Zoning: VIP

James E. Huntley &
wife Laura K. Huntley
Deed Book 3136, Page 528
Lot 6, Block 3 Map Book 14 Page 41
Parcel ID: 00323113
Zoning: VIP

James W. Lowery &
wife, Alice T. Lowery
Deed Book 2894, Pg. 393
Lot 5, Block 3, Map Book, 14 Page 41
Parcel ID: 00323114
Zoning: VIP



VICINITY MAP
1"=700'

OPEN SPACE:

TOTAL OPEN SPACE REQUIRED (5% OF TOTAL AREA): 2.1 (0.05) = 4,574 FT²
TOTAL POST CONSTRUCTION OPEN SPACE REQUIRED (10% OF TOTAL AREA: 2.1(0.1)= 9,148 FT²

PROVIDED:
PRIMARY CONSERVATION AREA: 19,751 FT²(21.5%)

ADDITIONAL OPEN SPACE: 6,142 FT²

TOTAL: 25,893 FT²

20 0 10 20 40 80
SCALE: 1" = 20'

PROJECT MANAGER	AJR
DESIGNED BY	AJR
APPROVED BY	AJR
FILE NAME	
DRAWING SCALE	1"=20'
PROJECT DATE	7.7.17
PROJECT NUMBER	0170-17-0003
TASK	
PHASE	
PLOT DATE	
REV.	
DATE	

GEOSCIENCE GROUP
Mailing Address: 9000 Harris Corporate Blvd
Charlotte, NC 28217
Phone: 704.525.2003
Fax: 704.525.2005
www.geosciencegroup.com
NC FIRM LICENSE C-0585(ENG)
NC FIRM LICENSE C-278(LA)

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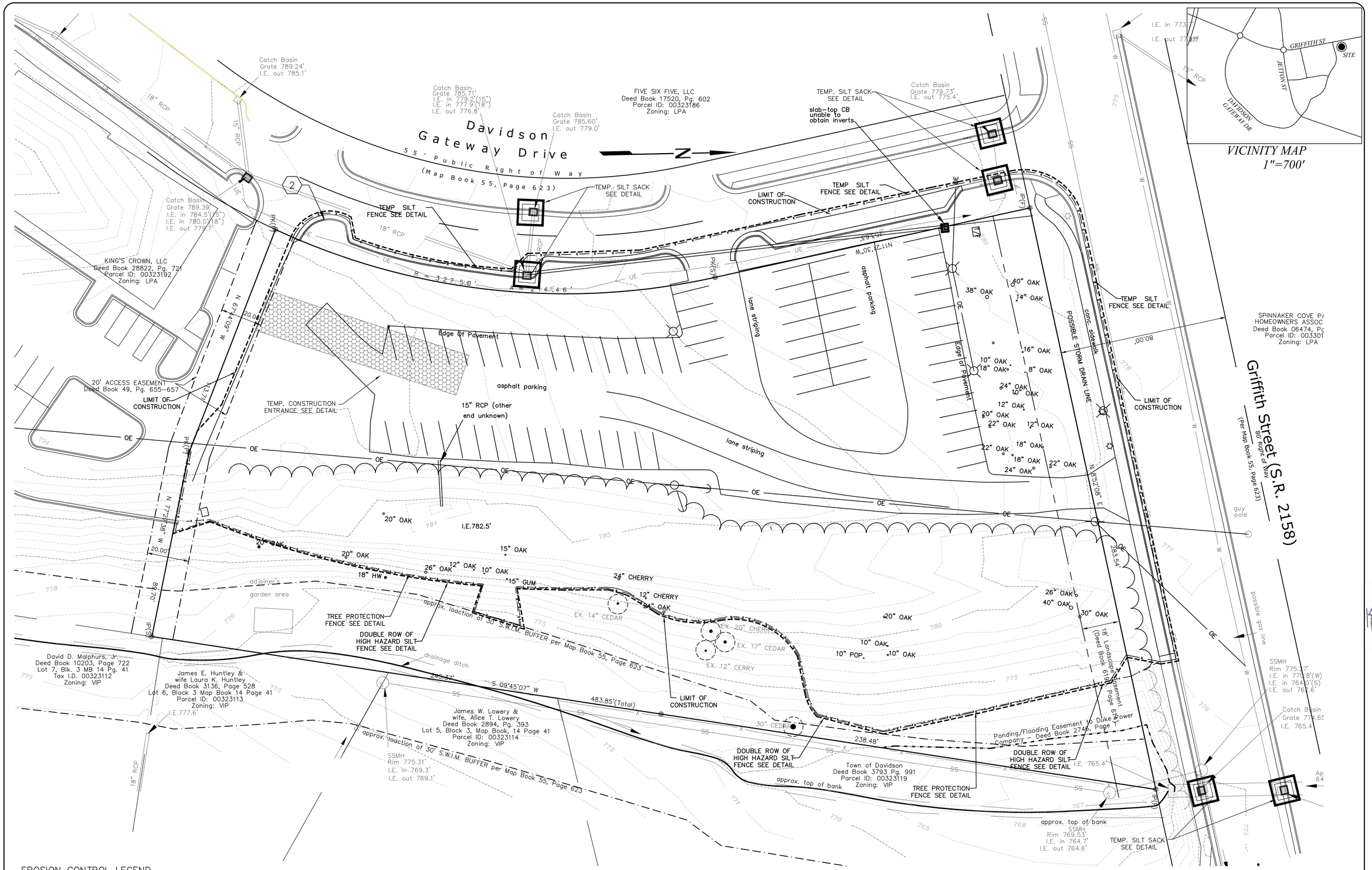
ISSUED FOR BIDDING
ISSUED FOR PERMIT
ISSUED FOR CONSTRUCTION
Drawing Status

HYATT PLACE
DAVIDSON, NORTH CAROLINA

NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 10725 ALVIN R. JAVIER CALDWELL
7.7.17

OPEN SPACE PLAN

C1.3



EROSION CONTROL LEGEND

- DENUDED/DISTURBED LIMITS
- TEMPORARY SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- INLET PROTECTION (SEE PLAN FOR TYPE)
- SILT SACK
- TREE PROTECTION FENCE

Know what's below. Call before you dig.

PROJECT MANAGER	AJR
DRAWN BY	AJR
APPROVED BY	AJR
DRAWING SCALE	1"=20'
PROJECT DATE	7.7.17
PROJECT NUMBER	3-3-3
TASK	PHASE
PLOT DATE	
FILE NAME	

REV.	DATE

GEOSCIENCE GROUP
Mailing: 9800 Mt. Ryan Road Charlotte, NC 28217
Phone: 704.525.2003
Fax: 704.525.2003
www.geosciencegroup.com
NC FIRM LICENSE C-0585(NW)
SC FIRM LICENSE C-2781(LA)

Drawing Status
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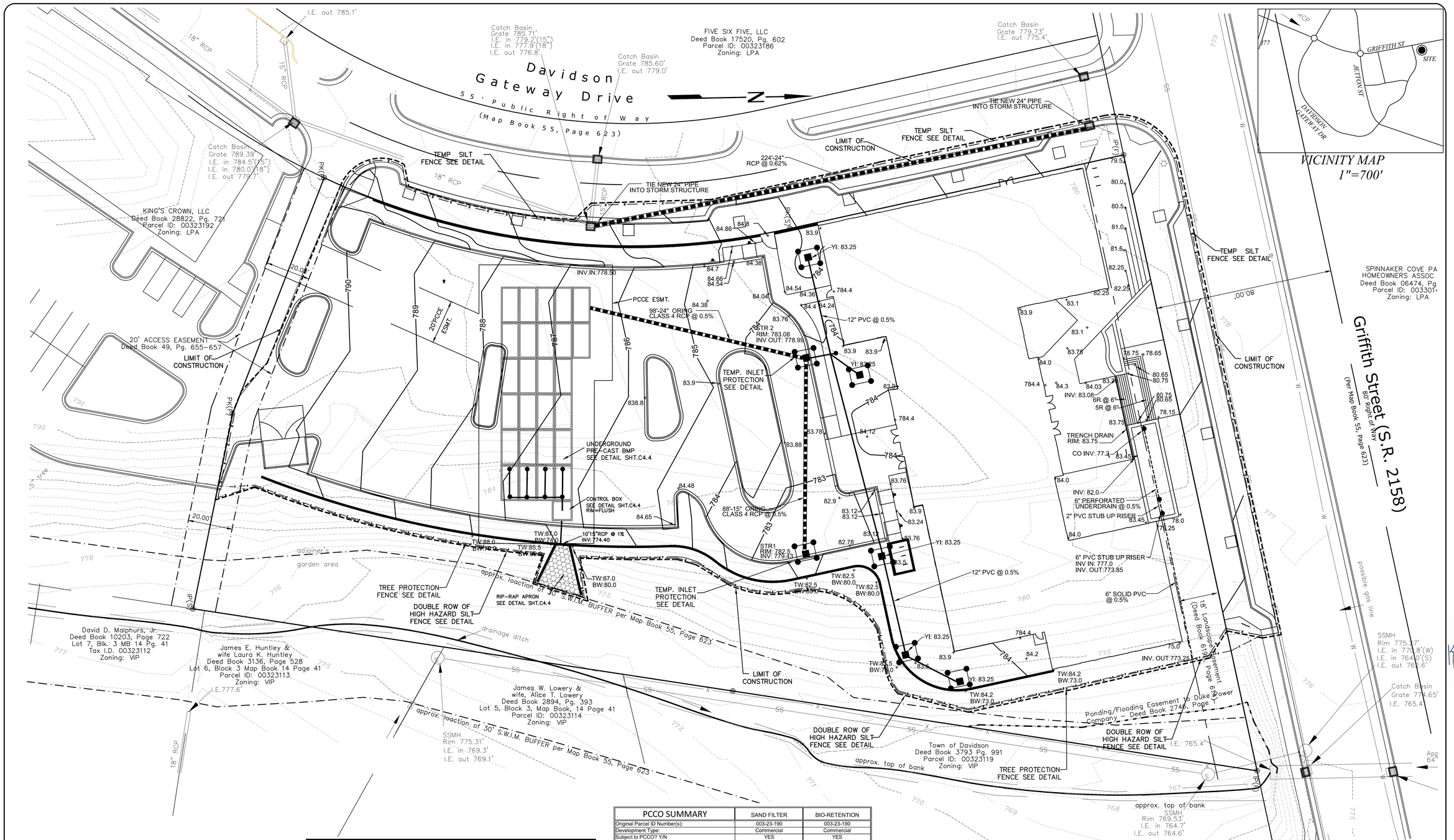
- ☐ ISSUED FOR PERMIT
- ☐ ISSUED FOR CONSTRUCTION

HYATT PLACE
DAVIDSON, NORTH CAROLINA

NORTH CAROLINA PROFESSIONAL SEAL 10725 ENGINEER KEVIN S. CALDWELL 7.7.17

PHASE 1 – EROSION CONTROL PLAN

C2.1



BMP Inset Table Bioretention Garden	
Project Name:	HYATT PLACE
Sequence ID:	
Surface Area (sq. ft.):	462
Drainage Area (acres):	0.05
Land Use/Development Type:	COMMERCIAL
Percent Built-Upon Area:	100
Maximum Pool Depth (ft.):	1.25
Sand Depth (ft.):	4
Mulch Depth (in.):	3
Flow Diverter Present (Y/N):	N
Regulated By:	PCCO
Treatment Effectiveness:	OPTIMAL
NC State Plane X (easting):	35-30-13
NC State Plane Y (northing):	80-51-49

BMP INSERT TABLE SAND FILTER	
Project Name:	BMP 1
Sequence ID:	1
Drainage Area (acres):	1.37
Land Use/Development Type:	Commercial
Percent Built-Upon Area:	88
Sediment Chamber Length (ft.):	15'
Sediment Chamber Width (ft.):	30'
Sediment Chamber Height (ft.):	2'
Sand Filter Type:	UNDERGROUND
Media Depth (ft.):	2.5'
Flow Diverter Present (Y/N):	N
Regulated By:	PCCO
Treatment Effectiveness:	Optimal
NC State Plane X (easting):	35-30-12
NC State Plane Y (northing):	80-51-49

PCCO SUMMARY	SAND FILTER	BIO-RETENTION
Original Parcel ID Number(s):	003-23-190	003-23-190
Development Type:	Commercial	Commercial
Subject to PCCO? Y/N	YES	YES
If NO, why?		
Watershed:	Central Catawba	Central Catawba
Disturbed Area (ac):	1.95	1.95
Site Area (ac):	2.1	2.1
	BMP	BMP
Total on-site Drainage Area (ac):	1.37	0.05
Existing Built-upon-area (SF):	18,399	1860
Existing BUA to be removed (SF):	18,399	0
Existing BUA to remain (SF):	0	0
Proposed New BUA (SF):	52,272	2,178
Proposed % BUA:	88	100
Density (High / Low)	HIGH	HIGH
Total Post-Project BUA for site:	52,272	2,178
Development or Redevelopment?	Development	Development
Natural Area Required (ac):	YES	YES
Natural Area provided, total (ac):	N/A	N/A
Undisturbed Treed Natural Area Preserved (ac):	0.45	0.45
Total stream buffer protected on-site (ac):	0	0
Transit Station Area? Y/N	N	N
Distressed Business District? Y/N	N	N
Mitigation Type (if applicable)	N/A	N/A
Natural Area mitigation? Y/N	N	N
Buffer Mitigation? Y/N	N	N
Total Phosphorous Mitigation? Y/N	N	N

811 Know what's below. Call before you dig.

DENUDED AREA: 1.95 acres

SCALE: 1" = 20'

DATE	REV.

DRAWING SCALE 1"=20'
PROJECT DATE 7.7.17
PROJECT NUMBER 03-0-0
PHASE
TASK
PLOT DATE
PROJECT MANAGER JLR
DRAWN BY JLR
APPROVED BY JLR
FILE NAME

GEOSCIENCE GROUP
Mailing: 8000 Corporate Ring Road
Charlotte, NC 28217
Phone: 704-525-2003
Fax: 704-525-2007
www.geosciencegroup.com
NC FIRM LICENSE C-0585(CNG)
NC FIRM LICENSE C-2790(LA)

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- ☐ ISSUED FOR PERMIT
- ☐ ISSUED FOR CONSTRUCTION

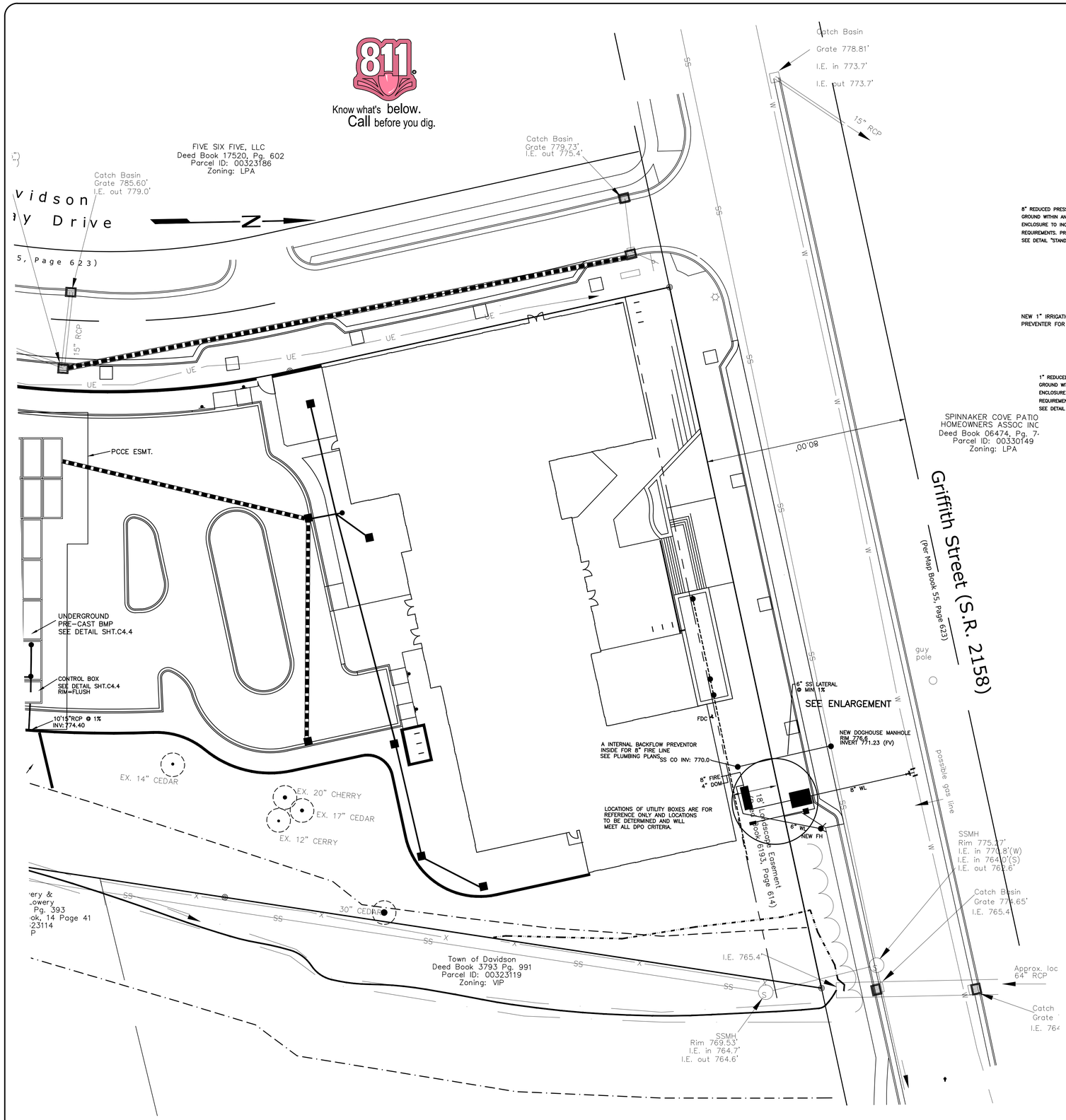
Drawing Status

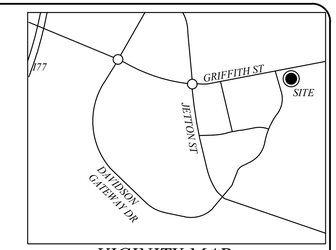
HYATT PLACE
DAVIDSON, NORTH CAROLINA

NORTH CAROLINA PROFESSIONAL SEAL 10725 ENGINEER KEVIN S. CALDWELL
7.7.17

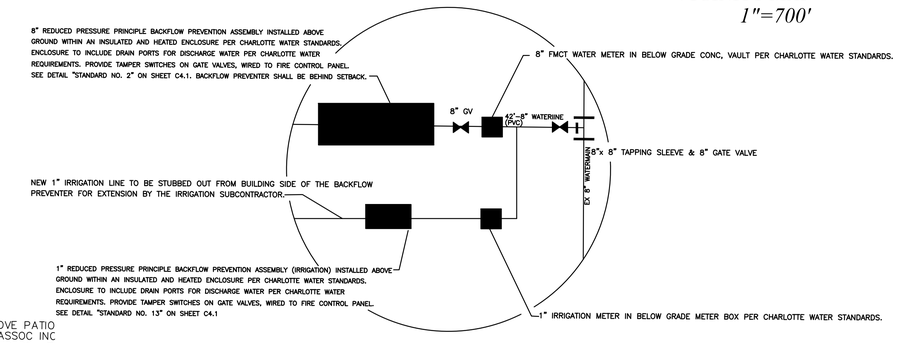
GRADING PLAN

C2.2





VICINITY MAP
1"=700'



UTILITY NOTES:

1. THE UTILITIES AND THE LOCATIONS THEREOF, SHOWN ON THE DRAWING, REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, GAS, ETC.) WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATION. THE OMISSION OF OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NON-EXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTACT U-LOCO (1-800-632-4949) PRIOR TO DIGGING.

2. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CARE SHALL BE TAKEN TO PREVENT DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THESE UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

3. CONTRACTOR TO COORDINATE WITH OTHER UTILITY COMPANIES TO PREVENT CONFLICTS (I.E., PIPE CROSSINGS) WHEN LAYING PIPE. SOME UTILITIES MAY NEED TO BE ADJUSTED IN FIELD. CONTACT ENGINEER IMMEDIATELY IF SUCH A CASE ARISES.

4. CONTRACTOR TO COORDINATE ANY UTILITY REMOVALS AND RELOCATIONS WITH CMUD, DUKE POWER, PIED. NAT. GAS, AND OWNER.

5. USE WYES, BENDS & TEES AS NECESSARY FOR UTILITY CONSTRUCTION.

6. CONTRACTOR TO OBTAIN APPROVED LISTS FOR MAKES & MODELS OF ALL METERS AND BACKFLOW DEVICES FROM CHARLOTTE WATER.

7. MINIMUM COVER OVER ALL WATER LINES IS TO BE 3'.

8. MINIMUM SEPARATION DISTANCES FOR SANITARY SEWER LINES FROM:
   A. WATER LINES – 18" VERTICAL OR 10' HORIZONTAL
   B. STORM SEWERS – 12" VERTICAL

9. D.I.P. WITH MECHANICAL JOINT ENDS MAY BE SUBSTITUTED WHERE SEPARATION DISTANCES BETWEEN THE SANITARY SEWER LINE AND WATER LINE OR STORM SEWER CANNOT BE MAINTAINED. PIPE MUST BE LAID SUCH THAT FULL SECTIONS OF PIPE ARE CENTERED ON THE CROSSING POINT & EXTEND A DISTANCE OF 10' ON EACH SIDE OF THE POINT OF CROSSING.

10. SEWER SERVICE LATERALS ARE SHOWN AT ANTICIPATED LOCATIONS. CONTRACTOR SHALL COORDINATE FINAL LOCATIONS WITH DEVELOPER.

11. ALL CONSTRUCTION AND CONSTRUCTION MATERIALS SHALL CONFORM TO CHARLOTTE WATER SPECIFICATIONS AND DETAILS.

12. CONTRACTOR TO PROVIDE ALL EROSION CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL AUTHORITIES.

13. ALL TAP FEES FOR WATER METER, SANITARY SEWER, GAS, ELECTRICAL, ETC, AS WELL AS CAPACITY CHARGES, SHALL PAID BY THE OWNER.

14. ALL SITE WATER AND SEWER SHOWN SHALL BE INSPECTED AND APPROVED BY THE MECKLENBURG COUNTY LUESA PLUMBING INSPECTOR PRIOR TO TRENCH BACKFILL.

15. WATERLINE, WATER METER AND BACKFLOW PREVENTER SIZES SHOWN ARE APPROXIMATE PENDING FINAL PLUMBING DESIGN TO BE PROVIDED BY OTHERS. CONTRACTOR SHALL CONFIRM WATERLINE SIZE AND COORDINATE WATERLINE SYSTEM WITH THE PLUMBING ENGINEER AND FIRE PROTECTION ENGINEER PRIOR TO CONSTRUCTION.

16. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.

EACH CHARLOTTE WATER REQUIRED BPA IS REQUIRED TO BE TESTED BY CHARLOTTE WATER APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE.

CONTRACTOR TO COORDINATE WITH CHARLOTTE WATER WITH REGARD TO THE CONNECTIONS OF THE PROPOSED WATER & SANITARY SEWER LINES. CONTRACTOR TO LOCATE & VERIFY EXISTING WATER MAIN & SANITARY SEWER LATERALS AND NOTIFY DESIGN ENGINEER OF ANY CONFLICTS IN PROPOSED DESIGN PRIOR TO CONSTRUCTION.

THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTIONS POINTS, OR ANY OTHER WATER-USING APPURTENANCES CONNECTED TO THE WATER SUPPLY LINES BETWEEN ANY WATER METER AND ITS CHARLOTTE WATER REQUIRED BACKFLOW PREVENTER.

NOTE: CONTRACTOR TO REFER TO PLUMBING PLANS FOR ADDITIONAL INFORMATION OF ALL UTILITY CONNECTIONS TO BUILDING

CONTRACTOR TO COORDINATE ELECTRICAL SERVICE SIZE AND LOCATION WITH ELECTRIC UTILITY.

20 0 10 20 40 80

SCALE: 1" = 20'

DATE	REV.	

PROJECT MANAGER: AJR
DESIGNED BY: AJR
DRAWING SCALE: 1"=20'
PROJECT DATE: 7.7.17
PROJECT NUMBER: CHLR.0115.CL
APPROVED BY: MSC
PLOT DATE:
FILE NAME:

GEOSCIENCE GROUP
Mailing: 9800 Mt. Holly Road
Charlotte, NC 28217
Phone: 704.525.2003
Fax: 704.525.2013
www.geosciencegroup.com
NC FIRM LICENSE C-0585(P005)
NC FIRM LICENSE C-278(LA)

Drawing Status
- [x] PRELIMINARY NOT FOR CONSTRUCTION
- [ ] ISSUED FOR BIDDING
- [ ] ISSUED FOR PERMIT
- [ ] ISSUED FOR CONSTRUCTION

HYATT PLACE
DAVIDSON, NORTH CAROLINA

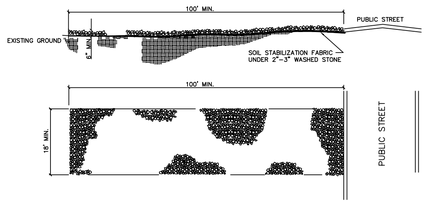
NORTH CAROLINA PROFESSIONAL SEAL 10725 ENGINEER MELVIN S. CALDWELL 7.7.17

UTILITY PLAN

C3.1

NOTES:

1. A STABILIZED ENTRANCE PAD OF 2"-3" WASHED STONE SHALL BE LOCATED WHERE TRAFFIC WILL ENTER OR LEAVE THE CONSTRUCTION SITE ONTO A PUBLIC STREET.
2. FILTER FABRIC OR COMPACTED CRUSHER RUN STONE SHALL BE USED AS A BASE FOR THE CONSTRUCTION ENTRANCE.
3. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS WARRANT AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
4. ANY SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY.
5. WHEN APPROPRIATE, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN SEE STD. NO. 30.11B.
6. COUNTY MAY REQUIRE A STANDARD COMMERCIAL DRIVEWAY (STD. 10.24 & 10.25) TO ACCESS THE CONSTRUCTION SITE IF THE DRIVEWAY IS ON A THOROUGHFARE.



APPROVED DATE: 02/2007

NOT TO SCALE

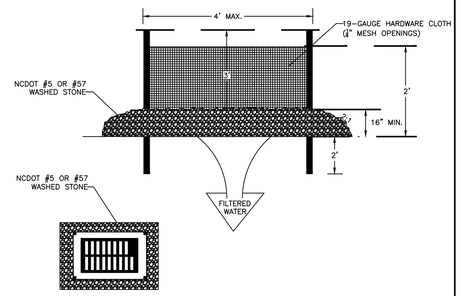
MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

STABILIZED CONSTRUCTION ENTRANCE

STD. NO. 30.11A REV.

GENERAL NOTES:

1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
2. DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
3. SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 2-FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
4. PLACE CLEAN GRAVEL (NC DOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
5. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
6. COMPACT THE AREA PROPERLY AND STABILIZED IT WITH GROUNDCOVER.

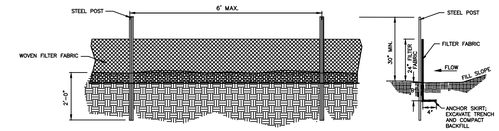


NOT TO SCALE

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

HARDWARE CLOTH AND GRAVEL INLET PROTECTION

STD. NO. 30.09 REV.



GENERAL NOTES:

1. FILTER FABRIC FENCE SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
2. WOVEN FILTER FABRIC BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
3. STEEL POSTS SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
4. TURN SILT FENCE UP SLOPE AT ENDS.
5. ORANGE SAFETY FENCE IS REQUIRED AT BACK OF SILT FENCE WHEN GRADING IS ADJACENT TO SWIM BUFFERS, STREAMS OR WETLANDS (REFER TO SWIM BUFFER GUIDELINES). THE COLOR ORANGE IS RESERVED FOR VISUAL IDENTIFICATION OF ENVIRONMENTALLY SENSITIVE AREAS.
6. DRAINAGE AREA CAN NOT BE GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
7. SLOPE LENGTHS CAN NOT EXCEED CRITERIA SHOWN IN TABLE 6.62A NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
8. DO NOT INSTALL SEDIMENT FENCE ACROSS STREAMS, DITCHES, WATERWAYS OR OTHER AREAS OF CONCENTRATED FLOW.

MAINTENANCE NOTES:

1. FILTER BARRIERS SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
2. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROX. HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

NOT TO SCALE

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

TEMPORARY SILT FENCE

STD. NO. 30.06A REV.

TEMPORARY SEEDING FOR WARM AND COOL SEASON

	EARLY SUMMER SEASON	STEEP SLOPES
SEEDING MIXTURE	40 lbs/acre of German millet 80 lbs/acre of tall fesue	120 lbs/acre Rye (grain) 80 lbs/acre tall fesue
SEEDING DATES	May 1 – August 15 Refertilize if growth is not fully adequate. Apply 4000 lbs/acre straw or equivalent hydroseeding.	October 25 – December 30 Between December 30 – February 15, add 50 lbs/acre of annual Kobe lespedeza. Apply 4000 lbs/acre straw or equivalent hydroseeding.
SEEDING AMENDMENTS	Apply lime and fertilizer per soil tests, or 2000 lbs/acre limestone and 750 lbs/acre 10–10–10 fertilizer.	Apply lime and fertilizer per soil tests, or 2000 lbs/acre limestone and 750 lbs/acre 10–10–10 fertilizer.

APPROVED DATE: 02/2007

NOT TO SCALE

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

SEEDING SCHEDULE (SEASONAL)

STD. NO. 30.17B REV.

	GENTLE SLOPES	STEEP SLOPES
SEEDING MIXTURE	80 lbs/acre of tall fesue	100 lbs/acre tall fescue 30 lbs/acre Sericea lespedeza (unscarified after August 15) 10 lbs/acre Kobe lespedeza
SEEDING DATES	FALL: August 25 – October Late winter: February 15 – April 15 To extend spring seeding into June, add 15 lbs/acre hulled Bermudagrass Overseeding of Kobe lespedeza over fall–seeded tall fescue is very effective.	FALL: August 25 – October 15 Late winter: February 15 – April 15 To extend spring seeding into June, add 15 lbs/acre hulled Bermudagrass Overseeding of Kobe lespedeza over fall–seeded tall fescue is very effective.
SEEDING AMENDMENTS	Apply lime and fertilizer per soil tests, or 4000 lbs/acre limestone and 1000 lbs/acre 10–10–10 fertilizer.	Apply lime and fertilizer per soil tests, or 4000 lbs/acre limestone and 1000 lbs/acre 10–10–10 fertilizer.

NOTE 1
Ground Cover-- Protective cover must be established on all disturbed areas within 5 calendar days after land disturbing activity is completed or has temporarily ceased.

NOTE 2
Graded slopes and fills--Protective cover must be established on all graded slopes and fills within 5 calendar days after a phase of grading is completed or has temporarily ceased.

APPROVED DATE: 02/2007

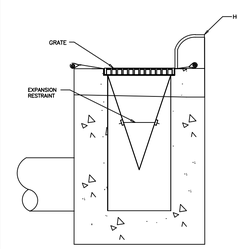
MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

SEEDING SCHEDULE

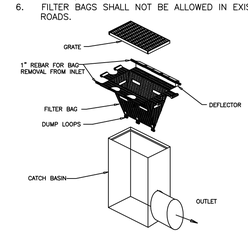
STD. NO. 30.17A REV.

NOTES

1. INLET MAINTENANCE SHALL BE DOCUMENTED IN PROJECT LOG BOOK.
2. FILTER TYPES SHALL BE APPROVED BY THE INSPECTOR PRIOR TO INSTALLATION.
3. FILTER BAGS MAY BE REMOVED WHEN SITE IS STABILIZED AT THE DIRECTION OF THE ENGINEER.
4. FILTER BAGS SHALL BE REMOVED PRIOR TO STREET ACCEPTANCE.
5. FILTER BAGS SHALL BE CLEANED OR REPLACED ON A REGULAR BASIS (NOT BE MORE THAN HALF FULL AT ANY TIME).
6. FILTER BAGS SHALL NOT BE ALLOWED IN EXISTING TOWN OR NCDOT ROADS.



SECTION



INSTALLATION

APPROVED DATE: 02/2007

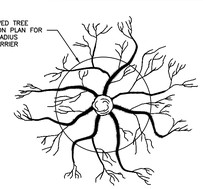
NOT TO SCALE

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

CATCH BASIN INLET PROTECTION

STD. NO. 30.15 REV.

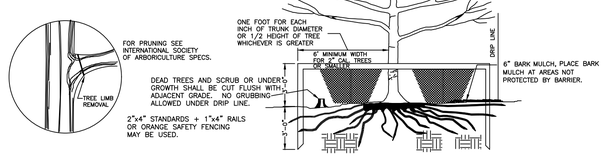
SEE APPROVED TREE PRESERVATION PLAN FOR REQUIRED RADIUS OF TREE BARRIER



PLAN VIEW OF ROOT ZONE

NOTES:

1. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.
2. LANDSCAPING PLANS SHALL SHOW THE LOCATIONS OF ALL TREE PROTECTION FENCES.
3. REFER TO CITY OF CHARLOTTE LANDSCAPE CONSTRUCTION STANDARDS SECTION 01000 FOR GENERAL SPECIFICATION REGARDING TREE PROTECTION.

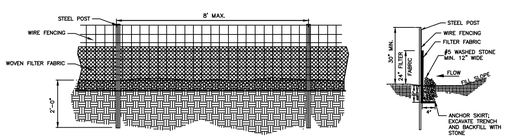


APPROVED DATE: 02/2007

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

TREE PROTECTION

STD. NO. 40.02 REV.



GENERAL NOTES:

1. FILTER FABRIC FENCE SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
2. WOVEN FILTER FABRIC BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
3. STEEL POSTS SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
4. WIRE FENCING SHALL BE AT LEAST #10 GAGE WITH A MINIMUM OF 6 LINE WIRES WITH 6" STAY SPACING.
5. TURN SILT FENCE UP SLOPE AT ENDS.
6. WIRE AND WASHED STONE IS REQUIRED TO BE SHOWN ON PLANS AT THE TOE OF SLOPES GREATER THAN 10 FEET VERTICAL (2:1 SLOPE)
7. ORANGE SAFETY FENCE IS REQUIRED AT BACK OF SILT FENCE WHEN GRADING IS ADJACENT TO SWIM BUFFERS, STREAMS OR WETLANDS (REFER TO SWIM BUFFER GUIDELINES). THE COLOR ORANGE IS RESERVED FOR VISUAL IDENTIFICATION OF ENVIRONMENTALLY SENSITIVE AREAS.
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MAINTENANCE NOTES:

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3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

NOT TO SCALE

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

HIGH HAZARD TEMPORARY SILT FENCE

STD. NO. 30.06B REV.

DATE	REV.	DRAWING SCALE NTS	PROJECT MANAGER AJR
		PROJECT DATE 7-7-17	DESIGNED BY AJR
		PROJECT NUMBER 17-3	APPROVED BY AJR
		TASK PHASE	FILE NAME
		PLOT DATE	

GEOSCIENCE GROUP
Mailing: 9600 Harris Corners Pkwy, Suite 300
Charlotte, NC 28269
Phone: 704-525-2003
Fax: 704-525-2013
www.geosciencegroup.com
NC firm LICENSE C-0585(NG)
NC firm LICENSE C-278(LA)

PRELIMINARY NOT FOR CONSTRUCTION

ISSUED FOR BIDDING

ISSUED FOR PERMIT

ISSUED FOR CONSTRUCTION

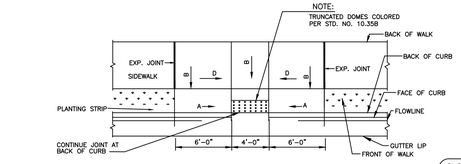
Drawing Status

HYATT PLACE
DAVIDSON, NORTH CAROLINA

NORTH CAROLINA PROFESSIONAL SEAL 10725 ENGINEER KEVIN S. CALDWELL
7.7.17

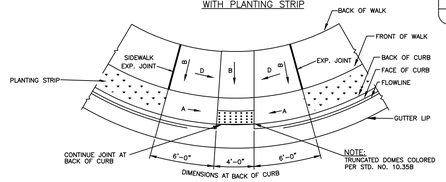
SITE DETAILS

C4.1



PLAN VIEW–PARALLEL RAMP WITH PLANTING STRIP

SLOPE "A"	12:1
SLOPE "B"	1/4"/FT
SLOPE "D"	3/8"/FT



PLAN VIEW–DIAGONAL RAMP WITH PLANTING STRIP

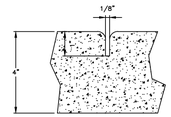
APPROVED DATE: 02/2007

NOT TO SCALE

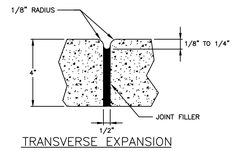
MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

ACCESSIBLE RAMP STANDARD WITH PLANTING STRIP 2'–6" CURB AND GUTTER

STD. NO. 10.31A REV.



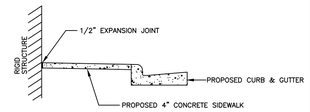
GROOVE JOINT IN SIDEWALK



TRANSVERSE EXPANSION JOINT IN SIDEWALK

GENERAL NOTES:

1. A GROOVE JOINT 1" DEEP WITH 1/8" RADII SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 45' INTERVALS NOT TO EXCEED 50' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
2. SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
3. WIDTH OF SIDEWALK ON THOROUGHFARE STREETS SHALL BE A MINIMUM OF 5'.
4. WIDTH OF SIDEWALKS ON NON–THOROUGHFARE STREETS SHALL BE A MINIMUM OF 5'.
5. SIDEWALK TO BE POURED TO END OF RADIUS AT INTERSECTING STREETS.
6. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI. IN 28 DAYS.
7. ZONING CONDITIONS MAY REQUIRE ADDITIONAL WIDTH SIDEWALKS WHICH SHALL SUPERSEDE THESE STANDARD DIMENSIONS SHOWN.



DETAILS SHOWING EXPANSION JOINTS FOR CONCRETE SIDEWALK

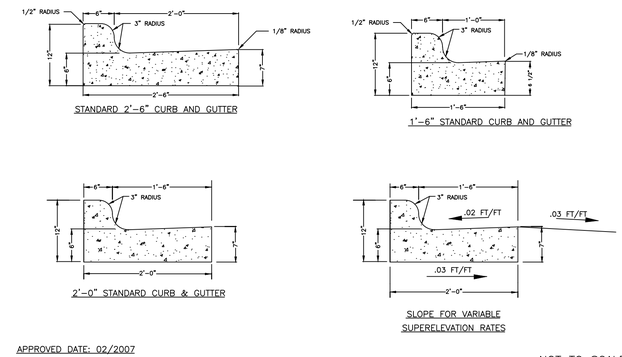
APPROVED DATE: 02/2007

NOT TO SCALE

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

CONCRETE SIDEWALKS

STD. NO. 10.22 REV.



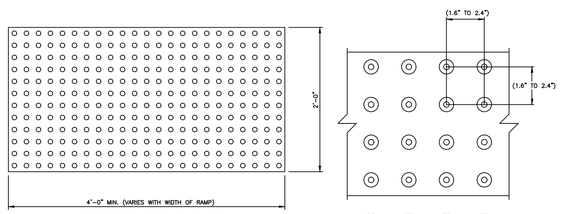
APPROVED DATE: 02/2007

NOT TO SCALE

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

STANDARD CURB AND GUTTER

STD. NO. 10.17A REV.

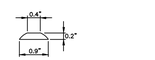


TRUNCATED DOME PLAN VIEW

TRUNCATED DOME SPACING

NOTES:

1. ALL DETECTABLE WARNING DEVICES USED IN NEW CONSTRUCTION SHALL BE OF A RIDGID PRECAST OR EMBEDDED PRODUCT APPROVED BY THE COUNTY ENGINEER. RETRO FIT MATS WILL ONLY BE ALLOWED ON EXISTING RAMPS WITH PRIOR APPROVAL OF THE COUNTY ENGINEER FOR MATERIAL TYPE AND INSTALLATION (IE. RESURFACING).
2. WIDTH OF DETECTABLE WARNING AREA SHALL BE A MINIMUM OF 4 FEET AND VARY WITH WIDTH OF RAMP.
3. LENGTH OF DETECTABLE WARNING AREA SHALL BE 2 FEET REGARDLESS OF SECTION WIDTH.
4. DETECTABLE WARNING AREA CAN BE SQUARE WHERE USED IN A CURB RADIUS.
5. DETECTABLE WARNING DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
6. DECTECTABLE WARNING AREA SHALL BE COLORED BLACK IN ALL LOCATIONS.
7. IF PAVERS ARE TO BE USED, PAVERS SHALL BE 6" THICK AND CAST FROM 5000 psi CONCRETE.
8. MATS ARE TO BE RIGID WITH TURN DOWN EDGES EMBEDDED IN CONCRETE TO ELIMINATE TRIP HAZARD.



TRUNCATED DOME SECTION

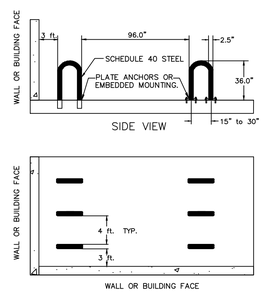
APPROVED DATE: 02/2007

NOT TO SCALE

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

TRUNCATED DOMES PLAN AND CROSS–SECTION

STD. NO. 10.35B REV.



NOTES:

1. BIKE RACKS SHOULD BE INSTALLED AS PER MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES.
2. ALTERNATIVE BIKE RACKS OR LOCKERS MAY BE USED BUT ARE SUBJECT TO APPROVAL BY THE TOWN AND/OR COUNTY.
3. ALL DIMENSIONS SHOWN ARE MINIMUM.

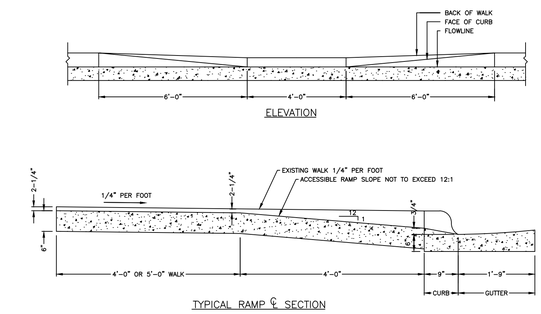
APPROVED DATE: 02/2007

NOT TO SCALE

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

INVERTED "U" RACK FOR BICYCLE PARKING

STD. NO. 50.20 REV.



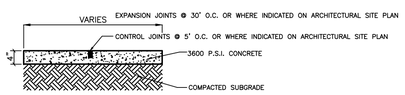
APPROVED DATE: 02/2007

NOT TO SCALE

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

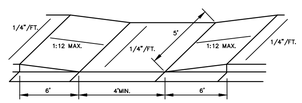
ACCESSIBLE RAMP SECTIONS WITH PLANTING STRIP 2–6" CURB AND GUTTER

STD. NO. 10.31B REV.



CONCRETE SIDEWALK DETAIL

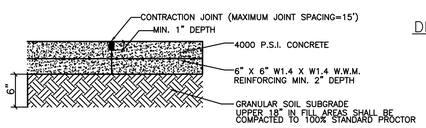
NOT TO SCALE



*NOTE
ACCESSIBLE RAMP SHALL BE IN ACCORDANCE WITH NC ACCESSIBILITY CODE, VOL. 1–C AND SHALL BE ADA COMPLIANT

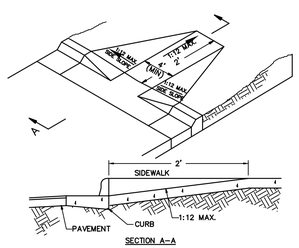
DEPRESSED CURB AT ACCESSIBLE PARKING SPACES AND RAMP

NOT TO SCALE



REINFORCED CONCRETE DETAIL
SOLID WASTE ENCLOSURE PAD AND 10' APPROACH APRON

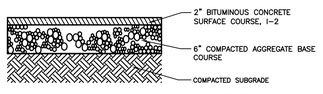
NOT TO SCALE



ACCESSIBLE CURB RAMP

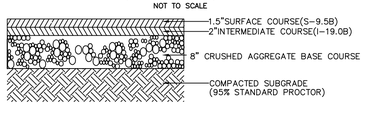
NOT TO SCALE

*NOTE
ALL ACCESSIBLE RAMPS, SIGNAGE, ETC. SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT, THE NC ACCESSIBILITY CODE AND ANSI. PROVIDE DETECTIBLE WARNING (TRUNCATED DOMES) WHERE APPLICABLE.



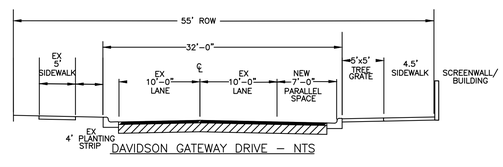
MEDIUM DUTY PAVEMENT SECTION
(AUTO AREAS)

NOT TO SCALE

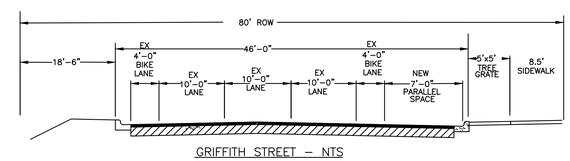


STANDARD HEAVY DUTY PAVEMENT SECTION

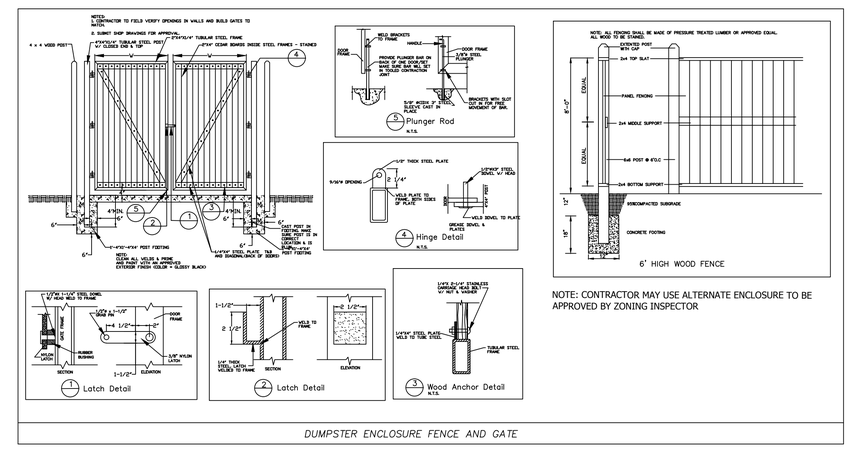
NOT TO SCALE



DAVIDSON GATEWAY DRIVE – NTS



GRIFFITH STREET – NTS



NOTE: CONTRACTOR MAY USE ALTERNATE ENCLOSURE TO BE APPROVED BY ZONING INSPECTOR

DUMPSTER ENCLOSURE FENCE AND GATE

PROJECT MANAGER	AJR
DESIGNED BY	AJR
DRAWING SCALE	NTS
PROJECT DATE	7.7.17
PROJECT NUMBER	2013
APPROVED BY	AJR
TASK	PHASE
FILE NAME	
PLOT DATE	
REV.	
DATE	

GEOSCIENCE GROUP
Northern Office
9800 Mt. Pleasant Road
Cornelius, NC 28031
Phone: 704.525.2003
Fax: 704.525.2023
www.geosciencegroup.com
NC FIRM LICENSE C-0585(NW)
NC FIRM LICENSE C-278(LA)

Drawing Status

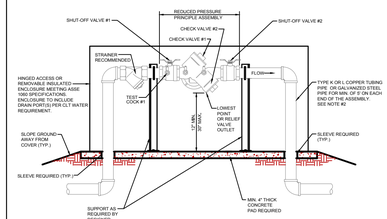
- [x] PRELIMINARY NOT FOR CONSTRUCTION
- [ ] ISSUED FOR BIDDING
- [ ] ISSUED FOR PERMIT
- [ ] ISSUED FOR CONSTRUCTION

HYATT PLACE
DAVIDSON, NORTH CAROLINA

NORTH CAROLINA PROFESSIONAL SEAL 10725 ENGINEER KEVIN S. CALDWELL
7.7.17

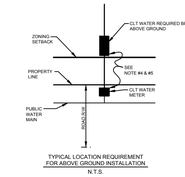
SITE DETAILS

C4.2



NOTES:

1. BACKFLOW PREVENTION ASSEMBLIES (BPA's) SHALL CONFORM TO CLT WATER SPECIFICATIONS. SHUT-OFF VALVES ARE SPECIFIC TO EACH APPROVED BPA AND NO SUBSTITUTIONS OF SHUT-OFF VALVES ARE PERMITTED. REFER TO CLT WATER APPROVED LIST OF BPA's.
2. PIPE MATERIAL AND FITTINGS SHALL BE AS SPECIFIED IN CLT WATER STANDARDS & SPECIFICATIONS.
3. INSULATED ENCLOSURE SHALL BE AS SPECIFIED IN CLT WATER ENCLOSURE INFORMATION - HEATED INSULATED ENCLOSURE IS RECOMMENDED. NO INSULATION SHALL BE WRAPPED AROUND BPA.
4. ALL LOCATIONS FOR BPA'S REQUIRE CLT WATER APPROVAL AND MUST BE OUTSIDE OF ZONING SET-BACK DIRECTLY BEHIND METER.
5. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CLT WATER - REQUIRED BACKFLOW PREVENTER.
6. EACH CLT WATER-REQUIRED BPA IS REQUIRED TO BE TESTED BY A CLT WATER - APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE. TEST RESULTS SHALL BE SUBMITTED TO CLT WATER WITHIN 30 DAYS AND TESTED ANNUALLY THEREAFTER SUBMITTING RESULTS TO CLT WATER.
7. ALL INSTALLATIONS INTENDED FOR ADDRESSING CLT WATER REQUIREMENTS, REQUIRE PRIOR APPROVAL FROM THE APPROPRIATE CLT WATER BACKFLOW INSPECTOR.

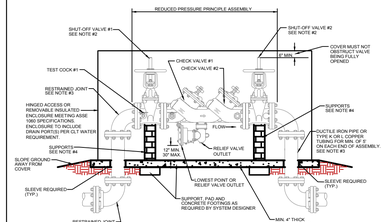


TYPICAL LOCATION REQUIREMENT FOR ABOVE GROUND INSTALLATION
N.T.S.

NO SCALE

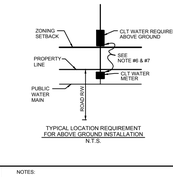
REDUCED PRESSURE PRINCIPLE ASSEMBLY (RP) 1/2 & 2" ABOVE GROUND

CHARLOTTE WATER — TRANSFORMING LIVES — BACKFLOW PREVENTION



NOTES:

1. BACKFLOW PREVENTION ASSEMBLIES (BPA's) SHALL CONFORM TO CLT WATER SPECIFICATIONS. SHUT-OFF VALVES ARE SPECIFIC TO EACH APPROVED BPA AND NO SUBSTITUTIONS OF SHUT-OFF VALVES ARE PERMITTED. REFER TO CLT WATER APPROVED LIST OF BPA's.
2. FIRE LINE SERVICES SHALL HAVE OUTSIDE STEM AND YOKE (OS & Y) HANDWHEEL OPERATORS OR BUTTERFLY VALVES, AND LISTED ON APPROVED LIST AS FIRE APPROVED. IF SERVING FIRE SPRINKLERS, TAMPER SWITCHES ARE REQUIRED.
3. PIPE MATERIAL AND FITTINGS SHALL BE AS SPECIFIED IN CLT WATER STANDARDS SPECIFICATION. ALL JOINTS SHALL BE RESTRAINED WITH MEGALUG RESTRAINTS OR APPROVED EQUAL.
4. SUPPORT OF ASSEMBLY SHALL BE DESIGNED BY OWNER. 8" - 12" SHALL BE SUPPORTED AT EACH VALVE AND SHALL NOT BLOCK RELIEF VALVE ON DRAIN PORT.
5. INSULATED ENCLOSURE SHALL BE AS SPECIFIED IN CLT WATER ENCLOSURE INFORMATION - HEATED INSULATED ENCLOSURE ARE REQUIRED FOR FIRE LINE SERVICES. NO INSULATION SHALL BE WRAPPED AROUND BPA.
6. ALL LOCATIONS FOR BPA'S REQUIRE CLT WATER APPROVAL AND MUST BE OUTSIDE OF ZONING SET-BACK DIRECTLY BEHIND METER.
7. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER - USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CLT WATER - REQUIRED BACKFLOW PREVENTER.
8. EACH CLT WATER-REQUIRED BPA IS REQUIRED TO BE TESTED BY A CLT WATER - APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE. TEST RESULTS SHALL BE SUBMITTED TO CLT WATER WITHIN 30 DAYS AND TESTED ANNUALLY THEREAFTER SUBMITTING RESULTS TO CLT WATER.
9. ALL INSTALLATIONS INTENDED FOR ADDRESSING CLT WATER REQUIREMENTS, REQUIRE PRIOR APPROVAL FROM THE APPROPRIATE CLT WATER BACKFLOW INSPECTOR.

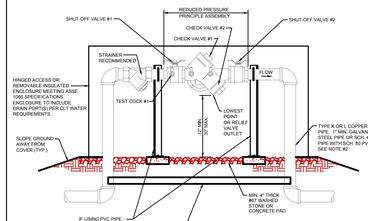


TYPICAL LOCATION REQUIREMENT FOR ABOVE GROUND INSTALLATION
N.T.S.

NO SCALE

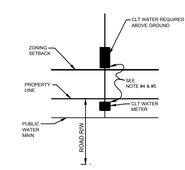
REDUCED PRESSURE PRINCIPLE ASSEMBLY (RP) 2 1/2 - 12" ABOVE GROUND

CHARLOTTE WATER — TRANSFORMING LIVES — BACKFLOW PREVENTION



NOTES:

1. BACKFLOW PREVENTION ASSEMBLIES (BPA's) SHALL CONFORM TO CLT WATER SPECIFICATIONS. SHUT-OFF VALVES ARE SPECIFIC TO EACH APPROVED BPA AND NO SUBSTITUTIONS OF SHUT-OFF VALVES ARE PERMITTED. REFER TO CLT WATER APPROVED LIST OF BPA's.
2. PIPE MATERIAL AND FITTINGS SHALL BE AS SPECIFIED IN CLT WATER STANDARDS & SPECIFICATIONS. IF USING PVC PIPE / FITTINGS, VERTICAL SUPPORT IS REQUIRED AND HORIZONTAL BRACING IS RECOMMENDED.
3. INSULATED ENCLOSURE SHALL BE AS SPECIFIED IN CLT WATER ENCLOSURE INFORMATION - HEATED INSULATED ENCLOSURE IS RECOMMENDED. NO INSULATION SHALL BE WRAPPED AROUND BPA.
4. ALL LOCATIONS FOR BPA'S REQUIRE CLT WATER APPROVAL AND MUST BE OUTSIDE OF ZONING SET-BACK DIRECTLY BEHIND METER.
5. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CLT WATER - REQUIRED BACKFLOW PREVENTER.
6. EACH CLT WATER-REQUIRED BPA IS REQUIRED TO BE TESTED BY A CLT WATER - APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE. TEST RESULTS SHALL BE SUBMITTED TO CLT WATER WITHIN 30 DAYS AND TESTED ANNUALLY THEREAFTER SUBMITTING RESULTS TO CLT WATER.
7. ALL INSTALLATIONS INTENDED FOR ADDRESSING CLT WATER REQUIREMENTS, REQUIRE PRIOR APPROVAL FROM THE APPROPRIATE CLT WATER BACKFLOW INSPECTOR.

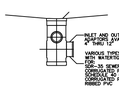


TYPICAL LOCATION REQUIREMENT FOR ABOVE GROUND INSTALLATION
N.T.S.

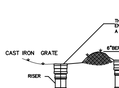
NO SCALE

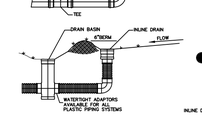
REDUCED PRESSURE PRINCIPLE ASSEMBLY (RP) 3/4" - 1" ABOVE GROUND

CHARLOTTE WATER — TRANSFORMING LIVES — BACKFLOW PREVENTION

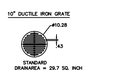


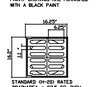
10" YARD INLET DETAIL
(FOR PAVED AREAS, PEDESTRIAN TRAFFIC)
NOT TO SCALE

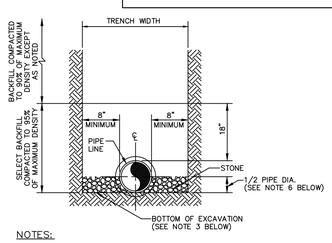




15x15 TYPICAL YARD INLET INSTALLATIONS
TYPICAL INSTALLATION OF DRAIN BASIN AND INLINE DRAIN



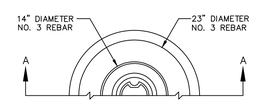




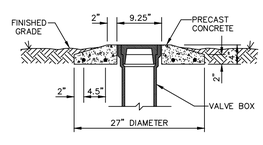
NOTES:

1. BACKFILL TO 95% OF MAXIMUM DENSITY WHERE EXCAVATIONS CUT THROUGH PAVEMENTS, CURBS, DRIVEWAYS AND SIDEWALKS, AND UNDER OR ADJACENT TO STRUCTURES.
2. STONE TO BE SIZE 1/2" TO 1-1/2", WELL TAMPED.
3. STONE IS REQUIRED TO 6" BELOW PIPE WHERE WET CONDITIONS OR ROCK IS ENCOUNTERED, ONLY AS DIRECTED.
4. HAND SHAPE TRENCH BOTTOM FOR LOWER QUADRANT OF PIPE AND BELLS.
5. PROVIDE MINIMUM 3'-0" COVER OVER PIPE.
6. STONE TO 1/2 PIPE DIA. NOT REQUIRED FOR C-900 P.V.C. OR DUCTILE IRON PIPE.

STANDARD WATER LINE TRENCH
NOT TO SCALE

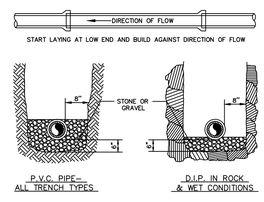


PLAN



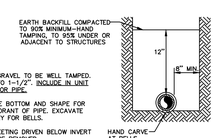
SECTION A–A

STANDARD VALVE BOX PROTECTOR
NOT TO SCALE



NOTES:

1. STONE OR GRAVEL TO BE WELL TAMPED. SIZE 1/2" TO 1-1/2". INCLUDE IN UNIT PRICE BID FOR PIPE.
2. HAND CARVE BOTTOM AND SHAPE FOR LOWER QUADRANT OF PIPE. EXCAVATE ADDITIONALLY FOR BELLS.
3. TRENCH SHEETING DRIVEN BELOW INVERT MUST NOT BE REMOVED.



D.I.P. NORMAL
STANDARD SEWER LINE TRENCH
NOT TO SCALE

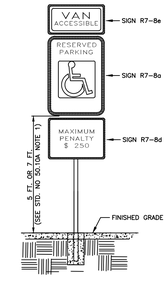
LEGEND AND BORDER – GREEN
BACKGROUND – WHITE

SIGN APPROVED FOR USE UNDER GENERAL STATUTE 20-37.6

R7-8d PENALTY SIGNS ARE REQUIRED TO ACCOMPANY ALL R7-8a PARKING SIGNS ERECTED AFTER DECEMBER 31,1990

NOTE:

SUPPLEMENTAL ACCESSIBLE SIGN (R7-8e) USED IF THERE IS ONLY ONE REQUIRED ACCESSIBLE PARKING SPACE (MUST BE VAN ACCESSIBLE) AND AT EACH ADDITIONAL REQUIRED VAN ACCESSIBLE SPACE. (SEE STD. NO. 50.10B)



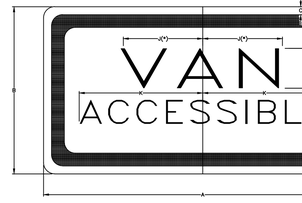
APPROVED DATE: 02/2007

NOT TO SCALE

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

SUPPLEMENTAL ACCESSIBLE SIGN (R7-8d)

STD. NO. 50.10C REV.



R7-8e

DIMENSIONS (INCHES)										
A	B	C	D	E	F	G	H	J	K	L
12	6	3/8	3/8	1-1/2	1-1/20	1/2	1D	2-1/2	4	1-1/2

* INCREASE SPACING 50%
D–FHWA (FEDERAL HIGHWAY ADMINISTRATION/USDOT) SERIES D LETTERS

LEGEND AND BORDER – GREEN
BACKGROUND – WHITE

APPROVED DATE: 02/2007

NOT TO SCALE

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

SUPPLEMENTAL ACCESSIBLE SIGN (R7-8e)

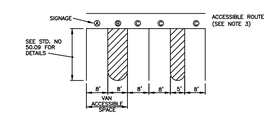
STD. NO. 50.10B REV.

ACCESSIBLE PARKING REQUIREMENTS

TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES SPACES REQUIRED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 300	7	1
301 TO 400	8	1
401 TO 500	9	2
501 TO 1000	2% OF TOTAL	1 IN EVERY 8 ACCESSIBLE SPACES
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1 IN EVERY 8 ACCESSIBLE SPACES
SECTION 4.1.2 (5) OF THE AMERICANS WITH DISABILITIES ACT (ADA). SEE 4.1.2.(5) (a) FOR MEDICAL CARE FACILITIES		

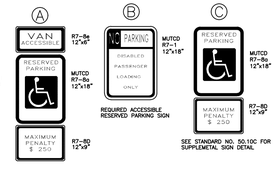
NOTES:

1. ALL 12"x18" ACCESSIBLE SIGNS (R7-8a & R7-1) SHALL BE MOUNTED AT 7 FEET FROM GRADED BOTTOM EDGE OF SIGN FACE (MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
2. REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SUPPLEMENT.
3. IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA.



ONE OUT OF EVERY EIGHT (8)ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, IS REQUIRED TO BE VAN ACCESSIBLE.

PARKING SPACE PAVEMENT MARKINGS



SEE STANDARD NO. 50.10B & 50.10C FOR SUPPLEMENTAL SIGN DETAIL

APPROVED DATE: 02/2007

NOT TO SCALE

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

ACCESSIBLE PARKING AND SIGNAGE STANDARDS

STD. NO. 50.10A REV.

PROJECT MANAGER	AJR
DESIGNED BY	AJR
DRAWN BY	AJR
APPROVED BY	AJR
TAG	PHASE
FILE NAME	PLOT DATE
DRAWING SCALE	1"=20'
PROJECT DATE	2-7-2007
PROJECT NUMBER	2-3-3
REV.	DATE

GEOSCIENCE GROUP
Geotechnical
Charlotte, NC 28217
Phone: 704.525.2003
Fax: 704.525.2013
www.geosciencegroup.com
NC FIRM LICENSE # C-0585(CNG)
NC FIRM LICENSE # C-278(LA)

PRELIMINARY NOT FOR CONSTRUCTION

ISSUED FOR BIDDING

ISSUED FOR PERMIT

ISSUED FOR CONSTRUCTION

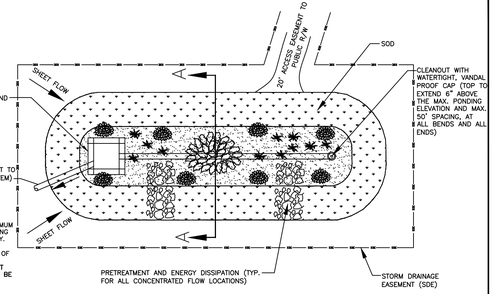
Drawing Status

HYATT PLACE
DAVIDSON, NORTH CAROLINA

NORTH CAROLINA PROFESSIONAL SEAL 10725 ENGINEER ADAM S. CALDWELL 7.7.17

SITE DETAILS

C4.3



PLAN

NOTES:

1. ALL BIORETENTION SHALL HAVE A MINIMUM 20 FOOT ACCESS EASEMENT CONNECTING TO A DEDICATED PUBLIC RIGHT OF WAY. ACCESS ROAD SHALL HAVE MIN. 12' STABILIZED WIDTH, MAX. LONG. GRADE OF 15%, MAX. CROSS-SLOPE 5%. IN ADDITION, A 10-FOOT WIDE PERMANENT MAINTENANCE ACCESS EASEMENT MUST BE PROVIDED AROUND THE PERIMETER OF ALL BMPS TO ALLOW FOR ADEQUATE MAINTENANCE AND REPAIR.
2. ALL DRAINAGE AREAS TO A BIORETENTION FACILITY ARE TO BE STABILIZED PRIOR TO INSTALLATION OF AMENDED SOILS, MULCH OR PLANTINGS.
3. AMENDED SOIL WILL ONLY BE PERMITTED WITH A VALID SOIL ANALYSIS REPORT.
4. INSTALL WIRE SCREENING AROUND ALL OUTLET OPENINGS TO PREVENT LOSS OF MULCH.

NOT TO SCALE

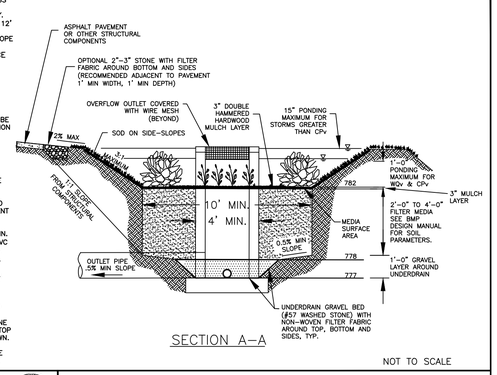
MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

BIORETENTION PLAN
BMP FIG. 4.1.2

STD. NO. 21.00 | REV.

NOTES:

1. ALL BIORETENTION FACILITIES SHALL HAVE A MINIMUM 20 FOOT ACCESS EASEMENT CONNECTING TO A DEDICATED PUBLIC RIGHT OF WAY. ACCESS ROAD SHALL HAVE MIN. 12' STABILIZED WIDTH, MAX. LONG. GRADE OF 15%, MAX. CROSS-SLOPE 5%. IN ADDITION, A 10-FOOT WIDE PERMANENT MAINTENANCE ACCESS EASEMENT MUST BE PROVIDED AROUND THE PERIMETER OF ALL BMPS TO ALLOW FOR ADEQUATE MAINTENANCE AND REPAIR.
2. ALL DRAINAGE AREAS TO A BIORETENTION FACILITY ARE TO BE STABILIZED PRIOR TO INSTALLATION OF AMENDED SOILS, MULCH OR PLANTINGS.
3. AMENDED SOIL WILL ONLY BE PERMITTED WITH A VALID SOIL ANALYSIS REPORT. NO AMENDED SOIL SHALL BE ALLOWED ON THE SIDE SLOPES.
4. INSTALL WIRE SCREENING AROUND ALL OUTLET OPENINGS TO PREVENT LOSS OF MULCH.
5. UNDERDRAIN PIPE SHOULD BE MIN. 6" PERFORATED SCHEDULE 40 PVC (PER AASHTO M278) OR DOUBLE WALL HDPE (PER AASHTO M252). PERFORATIONS SHOULD BE 3/8" SPACED 3" ON CENTER ALONG 4 LONGITUDINAL ROWS SPACED 90° APART.
6. UNDERDRAIN CLEANOUTS SHOULD EXTEND A MIN. OF 6" ABOVE MAXIMUM PONDING ELEVATION. ONE CLEANOUT MAY BE FLUSH WITH TOP OF SURFACE TO ALLOW DRAWDOWN.
7. ONLY SMALL MATURING TREES ARE ALLOWED TO BE PLANTED IN THE AMENDED SOILS.



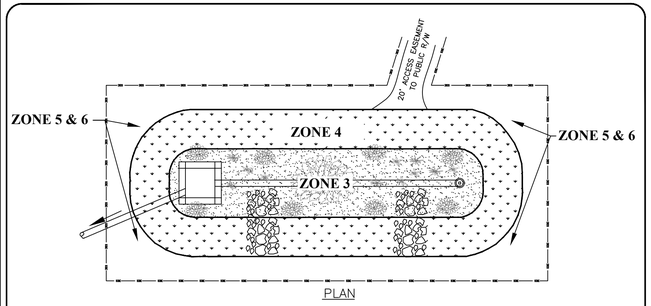
SECTION A–A

NOT TO SCALE

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

BIORETENTION CROSS-SECTION
BMP FIG. 4.1.3

STD. NO. 21.01 | REV. 2



PLAN

NOTES:

1. PLANTING ZONES AND PLANT SELECTION PER THE BMP DESIGN MANUAL, CHAPTER 6 & APPENDICES.
2. ALL PLANTINGS SHALL BE LOCAL NATIVE SPECIES.
3. IRRIGATION MAY BE PROVIDED FOR INITIAL ESTABLISHMENT AND DRY SEASONS.

NOT TO SCALE

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

BIORETENTION PLANTING PLAN
BMP FIG. 4.1.4

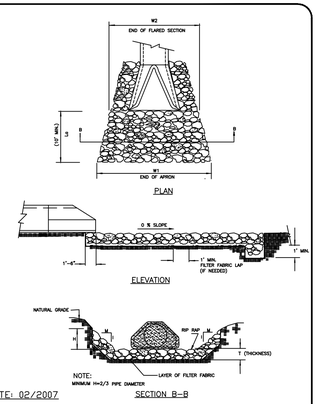
STD. NO. 21.02 | REV.

NOTES:

1. CLASS OR MEDIAN SIZE OF RIPRAP AND LENGTH, WIDTH AND DEPTH OF APRON TO BE DESIGNED BY THE ENGINEER.
2. REFER TO THE CHARLOTTE MECKLENBURG STORM WATER DESIGN MANUAL FOR RIPRAP APRON DESIGN STANDARDS.
3. RIPRAP SHOULD EXTEND UP BOTH SIDES OF THE APRON AND AROUND THE END OF THE PIPE OR CULVERT AT THE DISCHARGE OUTLET AT A MAXIMUM SLOPE OF 2:1 AND A HEIGHT NOT LESS THAN TWO THIRDS THE PIPE DIAMETER OR CULVERT HEIGHT.
4. THERE SHALL BE NO OVERFLOW FROM THE END OF THE APRON TO THE SURFACE OF THE RECEIVING CHANNEL. THE AREA TO BE PAVED OR RIPRAPPED SHALL BE UNDERCUT SO THAT THE INVERT OF THE APRON SHALL BE AT THE SAME GRADE (FLUSH) WITH THE SURFACE OF THE RECEIVING CHANNEL. THE APRON SHALL HAVE A CUTOFF OR TOE WALL AT THE DOWNSTREAM END.
5. THE WIDTH OF THE END OF THE APRON SHALL BE EQUAL TO THE BOTTOM WIDTH OF THE RECEIVING CHANNEL. MAXIMUM TAPER TO RECEIVING CHANNEL 5:1.
6. ALL SUBGRADE FOR STRUCTURE TO BE COMPACTED TO 95% OR GREATER.
7. THE PLACING OF FILL, EITHER LOOSE OR COMPACTED IN THE RECEIVING CHANNEL SHALL NOT BE ALLOWED.
8. NO BENDS OR CURVES IN THE HORIZONTAL ALIGNMENT OF THE APRON WILL BE PERMITTED.
9. FILTER FABRIC SHALL BE INSTALLED ON COMPACTED SUBGRADE PRIOR TO PLACEMENT OF RIP RAP.
10. ANY DISTURBED AREA FROM END OF APRON TO RECIEVING CHANNEL MUST BE STABILIZED.

USE USDA NOMOGRAPH FROM NC SEDIMENT AND EROSION CONTROL MANUAL OR CHARLOTTE MECKLENBURG STORM WATER DESIGN MANUAL FOR DESIGN DATA.

APRON #	La	W1	W2	*T	H	RIP-RAP
1	10'	6'	4'	1.2'	1	AVG.SIZE 6"



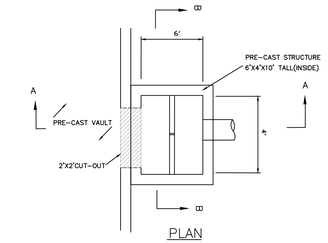
* d50 (see fig 8.06 ddb "NC SEDIMENT AND EROSION CONTROL MANUAL"
dmax = 1.5 x d50
T = 1.5 X dmax.

APPROVED DATE: 02/2007

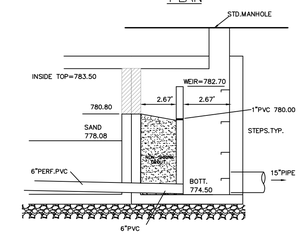
MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS

RIP RAP APRON AT PIPE OUTFALLS OTHER THAN AT SWIM

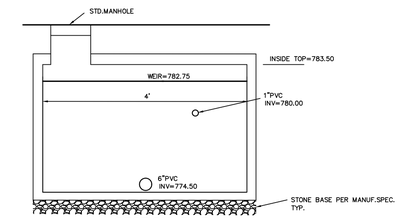
STD. NO. 20.23 | REV.



PLAN



SECTION A–A



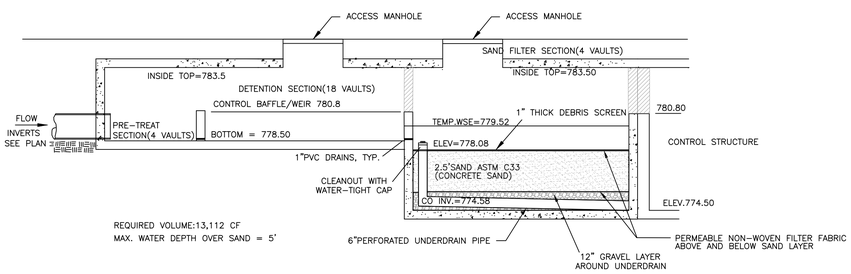
SECTION B–B

PRIOR TO INSTALLATION, CONTRACTOR SHALL PROVIDE PE SEALED SHOP DRAWINGS

PRIOR TO CO, CONTRACTOR SHALL PROVIDE SURVEYOR SEALED AS-BUILT DRAWINGS OF STORM WATER DETENTION SYSTEM TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL

CONTROL BOX

NOT TO SCALE



SECTION THRU FILTER

NOT TO SCALE

SECTION THRU UNDERGROUND SAND FILTER–BMP

NOTES:

ADEQUATE SOIL BEARING CAPACITY AS REQUIRED BY VAULT MANUFACTURER SHALL BE VERIFIED BY THE GEOTECHNICAL ENGINEER. VAULTS TO HAVE A CONCRETE BOTTOM AND A CONTAINMENT MEMBRANE AT BOTTOM, UP WALLS, TO TOP OF STRUCTURE. VAULTS SHALL HAVE FLUSH TO THE BOTTOM OPENINGS BETWEEN VAULTS, EXCEPT WALLS THAT SEPARATE THE PRE-TREATMENT TO THE SAND FILTER AREA, AND THE DETENTION TO THE SAND FILTER AREA. THESE WALLS SHALL ONLY HAVE THE WEIR AND ORIFICE OPENINGS AS DETAILED ABOVE.

PRIOR TO INSTALLATION, CONTRACTOR SHALL PROVIDE SHOP DRAWINGS

PRIOR TO CO, CONTRACTOR SHALL PROVIDE SURVEYOR SEALED AS-BUILT DRAWINGS OF STORM WATER DETENTION SYSTEM TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL

VAULTS TO BE "OLD-CASTLE" PRE-CAST OR EQUAL

DATE	REV.	

DRAWING SCALE 1"=20'
PROJECT DATE 7.7.17
PROJECT NUMBER
TASK PHASE
PLOT DATE
PROJECT MANAGER AJR
DESIGNED BY AJR
APPROVED BY AJR
FILE NAME

GEOSCIENCE GROUP
Mailing: 9000 Harris Corporate Blvd
Charlotte, NC 28217
Phone: 704.525.2003
Fax: 704.525.2013
www.geosciencegroup.com
NC FIRM LICENSE C-0593(NG)
NC FIRM LICENSE C-2790(LA)

Drawing Status

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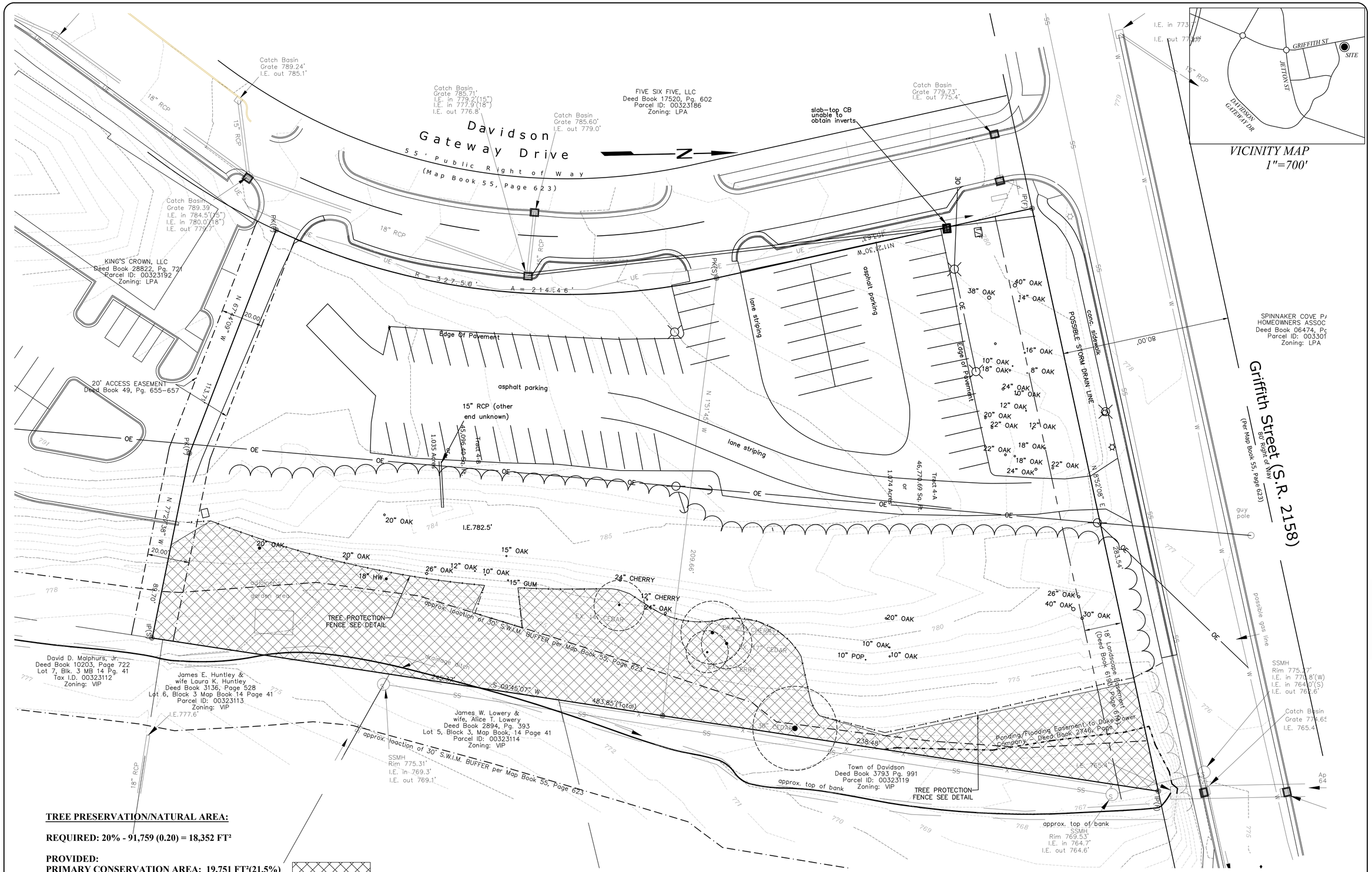
- [ ] ISSUED FOR CONSTRUCTION

HYATT PLACE
DAVIDSON, NORTH CAROLINA

NORTH CAROLINA PROFESSIONAL SEAL 10725 ENGINEER ADAMS CALDWELL 7.7.17

SITE DETAILS

C4.4



TREE PRESERVATION/NATURAL AREA:

REQUIRED: 20% - 91,759 (0.20) = 18,352 FT²

PROVIDED:
PRIMARY CONSERVATION AREA: 19,751 FT²(21.5%)

EXISTING TREE CANOPY TO BE SAVED.

44 EXISTING TREES (20%) = 8.8 TREES TO BE SAVED.
5 EXISTING WERE SAVED. DEVELOPER SHALL MITIGATE FOR THE 4 DEFICIENT TREES. MITIGATION= 1.5 TREES(4)= 6 TREES
6 TREES TO BE PLANTED IN THE EASTERN BUFFER SEE L1.2 FOR TREE LOCATION.

Know what's below. Call before you dig.

SCALE: 1" = 20'

PROJECT MANAGER	AJR
DRAWN BY	JLR
DESIGNED BY	JLR
DRAWING SCALE	1"=20'
PROJECT DATE	7.7.17
PROJECT NUMBER	3-3-3
TASK	PHASE
FILE NAME	PLOT DATE

REV.	DATE

GEOSCIENCE GROUP
Mailing Address
Post Office Box 1
Cornelius, NC 28031
Phone: 704.525.2003
Fax: 704.525.2007
www.geosciencegroup.com
NC FIRM LICENSE C-0585(CNS)
NC FIRM LICENSE C-2790(LA)

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- ☐ ISSUED FOR PERMIT
- ☐ ISSUED FOR CONSTRUCTION

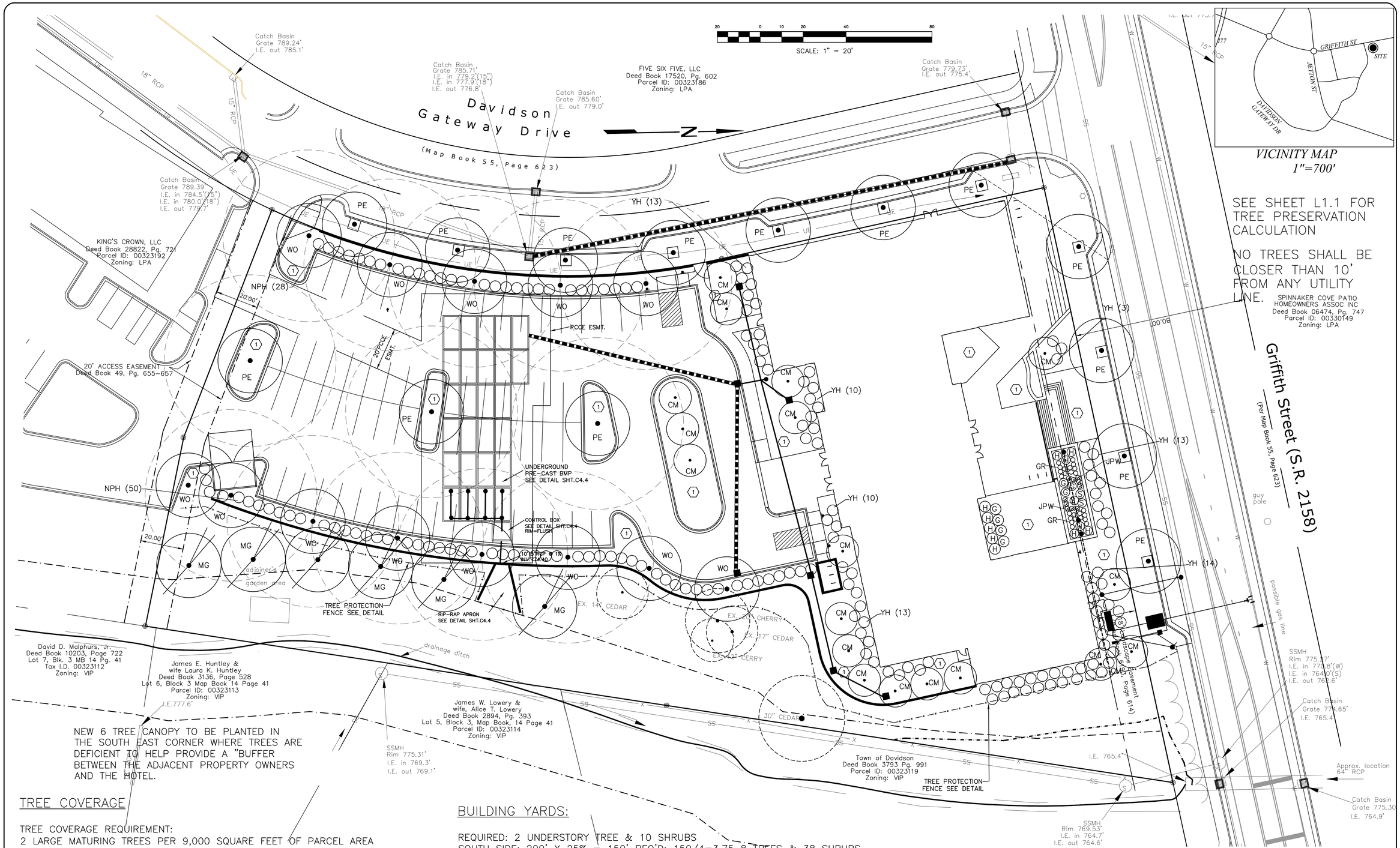
Drawing Status

HYATT PLACE
DAVIDSON, NORTH CAROLINA

NORTH CAROLINA REGISTERED LANDSCAPE ARCHITECT 1868 JOSHUA L. RING
7.7.17

EXISTING LANDSCAPE PLAN

L1.1



NEW 6 TREE CANOPY TO BE PLANTED IN THE SOUTH EAST CORNER WHERE TREES ARE DEFICIENT TO HELP PROVIDE A "BUFFER BETWEEN THE ADJACENT PROPERTY OWNERS AND THE HOTEL.

TREE COVERAGE

TREE COVERAGE REQUIREMENT:
2 LARGE MATURING TREES PER 9,000 SQUARE FEET OF PARCEL AREA
$91{,}759FT^2$ / $9{,}000FT^2$: = 10.2 USE 11 TREES
PROVIDED: 5 EX. LARGE MATURING TREES, NEW 15 LARGE MATURE TREES & NEW 16 SMALL MATURING TREES = 36 TREES

APPROX. CANOPY COVERAGE:
REQUIRED: 15% OF PARCEL AREA:
$91{,}759FT^2(0.15)$= $13{,}764FT^2$
PROVIDED ($700FT^2$ FOR LARGE MATURING TREES & $200FT^2$ FOR SMALL MATURING TREES:
SMALL MATURING TREES: 18(200) = $3{,}600FT^2$
LARGE MATURING TREES: 21(700) = $14{,}700FT^2$
TOTAL = $18{,}300FT^2$

BUILDING YARDS:

REQUIRED: 2 UNDERSTORY TREE & 10 SHRUBS
SOUTH SIDE: 200' X 25% = 150' REQ'D: 150/4=3.75 8 TREES & 38 SHRUBS
PROV'D: 8 TREES & 38 SHRUBS
EAST SIDE: 100' X 25% = 75' REQ'D: 150/4=1.87 4 TREES & 19 SHRUBS
PROV'D: 4 TREES & 25 SHRUBS
NORTH SIDE: CONDITIONAL (SPACE FOR OPEN SPACE PLAZA TO THE PUBLIC)
WEST SIDE: CONDITIONAL (CONCRETE FLUSH WITH BUILDING FOR RETAIL SPACE)

PLANTING SCHEDULE (TYP)

** QUANTITIES ARE FOR CONVENIENCE ONLY, CONTRACTOR IS RESPONSIBLE FOR ACTUAL PLANT MATERIAL SHOWN ON PLANS.

	SYM.	QTY.	BOTANICAL NAME	COMMON NAME	ROOT/CONTAINER	HEIGHT/SIZE	COMMENTS
SHRUB	H	6	ILEX GLABRA 'SHAMROCK'	'SHAMROCK' INKBERRY HOLLY	3 GAL.	MIN. 24" TALL	
GRASS	S	3	PANICUM VIRGINIANA 'SHENANDOAH'	'SHENANDOAH' SWITCHGRASS	3 GAL.		
GRASS	G	3	PANICUM VIRGINIANA 'NORTH WIND''	'NORTH WIND' SWITCHGRASS	3 GAL.		
HERBACEOUS	JPW	10	EUPATORIUM DUBIUM 'LITTLE JOE'	'LITTLE JOE' JOE PYE WEED	1 GAL.		
HERBACEOUS	GR	24	SOLIDAGO RUGOSA 'FIREWORKS'	'FIREWORKS' GOLDENROD	1 GAL.		
LG TREE	MG	6	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	B & B	3" - 3.5" CAL	
LG TREE	PE	15	ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	B & B	3" - 3.5" CAL	
SM TREE	CM	18	LAGERSTROEMIA INDICA 'SIOUX'	SIOUX CRAPLE MYRTLE	B & B	2-2.5" CAL. MIN. 8'	
LG TREE	WO	13	QUERCUS PHELLOS 'HIGHTOWER'	WILLOW OAK	B & B	3-3.5"" CAL. MIN. 8'	
SHRUB	NPH	95	ILEX CORNUTA 'NEEDLEPOINT'	'NEEDLEPOINT' HOLLY	7 GAL CONTAINER	MIN. 24"W X 24"T	
SHRUB	YH	79	RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF YEDDA HAWTHORNE	5 GAL CONTAINER	MIN. 24"W X 24"T	

(1) INDICATES TURF AREAS TO RECEIVE SOD. ALL TURF AREAS SHALL BE 'GEO' ZOYSIA (OR APPROVED EQUIVALENT) SOD INSTALLED OVER A SMOOTH AND LEVEL PREPARED PLANTING BED THAT HAS BEEN AMENDED WITH TOPSOIL

DRAWING SCALE	1"=20'
PROJECT DATE	7.7.17
DESIGNED BY	JLR
PROJECT NUMBER	7.7.17
TASK	PHASE
FILE NAME	POST DATE
PROJECT MANAGER	JLR
DRAWN BY	JLR
APPROVED BY	JLR
REV.	
DATE	

GEOSCIENCE GROUP
Mailing: 7000 Fairview Road, Charlotte, NC 28210
Phone: 704-525-2003
Fax: 704-525-2020
www.geosciencegroup.com
NC FIRM LICENSE C-0585(CNG)
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Drawing Status
- [x] PRELIMINARY NOT FOR CONSTRUCTION
- [ ] ISSUED FOR BIDDING
- [ ] ISSUED FOR PERMIT
- [ ] ISSUED FOR CONSTRUCTION

HYATT PLACE
DAVIDSON, NORTH CAROLINA

NORTH CAROLINA REGISTERED LANDSCAPE ARCHITECT 1606 JOSHUA L. RINE
7.7.17

LANDSCAPE PLAN

L1.2