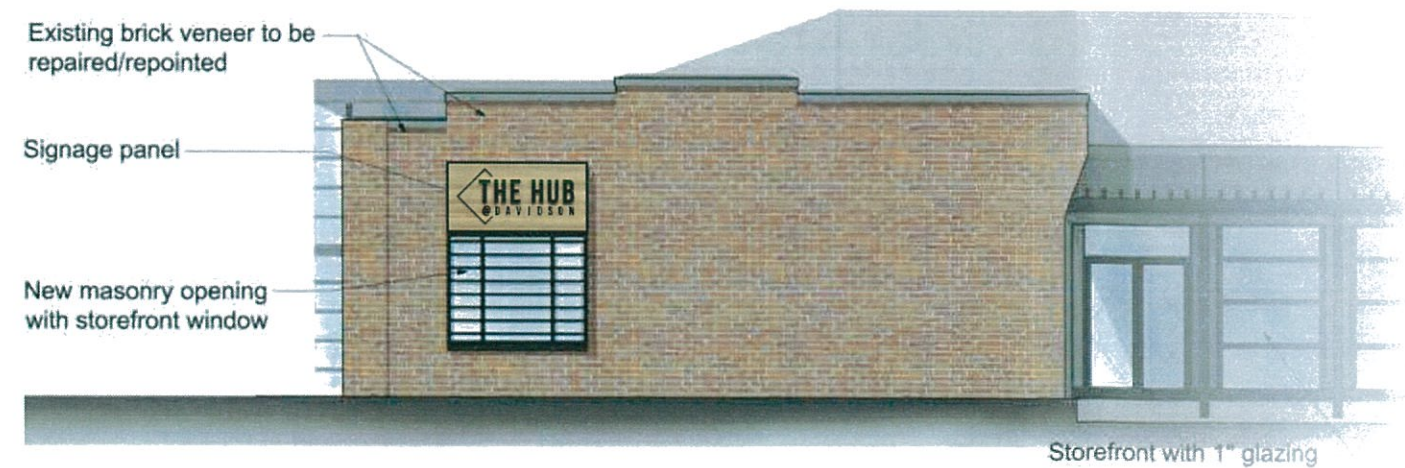
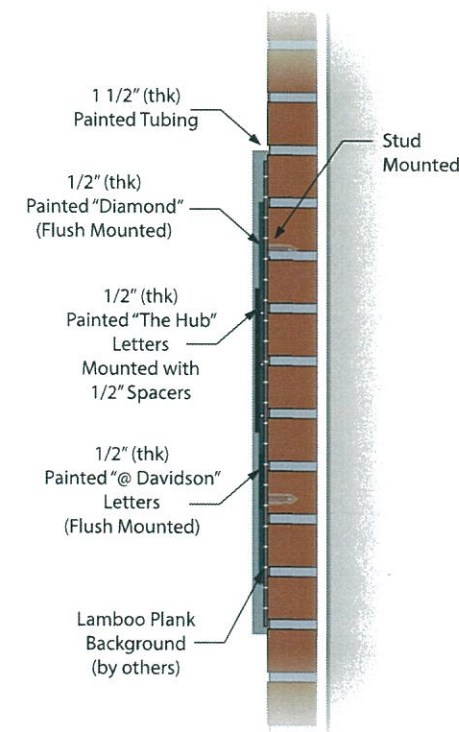


CONCEPT Sign 1 - Building Signage

Qty: 1
Lamboo Planks (by others) / Painted Dimensional Letters / Painted Tubing / Spacers
Scale: 1/2" = 1'



Side View
Scale: NTS



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SIGN

INNOVATIONS

DATE:

3/22/17

REVISION DATE:

5/18/17
6/9/17
7/19/17
7/20/17

JOB LOCATION:

Davidson, NC

CONTACT:

Sign Innovations Rep.

DRAWING:

Davidson 210

DESIGNER:

Nate

UL

Underwriters
Laboratories Inc.
LISTED

ELECTRIC SIGN

COMPLIES TO UL 48

ELECTRICAL ELEMENTS TO BE INSTALLED
IN ACCORDANCE WITH THE REQUIREMENTS OF
ARTICLE 600
OF THE NATIONAL ELECTRICAL CODE AND OR
OTHER APPLICABLE LOCAL CODES. THIS INCLUDES
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APPROVED BY & DATE:

STOP

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PAGES:

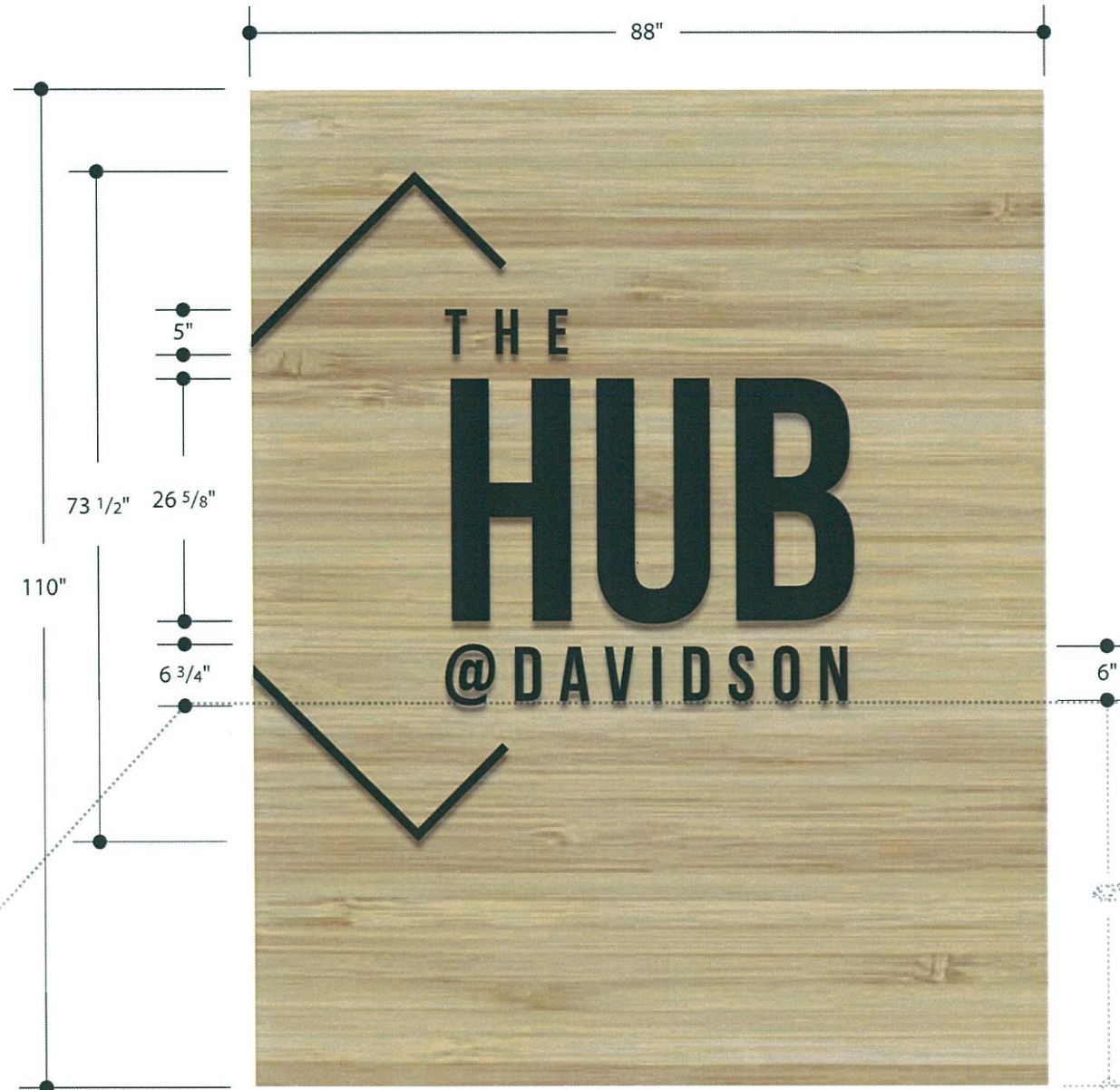
1 of 8

CONCEPT Sign 2 - Building Signage

Qty: 1

Lamboo Planks (by others) / Painted Dimensional Letters / Spacers

Scale: 1/2" = 1'



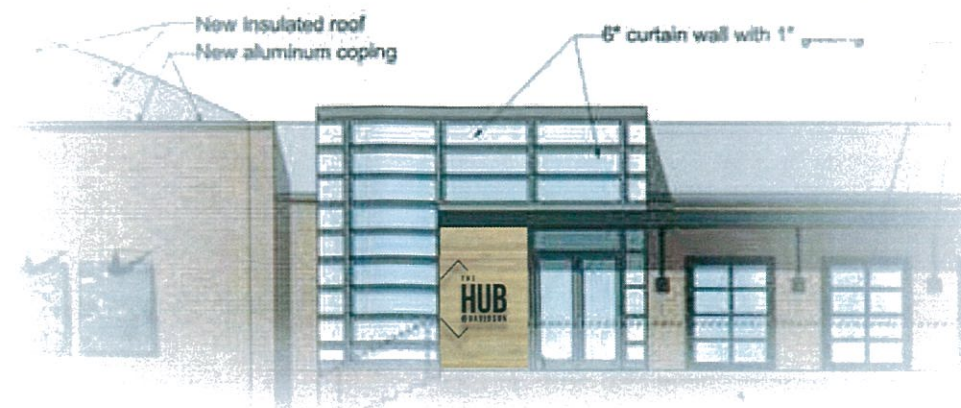
Side View
Scale: NTS

1/2" (thk)
Painted "Diamond"
(Flush Mounted)

1/2" (thk)
Painted "The Hub"
Letters
Mounted with
1/2" Spacers

1/2" (thk)
Painted "@ Davidson"
Letters
(Flush Mounted)

Lamboo Plank
Background
(by others)



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INNOVATIONS

DATE:

3/22/17

REVISION DATE:

5/18/17

6/9/17

7/19/17

7/20/17

JOB LOCATION:

Davidson, NC

CONTACT:

Sign Innovations Rep.

DRAWING:

Davidson 210

DESIGNER:

Nate



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PAGES:

2 of 8

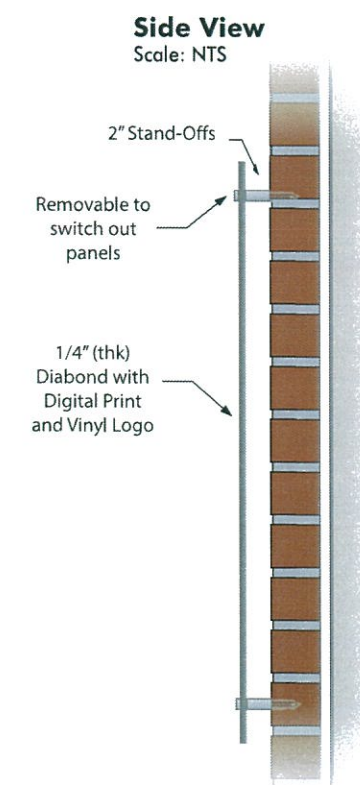
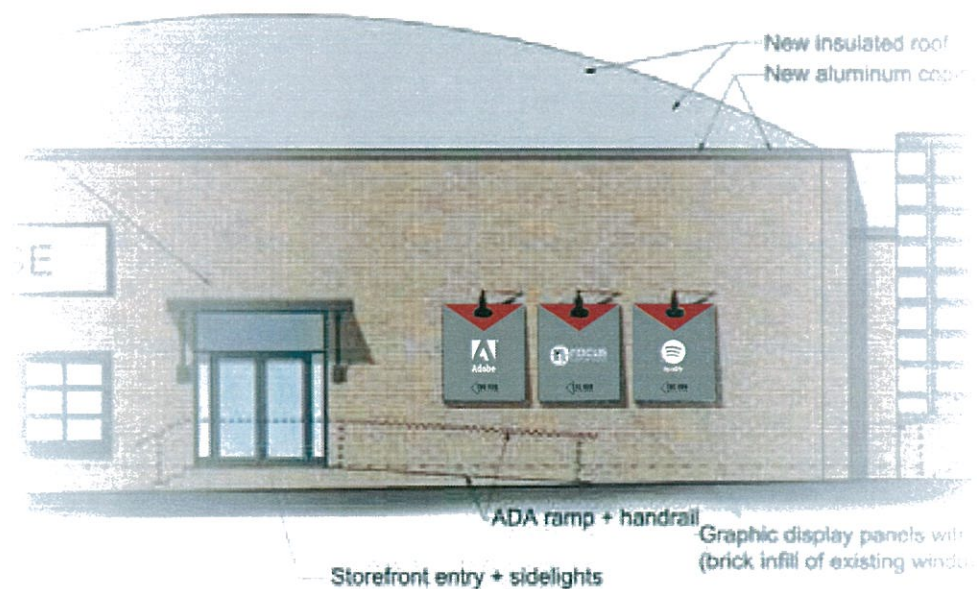
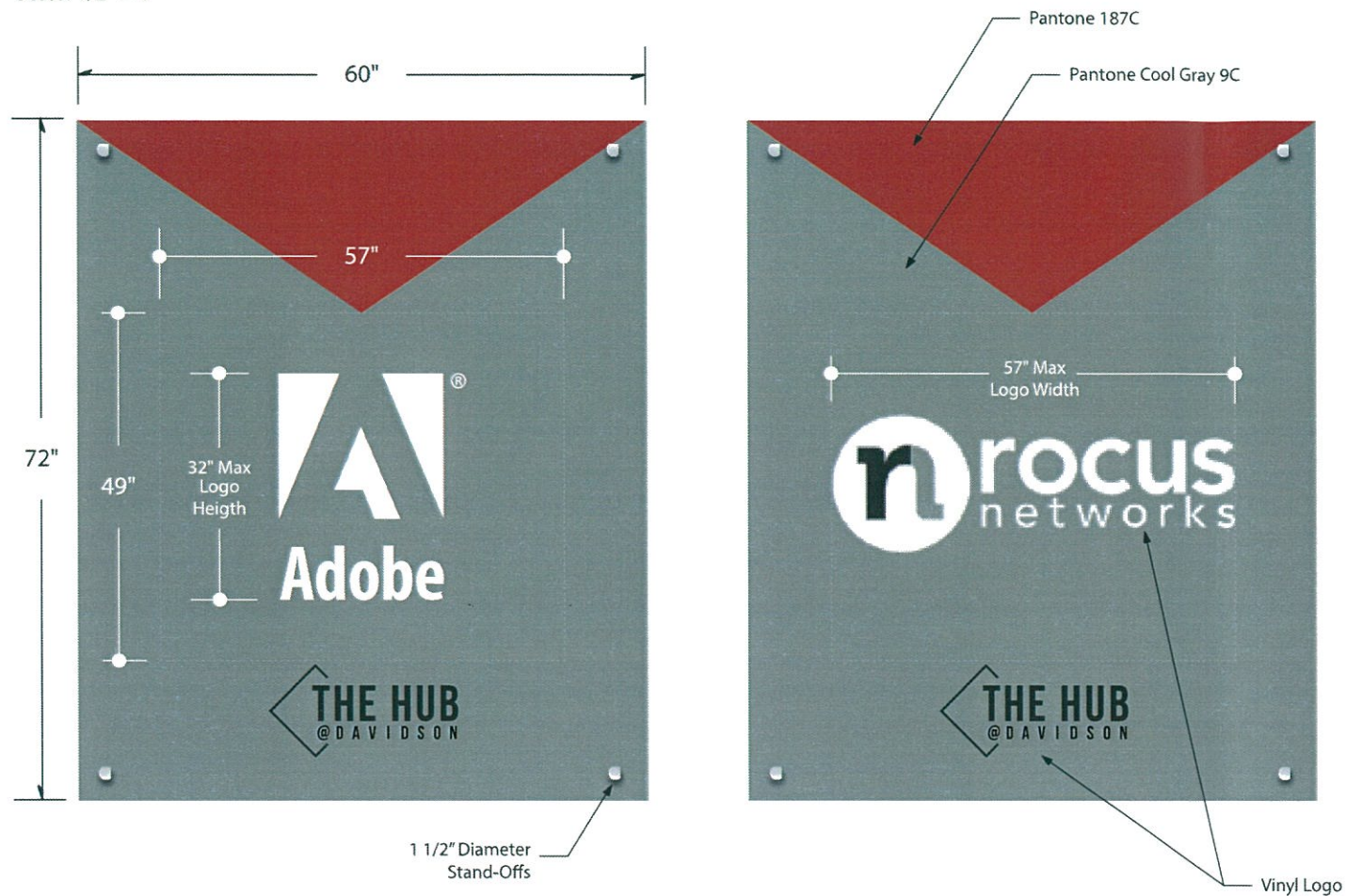
CONCEPT

Sign 3 - Tenant Signage Panels

Qty: 3

Removable Diabond Panels / Digital Print with Vinyl / Stand-Offs

Scale: 1/2" = 1'



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7/20/17

JOB LOCATION:
Davidson, NC

CONTACT:
Sign Innovations Rep.

DRAWING:
Davidson 210

DESIGNER:
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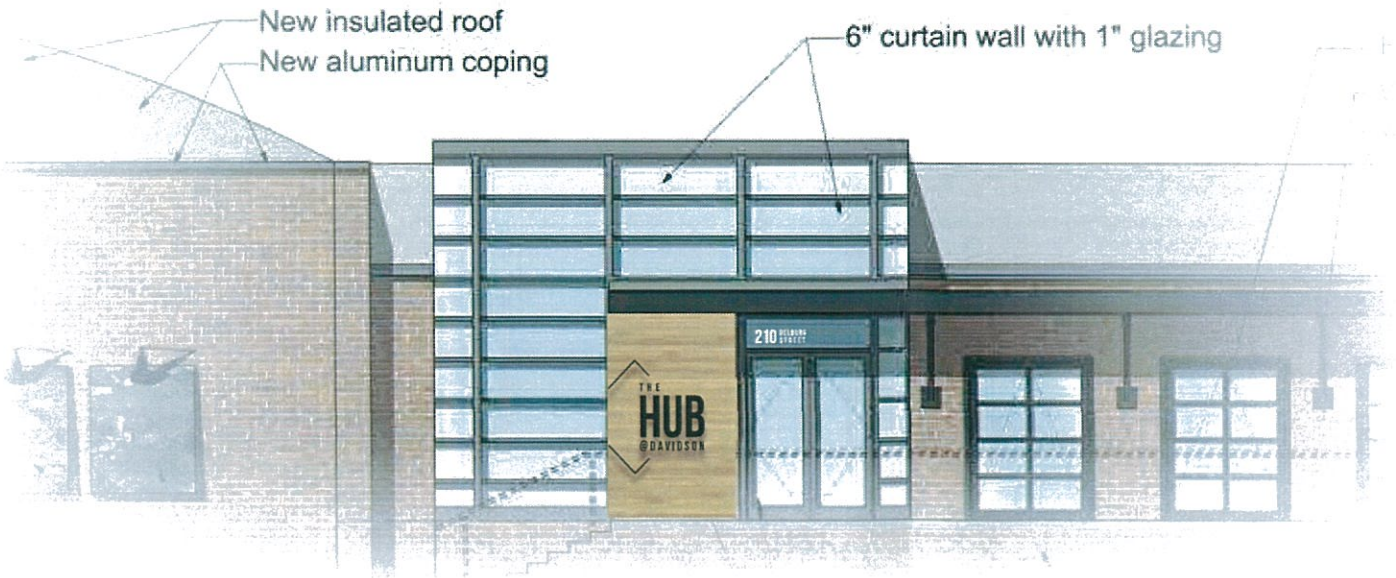
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PAGES:
3 of 8

CONCEPT Sign 4 - Building Address

Qty: 1
White Vinyl - 1st Surface
Scale: 1" = 1'



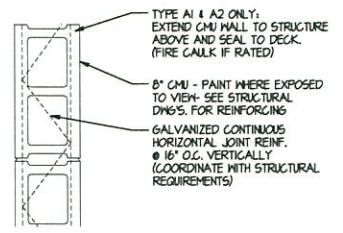
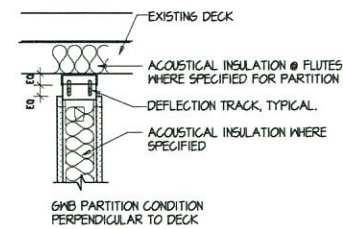
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REVISION DATE:	5/18/17 6/9/17 7/19/17 7/20/17
JOB LOCATION:	Davidson, NC
CONTACT:	Sign Innovations Rep.
DRAWING:	Davidson 210
DESIGNER:	Nate
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PAGES:	
4 of 8	

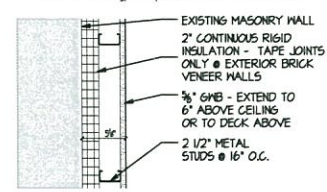
GENERAL NOTES:

1. PARTITION TYPES ARE KEYED IN ON FLOOR PLANS
2. ALL PENETRATIONS TO BE SEALED WITH ACOUSTICAL SEALTANT AT NON-RATED WALLS WITH SOUND ATTENUATION RATING
3. DENSE FIBER BOARD IS TO BE SUBSTITUTED FOR GYPSUM BOARD AT ALL WALLS TO RECEIVE CERAMIC TILE MAINTAIN RATINGS AS REQ'D.
4. PENETRATING ITEMS PASSING ENTIRELY THROUGH BOTH PROTECTIVE MEMBRANES OF BEARING WALLS REQUIRED TO HAVE A FIRE-RESISTIVE RATING AND WALLS REQUIRING PROTECTED OPENINGS SHALL BE PROTECTED WITH THROUGH-PENETRATION FIRE STOPS
5. ALL LAYERS ARE TO BE TAPED AND MUDD (ALL WALL TYPES)
6. ALL WALLS ARE TO BE FINISHED SMOOTH (ALL WALL TYPES)
7. PROVIDE FIRE SAFING BETWEEN TOP OF STUD/CMU & STRUCTURE AS REQUIRED PER SECTION 107 OF THE NCBC - AT ALL RATED WALLS.

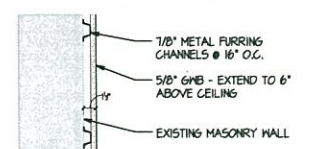


TYPE F1 8" CONCRETE MASONRY UNIT, EXTEND TO UNDERSIDE OF STRUCTURE ABOVE

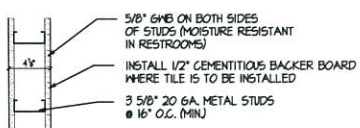
F-1A 1-HOUR RATED WALL ASSEMBLY - UL DETAIL U105 (i.e. "F1A" is a Type F1 partition that is 1-hour rated)



TYPE D1 TYPICAL FURRING AT BUILDING PERIMETER: 5/8" GYPSUM WALL BOARD OVER 2 1/2" METAL STUDS, OVER 2" RIGID INSULATION, EXTEND TO UNDERSIDE OF ROOF DECK ABOVE



TYPE C1 5/8" GYPSUM WALL BOARD WITH 1/8" METAL FURRING CHANNELS @ 16" O.C. ON ONE SIDE, EXTEND 6" ABOVE CEILING



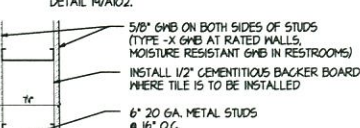
TYPE B1 5/8" GYPSUM WALL BOARD ON BOTH SIDES WITH SOUND ATTENUATION BLANKETS. EXTEND GMB AND STUDS TO STRUCTURE ABOVE. SEE HEAD PARTITION DETAIL 19/A102.

TYPE B2 5/8" GYPSUM WALL BOARD ON ONE SIDE WITH SOUND ATTENUATION BLANKETS. EXTEND GMB AND STUDS TO STRUCTURE ABOVE. SEE HEAD PARTITION DETAIL 19/A102.

TYPE B3 5/8" GYPSUM WALL BOARD ON BOTH SIDES WITH SOUND ATTENUATION BLANKETS. EXTEND GMB AND STUDS TO 6" ABOVE ADJACENT CEILING.

TYPE B4 5/8" GYPSUM WALL BOARD ON ONE SIDE WITH SOUND ATTENUATION BLANKETS. EXTEND GMB AND STUDS TO 6" ABOVE ADJACENT CEILING.

TYPE B5 5/8" GYPSUM WALL BOARD ON ONE SIDE. EXTEND GMB AND STUDS TO STRUCTURE ABOVE. SEE HEAD PARTITION DETAIL 19/A102.



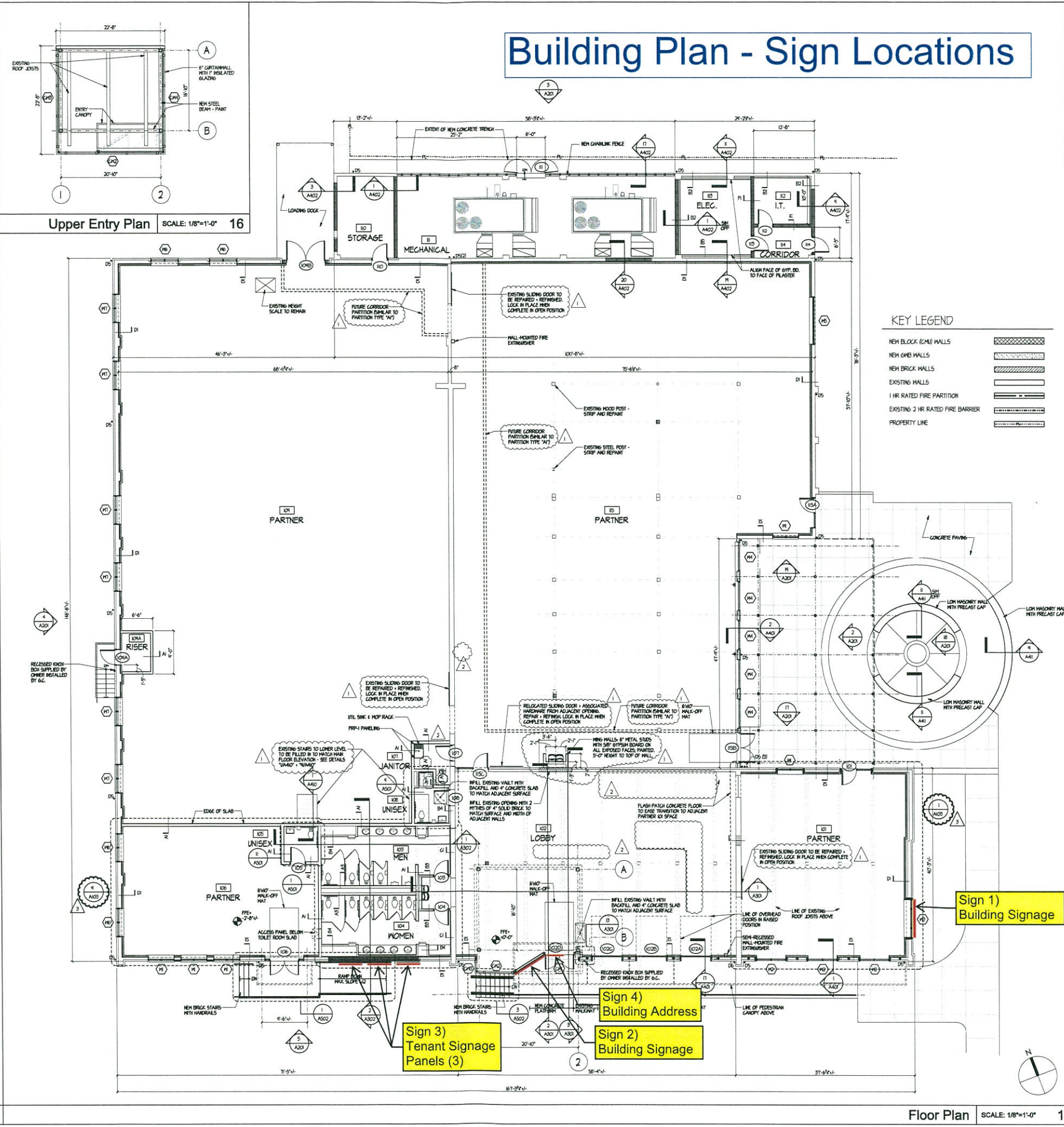
TYPE A1 5/8" GYPSUM WALL BOARD ON BOTH SIDES, SOUND ATTENUATION BLANKET, EXTEND GMB AND STUDS TO STRUCTURE ABOVE. SEE HEAD PARTITION DETAIL 19/A102.

TYPE A2 5/8" GYPSUM WALL BOARD ON BOTH SIDES, SOUND ATTENUATION BLANKET, EXTEND GMB, STUDS, AND S.A.B. 6" ABOVE ADJACENT CEILING

TYPE A3 5/8" GYPSUM WALL BOARD ON ONE SIDE, SOUND ATTENUATION BLANKET, EXTEND GMB, STUDS, AND S.A.B. 6" ABOVE ADJACENT CEILING

Partition Types

SCALE: 1 1/2"=1'-0" 17



Floor Plan

SCALE: 1/8"=1'-0" 1

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environments for life
architecture planning interiors
six coliseum centre
2815 coliseum centre drive, suite 500
charlotte, north carolina 28217
t) 704 378 1818
f) 704 378 1920
www.adwarchitects.com



DAVIDSON

Shell Building
Renovation
210
Delburg
Street

ISSUED FOR
CONSTRUCTION

Floor Plan

DATE 12.07.2016
PROJECT NO 14077

NO	DATE	DESCRIPTION:
1	1.3.2017	Permit review comments
2	5.2.2017	Building No.3
3	6.23.2017	Add detail references

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SHEET NUMBER

A101

Update 4: 1.17.2017
Update 3: 12.21.2016
Update 1: 12.13.2016



SEAL

DAVIDSON

Shell Building
Renovation

210
Delburg
Street

ISSUED FOR
CONSTRUCTION

Landscape Plan

DATE 12.07.2016
PROJECT NO 14077

REVISIONS	
NO	DESCRIPTION
1	2-15-17 Permit Review Comments
2	4-17-17 Raised Site

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EPM REFERENCE
#372036

SHEET NUMBER

C-600

PLANTING SCHEDULE						
KEY	QTY	BOTANICAL NAME	COMMON NAME	CALIPER ROOT	REMARKS	HEIGHT SPECIFIED
TREES						
AS	10	Amelanchier	Flame	2"	Single Stem	8-10'
AS	1	Acacia	Amur Maple	3" x 4"	Full Mature Specimen	10-12'
AS	1	Acacia	Amur Maple	3" x 4"	Single Stem Specimen	8-10'
AS	1	Amelanchier	Flame	2"	Single Stem	8-10'
AS	1	Amelanchier	Flame	2"	Single Stem	8-10'
AS	1	Amelanchier	Flame	2"	Single Stem	8-10'
AS	1	Amelanchier	Flame	2"	Single Stem	8-10'
AS	1	Amelanchier	Flame	2"	Single Stem	8-10'
AS	1	Amelanchier	Flame	2"	Single Stem	8-10'
AS	1	Amelanchier	Flame	2"	Single Stem	8-10'
SHRUBS						
VA	5	Viburnum acerifolium	Chokeberry	2"	Full Specimen	2-4'
VA	5	Viburnum acerifolium	Chokeberry	2"	Full Specimen	2-4'
VA	5	Viburnum acerifolium	Chokeberry	2"	Full Specimen	2-4'
VA	5	Viburnum acerifolium	Chokeberry	2"	Full Specimen	2-4'
VA	5	Viburnum acerifolium	Chokeberry	2"	Full Specimen	2-4'
VA	5	Viburnum acerifolium	Chokeberry	2"	Full Specimen	2-4'
VA	5	Viburnum acerifolium	Chokeberry	2"	Full Specimen	2-4'
VA	5	Viburnum acerifolium	Chokeberry	2"	Full Specimen	2-4'
VA	5	Viburnum acerifolium	Chokeberry	2"	Full Specimen	2-4'
VA	5	Viburnum acerifolium	Chokeberry	2"	Full Specimen	2-4'
GROUND COVER/PERENNIALS/GRASSES						
LM	110	Liriodendron tulipifera	Green	2"	Full Specimen	10'
LM	110	Liriodendron tulipifera	Green	2"	Full Specimen	10'
LM	110	Liriodendron tulipifera	Green	2"	Full Specimen	10'
LM	110	Liriodendron tulipifera	Green	2"	Full Specimen	10'
LM	110	Liriodendron tulipifera	Green	2"	Full Specimen	10'

LANDSCAPE NOTES

PLANT MATERIAL

- MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 2' TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 10' TALL.
- ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS. BRANCHES TO THE TOP OF THE CROWN UNDER MULTI-STEM TREES ARE SPECIFIED. ALL TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY. TREES WITH UNUSUAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH EXCESSIVE BRANCHING SHALL NOT BE ACCEPTED. TREES THAT HAVE BEEN BURNED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABNORMALS, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN 2" DIAMETER SHALL HAVE COLLAR TUBES FORMED PRIOR TO PLANTING. NO PRUNING CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT PRUNING SHALL BE LOCATED AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL/PLANT FROM WILL NOT BE ACCEPTED.
- SIZE OF PLANTS, SPACING OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH AHS 2001 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CORRELATION.

PLANTING REQUIREMENTS

- PLANTING MORE PARTS WILL NOT BE ACCEPTED FOR TREE BATHING. SEE DETAILS AND SPECIFICATIONS FOR APPROVED BATHING METHOD/MATERIALS.
- ALL STAKING AND TOP 1" OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS, REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX SPECIFICATIONS FOR TREES.
- ALL SAUCERS SHALL BE SOWN WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
- THE TOP OF ALL ROOT BALLS FOR SHRUBS & GROUNDCOVERS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS BORN TO PREVIOUS GROWING CONDITIONS.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- MULCH A MINIMUM 4" ROOT AREA AROUND EACH TREE AND - MULCH A CONTIGUOUS AREA AROUND ALL SHRUB BEDS, AS INDICATED ON THE PLAN. MULCH SHALL BE 3-4" THICK. MULCH AROUND TREES SHALL BE INFERRED TOWARD TRUNK SO THAT NO MORE THAN 2" IS PLACED AT TREE TRUNK AS SHOWN ON DETAIL. SEE SPECIFICATIONS FOR TYPE.

UTILITY ISSUES

- LARGE MATURING TREES MAY NOT BE PLANTED WITHIN 20' OF OVERHEAD POWER DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR BUNKS, CALL UNDERGROUND ARCHITECT TO RESOLVE BEFORE PLANTING.
- CONTRACTOR IS RESPONSIBLE FOR HAVING ALL UNDERGROUND UTILITIES LOCATED AND CLEARLY PLANTED WITHIN 10 DAYS OF ANY GROUND DISTURBING ACTIVITY. OWNER WILL NOT PAY FOR UTILITY REPAIRS DUE TO FAILURE TO MARK AND OBTAIN UTILITY LOCATIONS.
- ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES - PLANT 15' FROM ELECTRICAL LINES.
- SEE EROSION CONTROL/GROWING PLAN FOR ADDITIONAL TREE PRESERVATION NOTES.

GENERAL

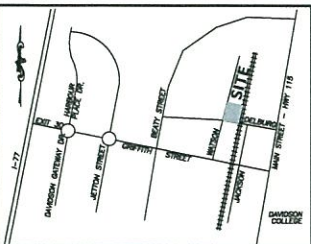
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUANTITY OF PLANTS SHOWN ON THE PLAN. ANY DISCREPANCIES BETWEEN QUANTITIES ON PLAN AND PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO PLANTING.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY CONDITION FOR ONE (1) YEAR AFTER ACCEPTANCE BY OWNER OF ALL PLANT MATERIAL.
- ALL DISTURBED AREAS SHALL BE RESEED AS SPECIFIED.
- SEE EROSION CONTROL/GROWING PLAN FOR ADDITIONAL TREE PRESERVATION NOTES.

LEGEND

- SIGN
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- ACCESSIBLE SPACE
- EXISTING FIRE HYDRANT
- EXISTING TREE TO REMAIN
- PROPOSED GROUND COVER
- PLANT LABEL
- PLANT QUANTITY
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPERTY LINE
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD UTILITY LINE
- EXISTING TREE LINE
- PROPOSED TREE LINE AFTER CLEARING
- PROPOSED MULCH LINE
- PROPOSED LIGHT POLE

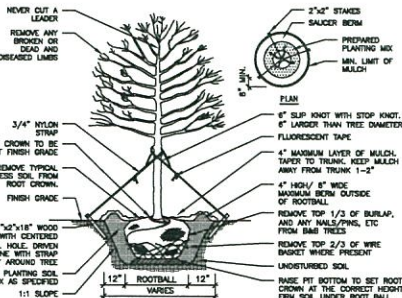


20 0 10 20 40
SCALE: 1"=20'



VICINITY MAP

N.T.S.

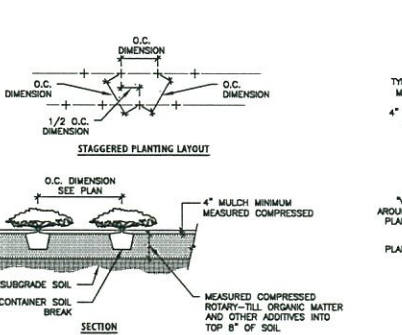
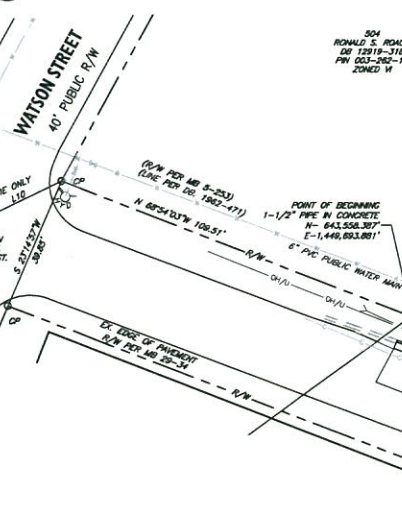


ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) FOR EXAMPLE: CALIPER HEIGHT (INCHES) MAX. HT. MIN. ROOT BALL DIA. MIN. ROOT BALL DEPTH.

- ALL TREES ARE TO BE NURSERY GROWN, BALL AND BURLAP (B&B) PREFERRED.
- REMOVE ALL TOPS OF PLANTS, BRANCHES, TWIGS, OR WIRE FROM ROOT BALL AND CANOPY AFTER SETTING IN HOLE. CUT AWAY TOP 2/3 OF WIRE BASKET, IF PRESENT, AND TOP 1/3 OF BURLAP.
- SOAK PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.
- INSTALL TOP OF PLANT BALL 2" ABOVE FINISH GRADE.
- 4" SAUCER WILL BE OUTSIDE OF BACKFILL.
- NO BACKFILL ALLOWED ON TOP OF ROOT BALL.
- WHERE STRAPPING OR CORDING IS INSTALLED, CONTRACTOR SHALL REMOVE ALL TYPICAL CORDING ETC. AT END OF NURSERY PERIOD.
- SEE SPECIFICATIONS FOR OTHER REQUIREMENTS.
- REMOVE EXCESS SOIL FROM SITE AND DEPOSE OF IN A LEGAL MANNER.
- RE-SEED UNMULCHED DISTURBED AREAS.
- STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.

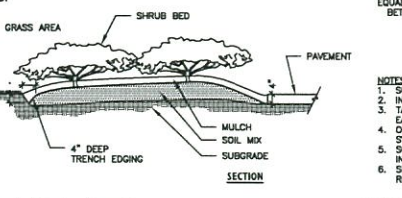
1 Tree Planting Detail

N.T.S.



2 Groundcover Planting Detail

N.T.S.



3 Trench Edging Detail

N.T.S.

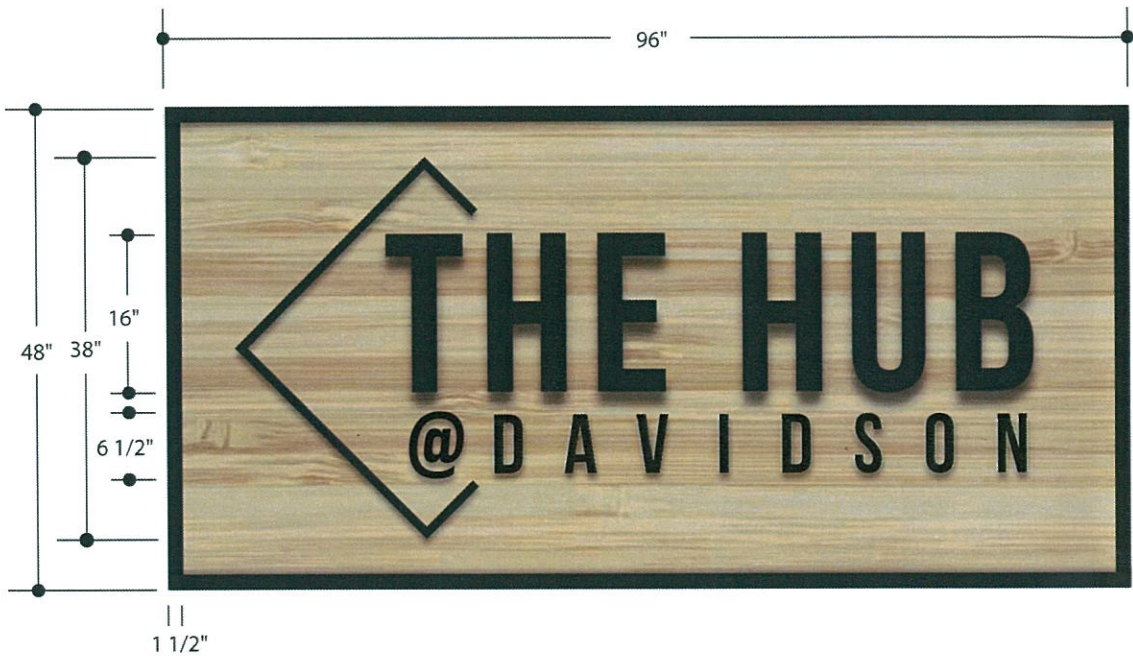
4 Shrub Planting Detail

N.T.S.

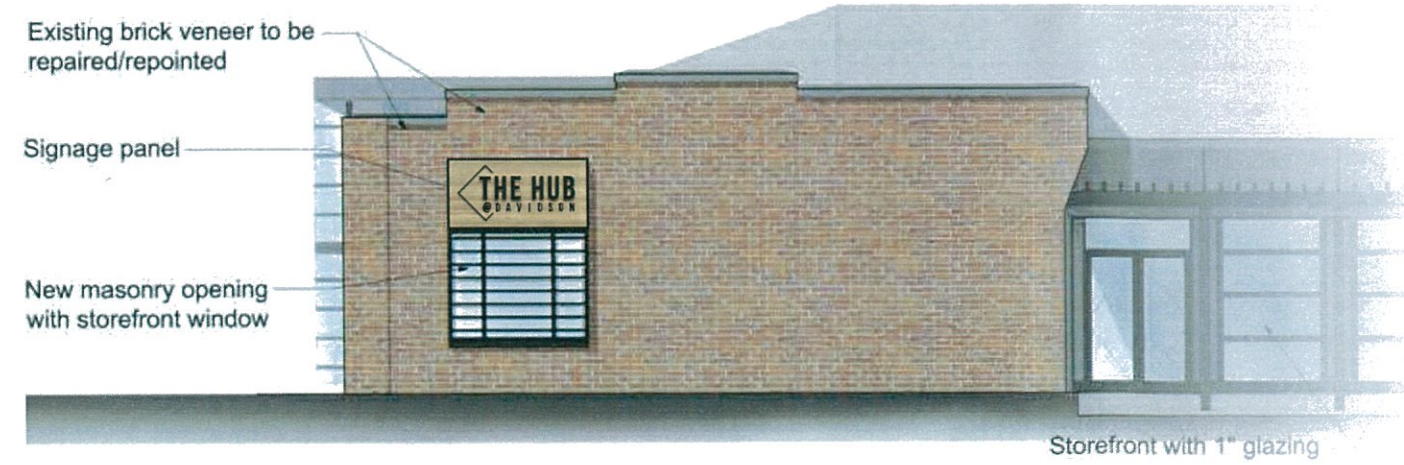
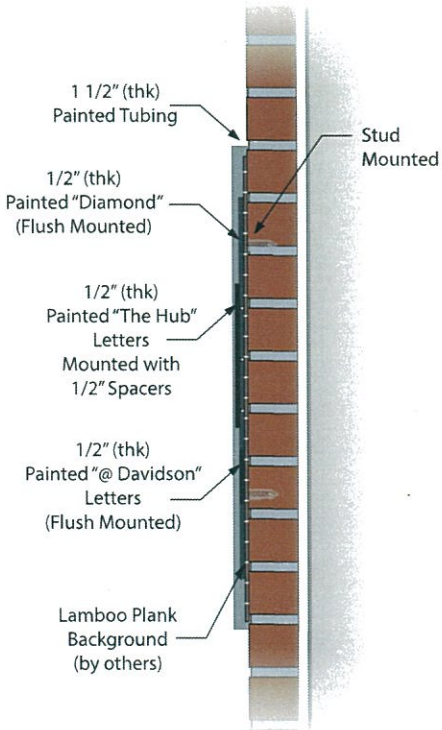
NOTES:
1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
4. DAMP COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
5. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.
6. SEE SPECIFICATIONS FOR FURTHER SOIL AND PLANTING REQUIREMENTS.

CONCEPT

Qty: 1
Lamboo Planks (by others) / Painted Dimensional Letters / Painted Tubing / Spacers
Scale: 1/2" = 1'



Side View
Scale: NTS



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DATE:

3/22/17

REVISION DATE:

5/18/17
6/9/17
7/19/17
7/20/17

JOB LOCATION:

Davidson, NC

CONTACT:

Sign Innovations Rep.

DRAWING:

Davidson 210

DESIGNER:

Nate

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Underwriters Laboratories Inc. LISTED

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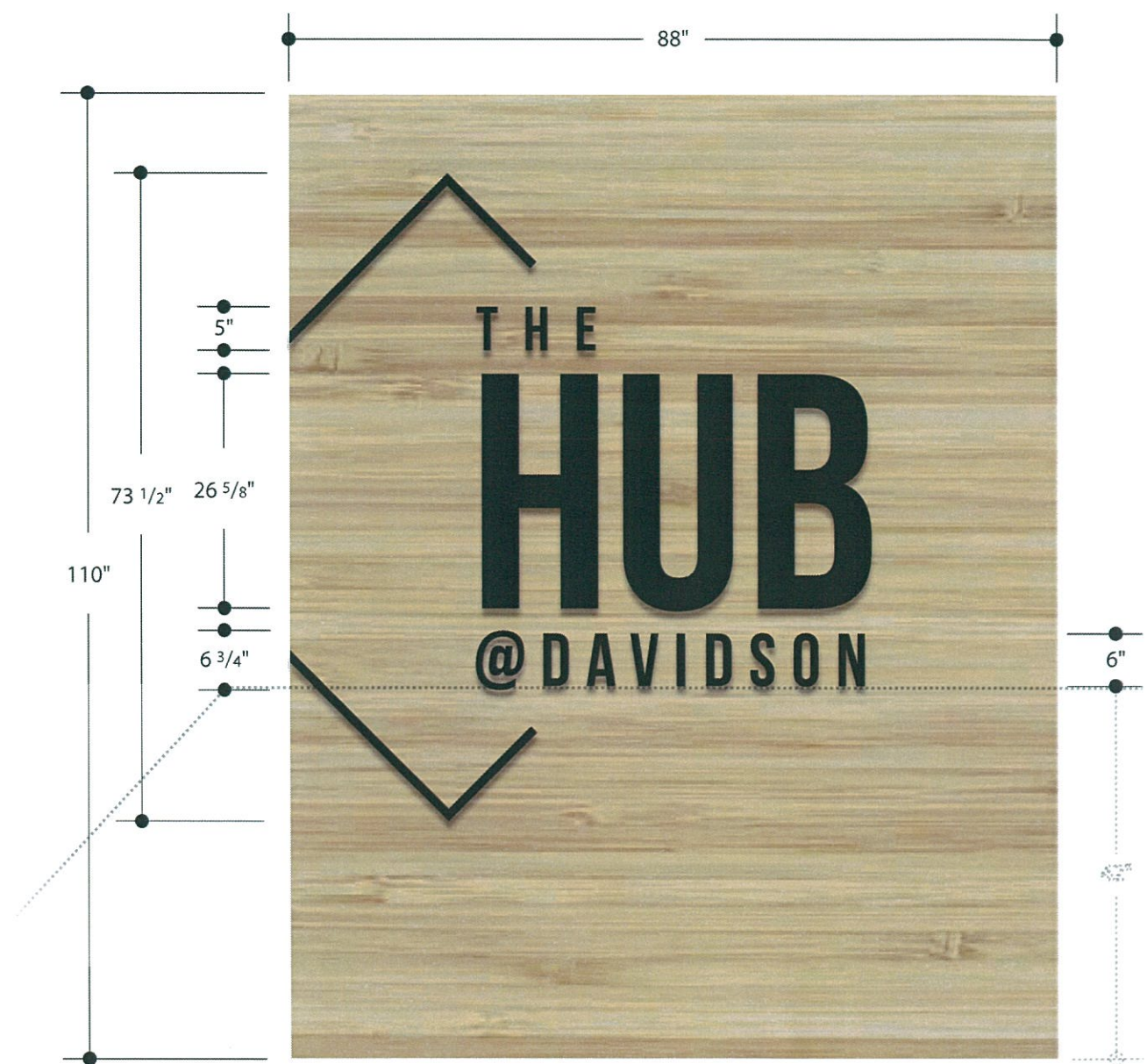
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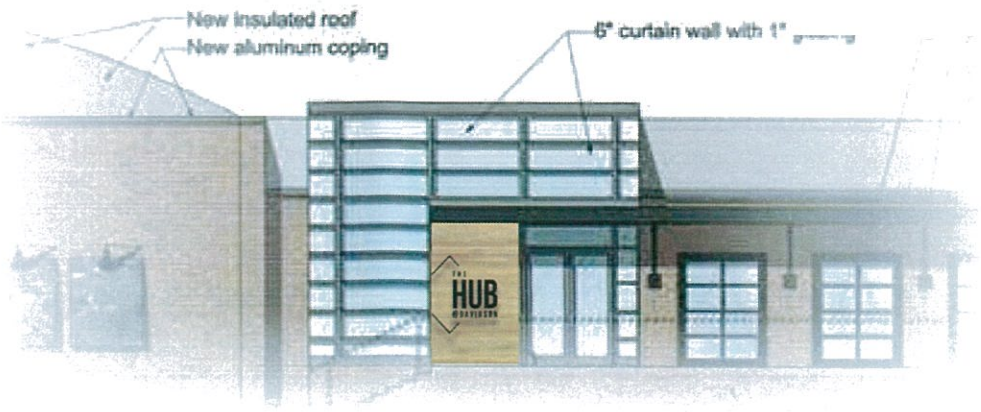
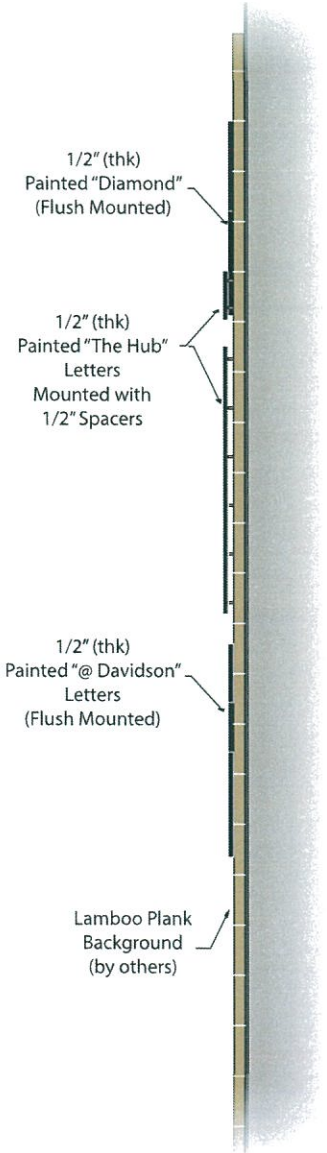
1 of 4

CONCEPT

Qty: 1
Lamboo Planks (by others) / Painted Dimensional Letters / Spacers
Scale: 1/2" = 1'



Side View
Scale: NTS



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7/19/17
7/20/17

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CONTACT:
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DRAWING:
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DESIGNER:
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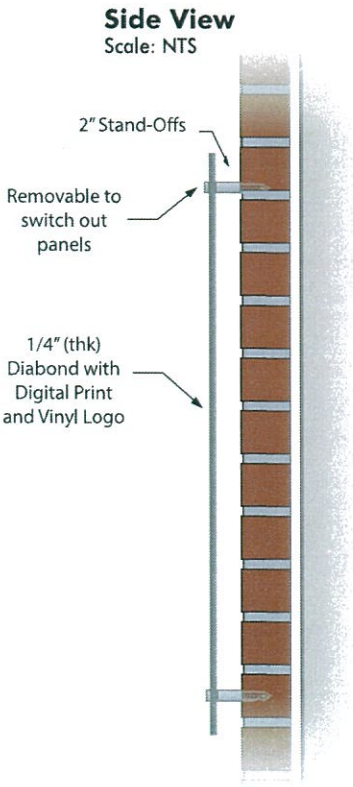
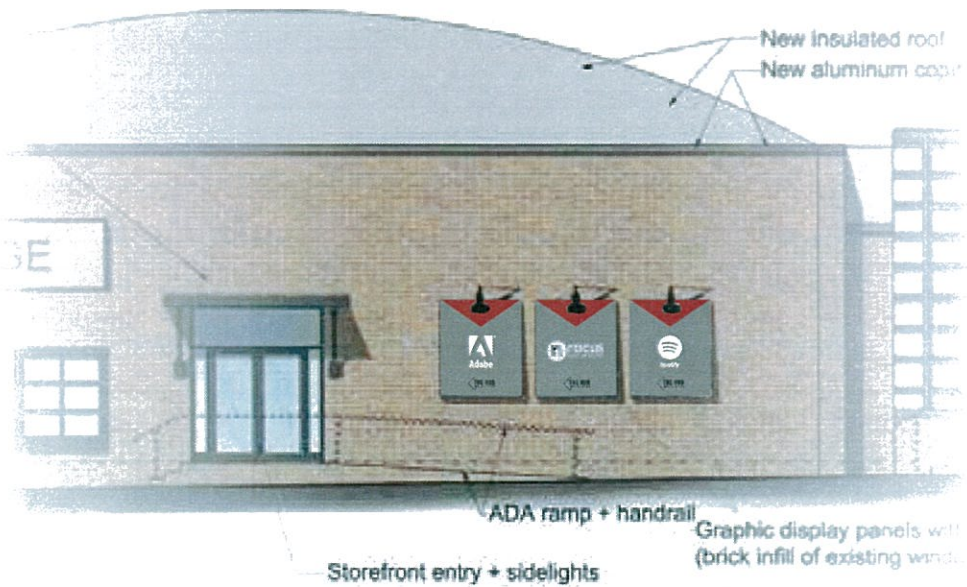
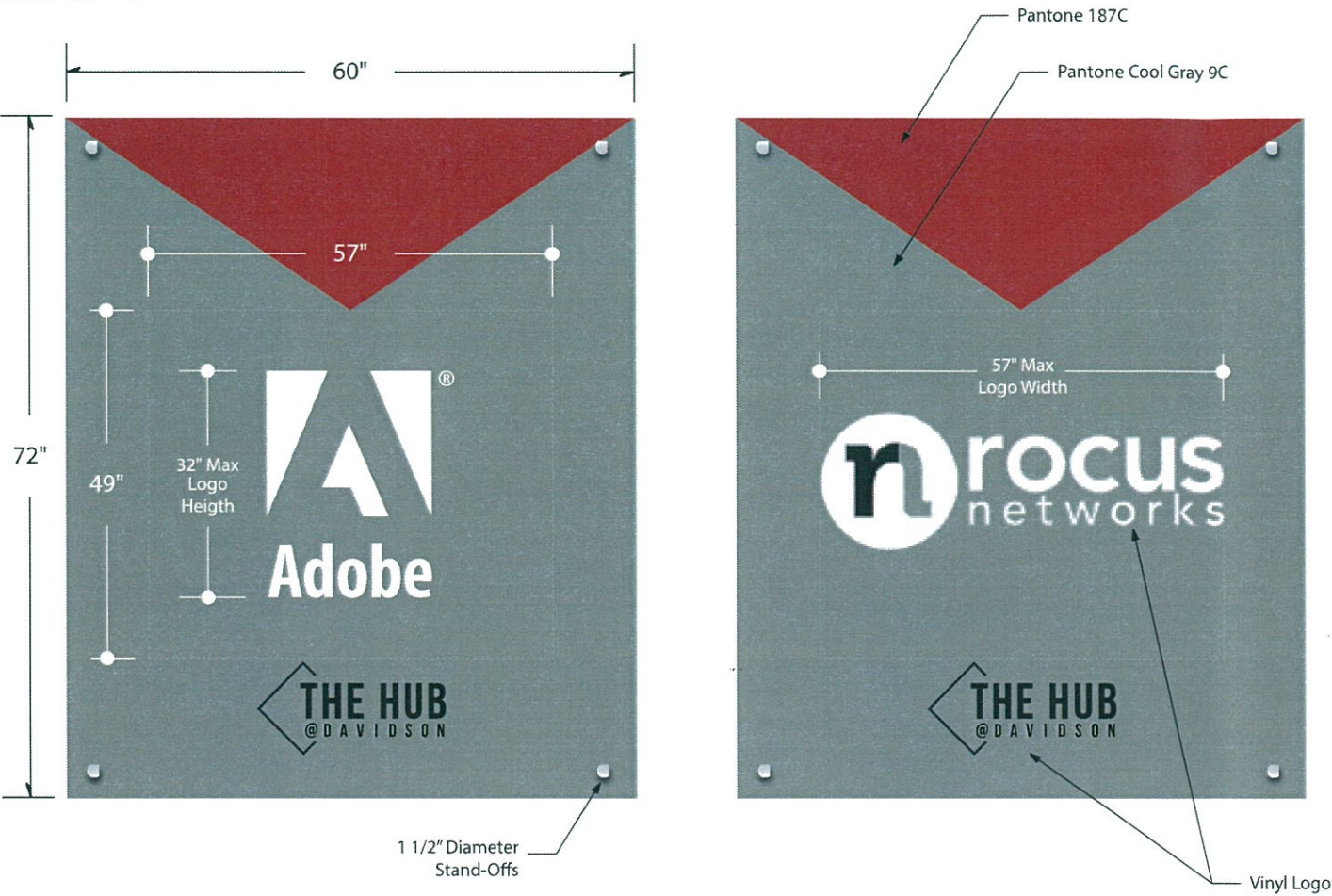
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PAGES:
2 of 4

CONCEPT

Qty: 3
Removable Diabond Panels / Digital Print with Vinyl / Stand-Offs

Scale: 1/2" = 1'



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CONTACT:

Sign Innovations Rep.

DRAWING:

Davidson 210

DESIGNER:

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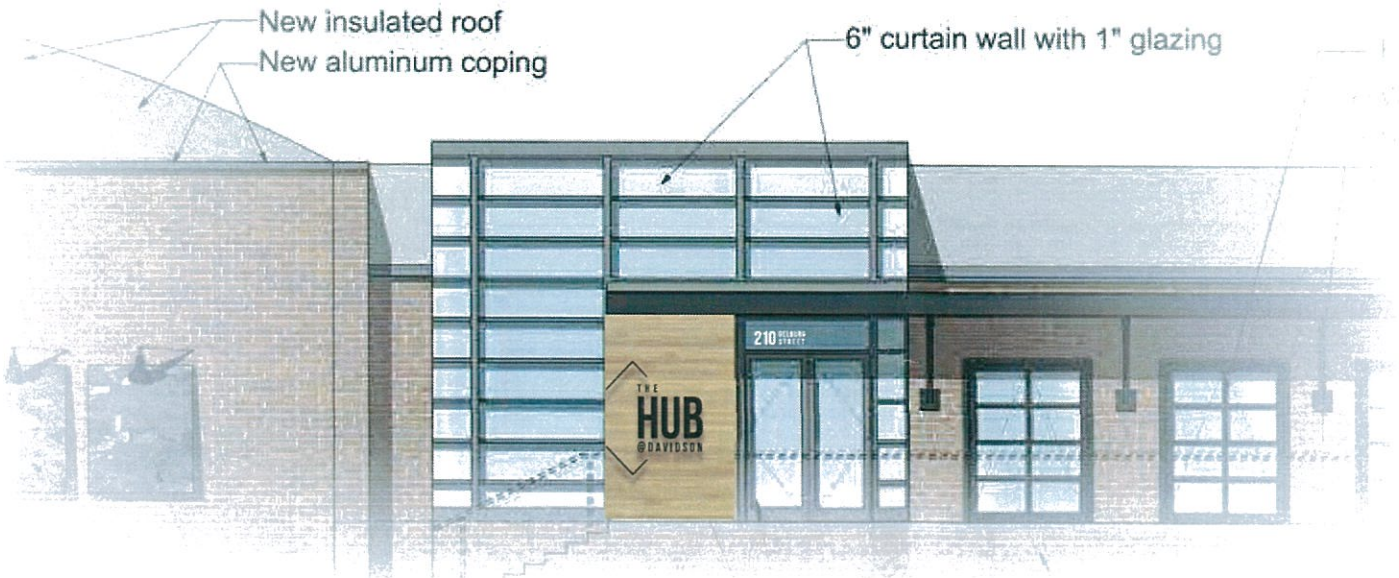
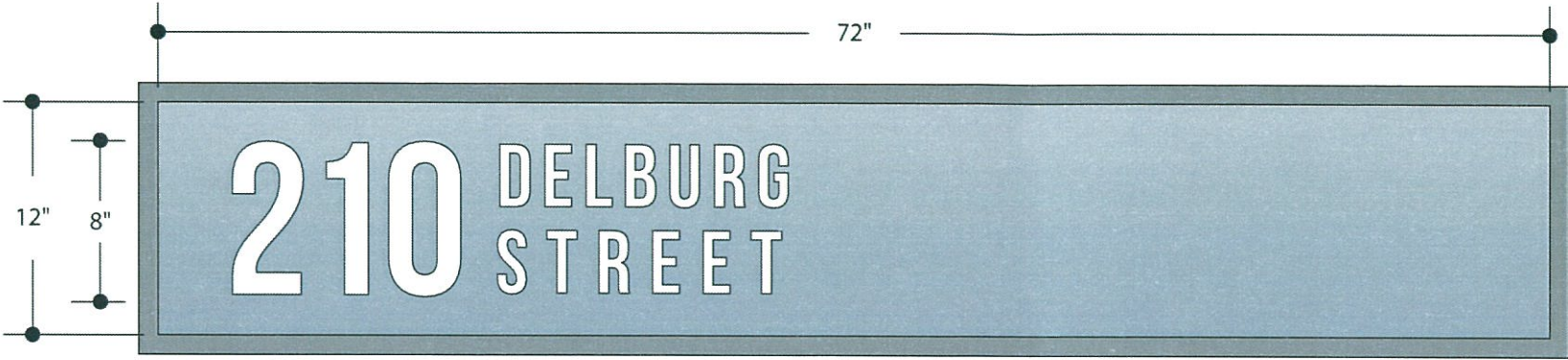
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3 of 4



CONCEPT

Qty: 1
White Vinyl - 1st Surface
Scale: 1" = 1'



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