

Town of Davidson, NC
Design Review Board: Staff Analysis
February 20, 2019

Project: Accessory Structure (over 650 square feet)
Location: 253 Catawba Ave.
Applicant: Tim Pratt, Copper Builders, Inc.
Designer: ALB Architecture
Planning Area: Village Infill (Orange Overlay District)

The applicant would like to construct a detached garage in the rear yard at 253 Catawba Avenue. A new home and detached garage are proposed for this site.

The footprint of the proposed detached garage is in excess of 650 square feet. Per DPO Section 4.5.8.B.2., any accessory structure over 650 square feet of first floor area shall be reviewed by the Design Review Board.

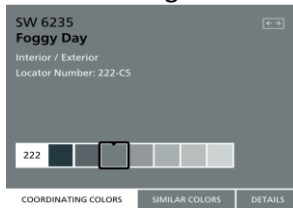
The proposed garage will have a footprint of 756 square feet. This is less than 30% of the footprint of the principal building, as required per DPO Section 4.5.8.B.1. The footprint of the principal building is 2,542 square feet (30% of this footprint is 763 square feet). The height of the structure will be 25'7" (two stories).

The proposed garage will be constructed with materials to match the new home to be constructed on site. The exterior of the structure will have gray hardi plank siding and white trim (see samples below). Gutters and downspouts will also be white. The foundation will be brick. The roof will be asphalt shingles.

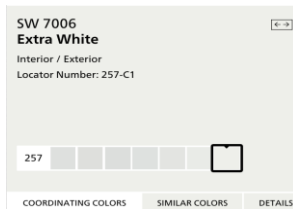
Additional architectural features include carriage style garage doors, brackets on dormer roof lines shown on the front and rear elevations, and a 10" square wood column on the front elevation at the garage entrance door and another on the left side elevation at the entrance to the stairs leading to the garret above the garage.

Lightning will be recessed in soffits above the garage door. Additional recessed lighting will be located at the garage entrance door on the front elevation and at the vestibule entering the garret above the garage on the left side elevation.

Exterior Siding Color:



Exterior Trim Color:



DAVIDSON PLANNING ORDINANCE:

Section 4.5.8 Accessory Structures

B. Size of Accessory Structure

1. *In the Rural Reserve and Rural Planning Areas, on lots over two acres where the proposed accessory structure is located more than 150 feet from the right-of-way or is not otherwise visible from the right-of-way, the footprint of an accessory structure shall not exceed 1,200 square feet. In all planning areas, except the Rural Reserve and Rural Planning Areas, the footprint of an accessory structure must not exceed 650 square feet or 30% of the footprint of the principal building (up to a maximum of 900 square feet), whichever is greater.*
2. *Any accessory structure over 650 square feet of first floor area and all accessory structure ancillary to non-residential building types shall be reviewed by the Design Review Board, in accordance with the procedures in Section 14.*

Section 4.4.1 General Building Design Standards

E. Materials

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*
4. *Building materials and colors shall be:*
 - a. *Complementary to the materials already being used in the neighborhood.*

F. Architectural Details

1. *Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.*
4. *Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*



Design Review

253 Catawba Ave Detached Garage Accessory Structure
(Name of Project)

Application Requirements

Date Received

- ☒ Application Fee per Town of Davidson Fee Schedule
- ☒ Contact Information
- ☒ General Statement of Intent
(Use, building type, approx. square footage, height, design features)
- ☒ Statement of Compliance with Section 2
- ☒ Master Plan or Conditional Planning Area
(Including all documents, plans, maps, and conditions of approval)
- ☒ Environmental Inventory in accordance with Section 14.15.1
(Including adjacent properties and buildings)
- ☒ General Description
(Including a description and color photographs to existing / adjacent site)
- ☒ Site Schematic Design in accordance with Section 14.15.7
- ☒ Building Schematic Design in accordance with Section 14.15.3
(Including rendered elevations of each façade per 14.15.3 C)
- ☐ Landscape Schematic Design in accordance with Section 14.15.5
- ☒ Building Perspective
- ☒ Building Materials/Colors
(Roofing, siding, doors, windows, etc.)

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

DocuSigned by:
Tim Pratt
495112402F31440...

Applicant's Signature

1/4/2019

Date



Design Review

253 Catawba Ave Detached Garage Accessory Structure

(Name of Project)

Contact Information

Applicant's Information

Name: Copper Builders, Inc

E-Mail: timpratt@copperbuilders.com

Mailing Address: 1235E East Blvd #155 Charlotte, NC 28203

Business Phone: None Mobile Phone: 704-604-7452

Property Owner's Information

(If Different from Applicant)

Name: Clay and Shannon Hooper

E-Mail: clay.hooper@nike.com

Mailing Address: 253 Catawba Ave Davidson, NC 28036

Business Phone: _____ Mobile Phone: 704-236-6385

Architect's Information

Name of Firm: ALB Architecture

Architect's Name: Angie Lauer

E-Mail: lauer.alb@icloud.com

Mailing Address: 1200 E Morehead St Suite 240

Charlotte, NC 28204

Business Phone: 704-503-9595 Mobile Phone: 704-506-6540



Design Review

253 Catawba Ave Detached Garage Accessory Structure

(Name of Project)

Project Description

Application Date:	1/3/19
Project Location:	253 Catawba Ave Davidson, NC 28036
Tax Parcel(s):	00320519
Planning Area:	Village Infill
Overlay District:	Orange
Master or Cond. Plan (Attach Conditions of Approval)	N/A
Gen. Statement of Intent:	Detached garage accessory structure compliant with zoning

Project Details:

• Project Type:	<input checked="" type="checkbox"/> Individual Bldg.	<input type="checkbox"/> Master Plan	<input type="checkbox"/> Conditional Planning Area
	<input type="checkbox"/> Sign		
• Building Type:	<input type="checkbox"/> Detached House	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Attached House (Tri- or Quadplex)
	<input type="checkbox"/> Institutional	<input type="checkbox"/> Live/Work	<input type="checkbox"/> Multi-family (Apts., Condos, Flats)
	<input type="checkbox"/> Workplace	<input type="checkbox"/> Storefront	<input checked="" type="checkbox"/> Accessory Structure
• Use(s):	Garage and garrett		
• Height & Stories:	25'7" and 2 stories		
• Square Footage:	861 sq/ft footprint Footprint amended to 756 Sq. ft.		
• Building Materials:	Hardi plank siding and asphalt shingles on a brick foundation		
Architectural Features:	Carriage style garage doors, corbels on overhangs and dormer roof lines		
Existing Site Conditions:	Empty lot- new construction		

See 14.12.2.D



Design Review

253 Catawba Ave Detached Garage Accessory Structure

(Name of Project)

Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.



Planning Ordinance

<http://www.townofdavidson.org/1006/Planning-Ordinance>

(Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)



Section 2 Planning Areas



Permitted Use/Add'l Req.



Not Permitted



Permitted Building Type



Not Permitted



Meets Setback Criteria



Does Not Meet



Meets Open Space Criteria



Does Not Meet



Meets Density Criteria



Does Not Meet



Section 4 Design Standards



General Site Design Criteria (4.3)



General Building Design Criteria (4.4)



Specific Building Type Criteria (4.5)



Existing Industrial Campuses Criteria (4.6)



Renovation of Existing Structures Criteria (4.7)



Section 8 Parking & Driveways



Section 9 Tree Preservation, Landscaping & Screening

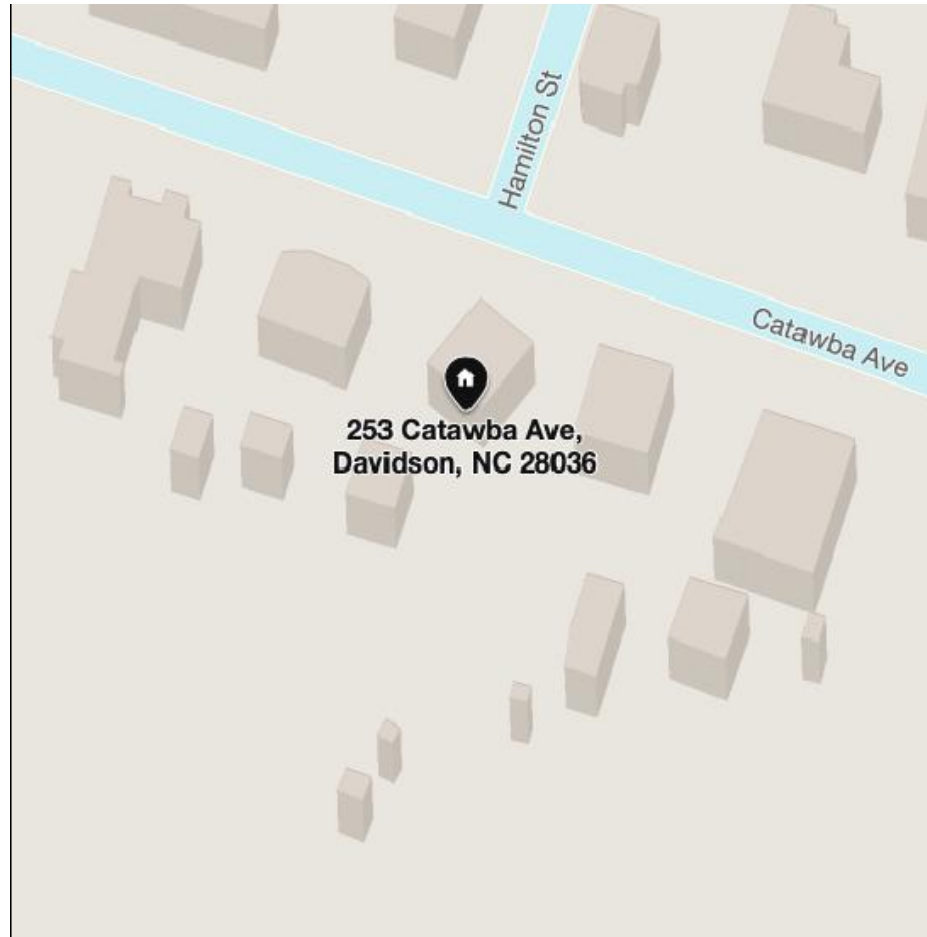


Section 10 Lighting



Section 22 Local Historic District Guidelines

VICINITY MAP



INDEX OF DRAWINGS

- A-0 COVER SHEET
- A-1.0 SITE PLAN
- A-4.0 ACCESSORY PLANS
- A-4.1 ACCESSORY PLANS
- A-4.2 ACCESSORY ELEVATIONS
- A-4.3 ACCESSORY SECTIONS



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ZONING INFORMATION

JURISDICTION	TOWN OF DAVIDSON
ZONED	VI-O
ACCESSORY FOOTPRINT	
HOUSE FOOTPRINT	2542 SQ.FT
ACCESSORY FOOTPRINT	756 (LESS THAN 30 PERCENT OF HOUSE FOOTPRINT)

ACCESSORY SQUARE FOOTAGE CALCULATIONS

	HEATED SPACE	UNHEATED SPACE
FIRST FLOOR	17	697 (GARAGE)
		42 (PORCHES)
SECOND FLOOR	545	
TOTAL	562	739
TOTAL UNDER ROOF	1301	

NOTE:
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

REQUESTED CHANGES

#	DATE	REQUESTED BY	REASON
1			

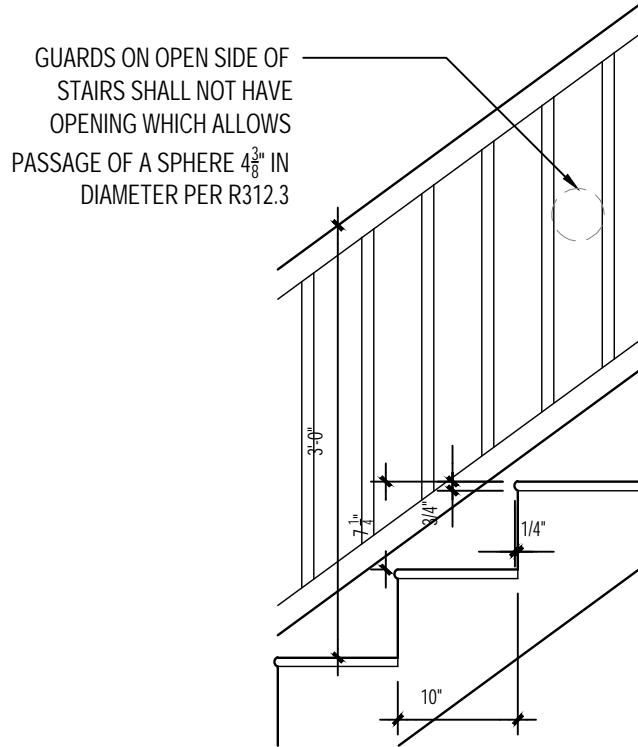
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HOOPER RESIDENCE-ACCESSORY
253 Catawba Avenue, Davidson, NC 28036

PROJECT #: 18086
ISSUED: 22 JAN 2019
REVISIONS:

COVER SHEET

A-0

OF:



③ WOOD STAIR DETAIL
3/4" = 1'-0"

GARAGE FIRST FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
101	16'-0" X 8'-0"	GARAGE DOOR
102	2'-8" X 6'-8"	GARAGE ENTRY
103	2'-8" X 6'-8"	STAIR ENTRY

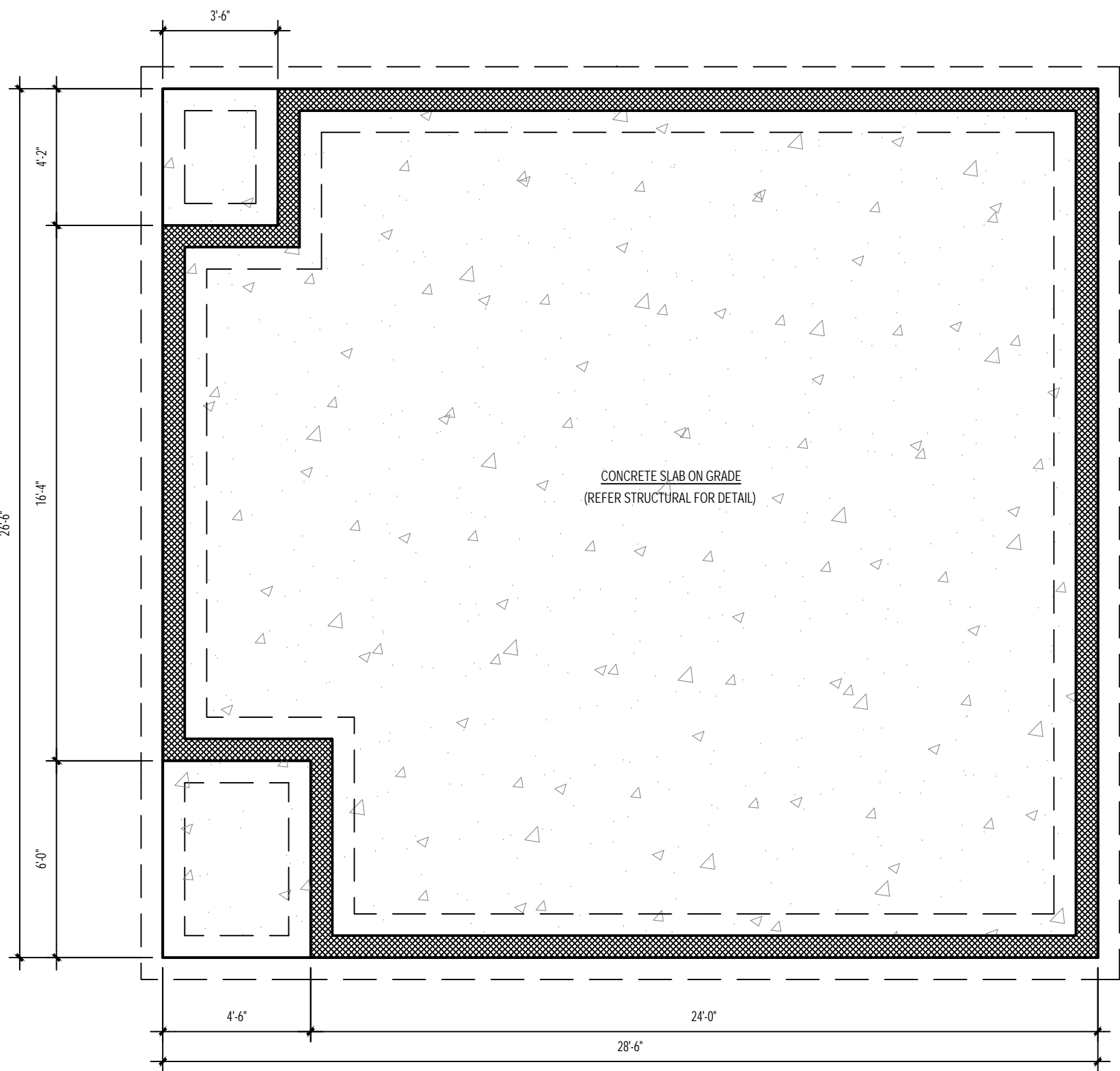
WINDOW SCHEDULE FOR GARAGE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-6" X 4'-6"	5'-9"	SINGLE HUNG
B	2'-6" X 2'-6"	7'-0"	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
 - WINDOW SIZING:
 - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 - FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
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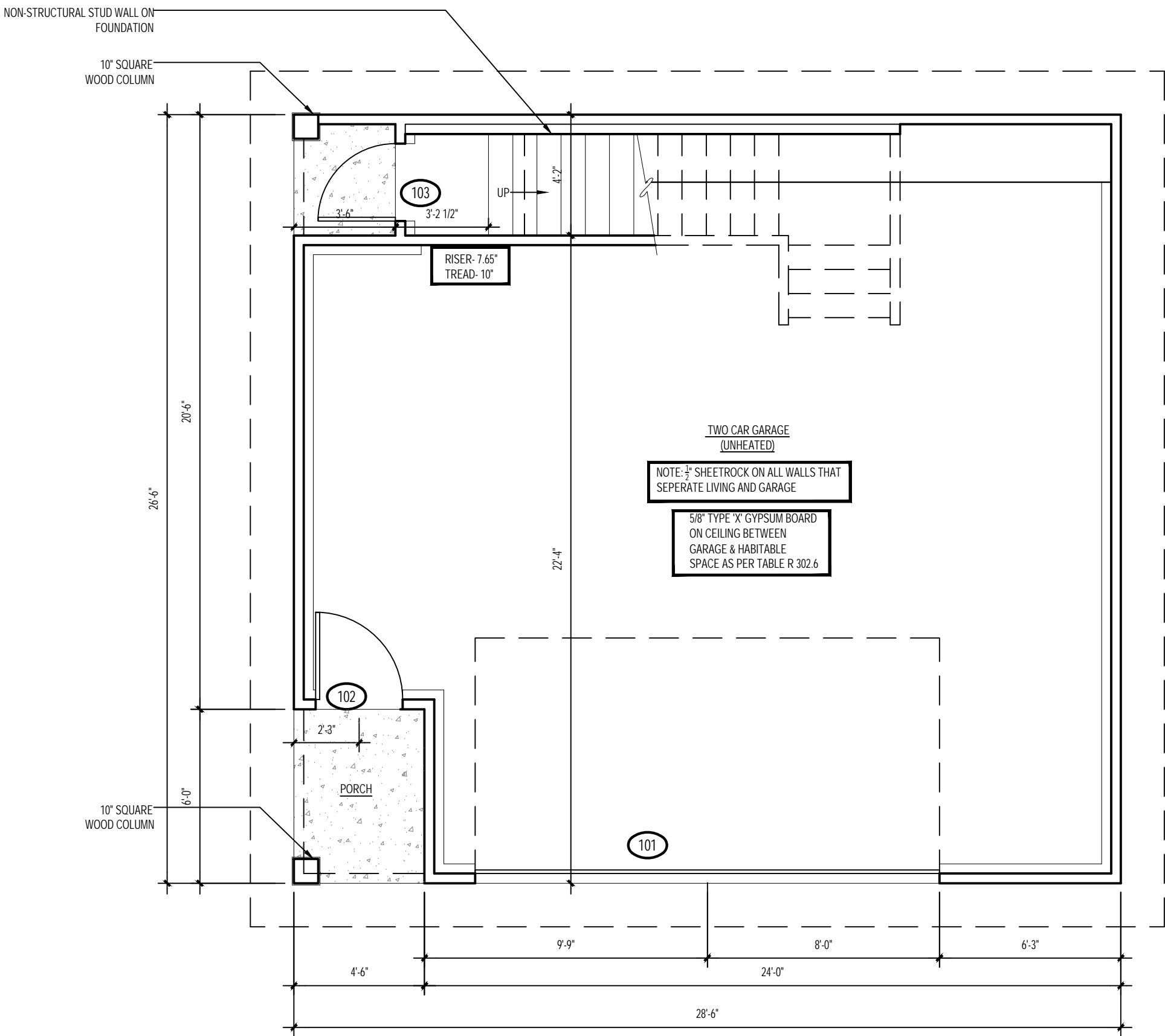
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 - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
 - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
 - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
 - FACE OF STUD TO ALIGN WITH FACE OF BLOCK
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 - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
 - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.5.3 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 3/4".
 - ALL RISERS TO BE SOLID.
 - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
 - RAILS TO BE 36" IN HEIGHT
 - ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
 - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
 - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
 - ALL EAVES TO BE 1'-6" U.N.O
 - ALL FASCIAS TO BE 8".
 - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
 - CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:
- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH
 - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
 - R311.7.5.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
 - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
 - R311.7.5.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
 - R311.7.8 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
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 - R312.1.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHS
 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
 - R312.1.3 OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
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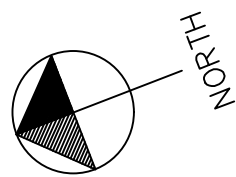
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② PROPOSED GARAGE FOUNDATION PLAN
1/4" = 1'-0"

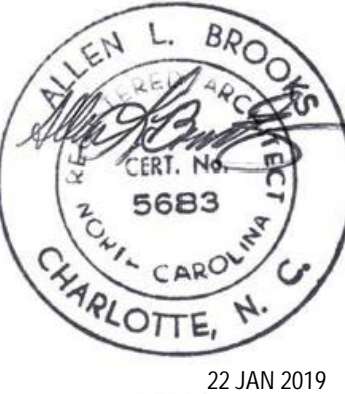


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1/4" = 1'-0"



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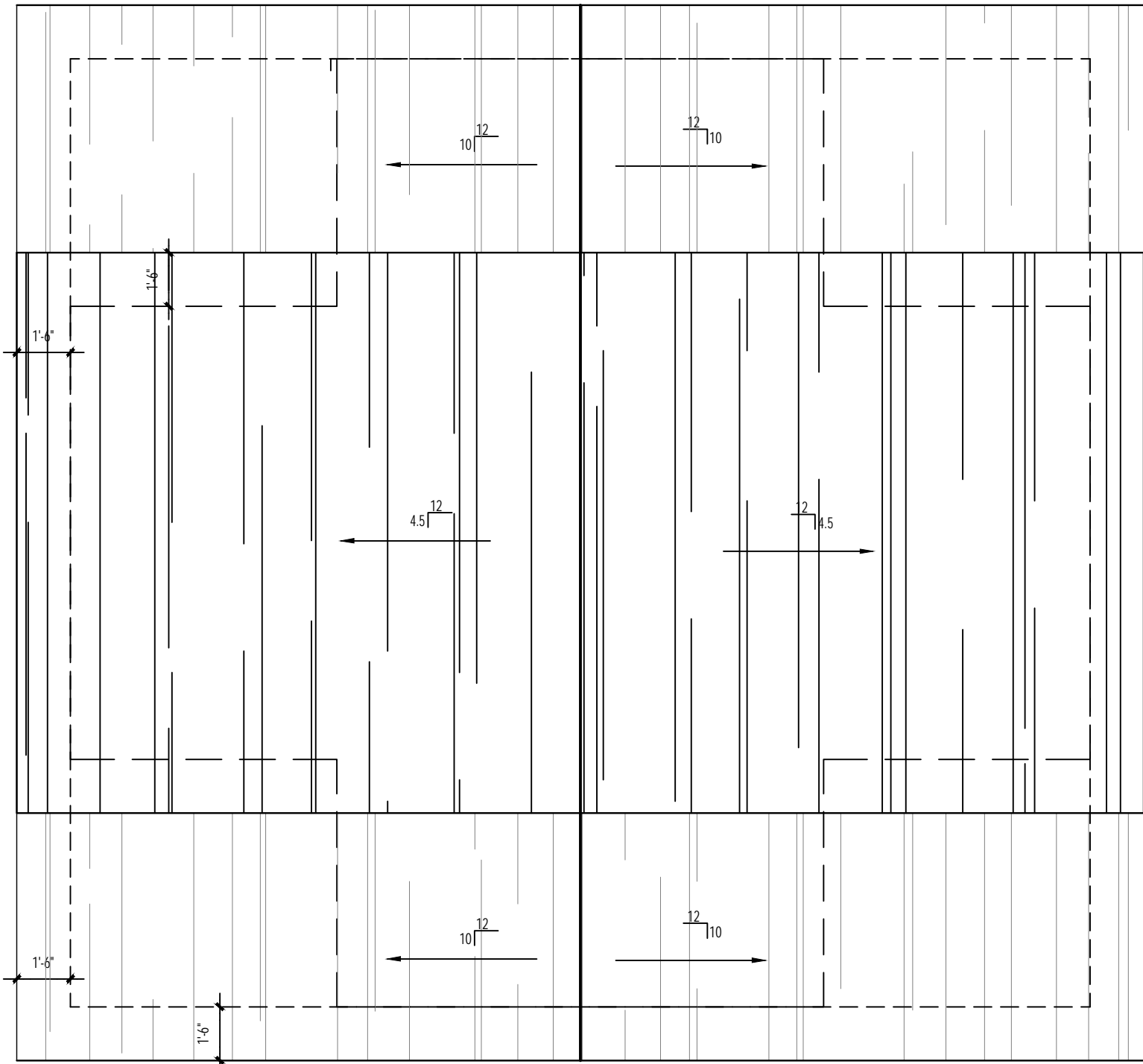
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Designed Exclusively For the:
HOOPER RESIDENCE-ACCESSORY
253 Catawba Avenue, Davidson, NC 28036

PROJECT #: 18086
ISSUED: 22 JAN 2019
REVISIONS:

PROPOSED GARAGE PLANS

A-4.0
OF:



2 PROPOSED GARAGE ROOF PLAN
1/4" = 1'-0"

GARAGE SECOND FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
201	2'-8" X 6'-8" POCKET DOOR	BEDROOM
202	2'-6" X 6'-8" POCKET DOOR	BATHROOM
203	2'-6" X 6'-8"	WC
204	2'-6" X 6'-8"	CLOSET

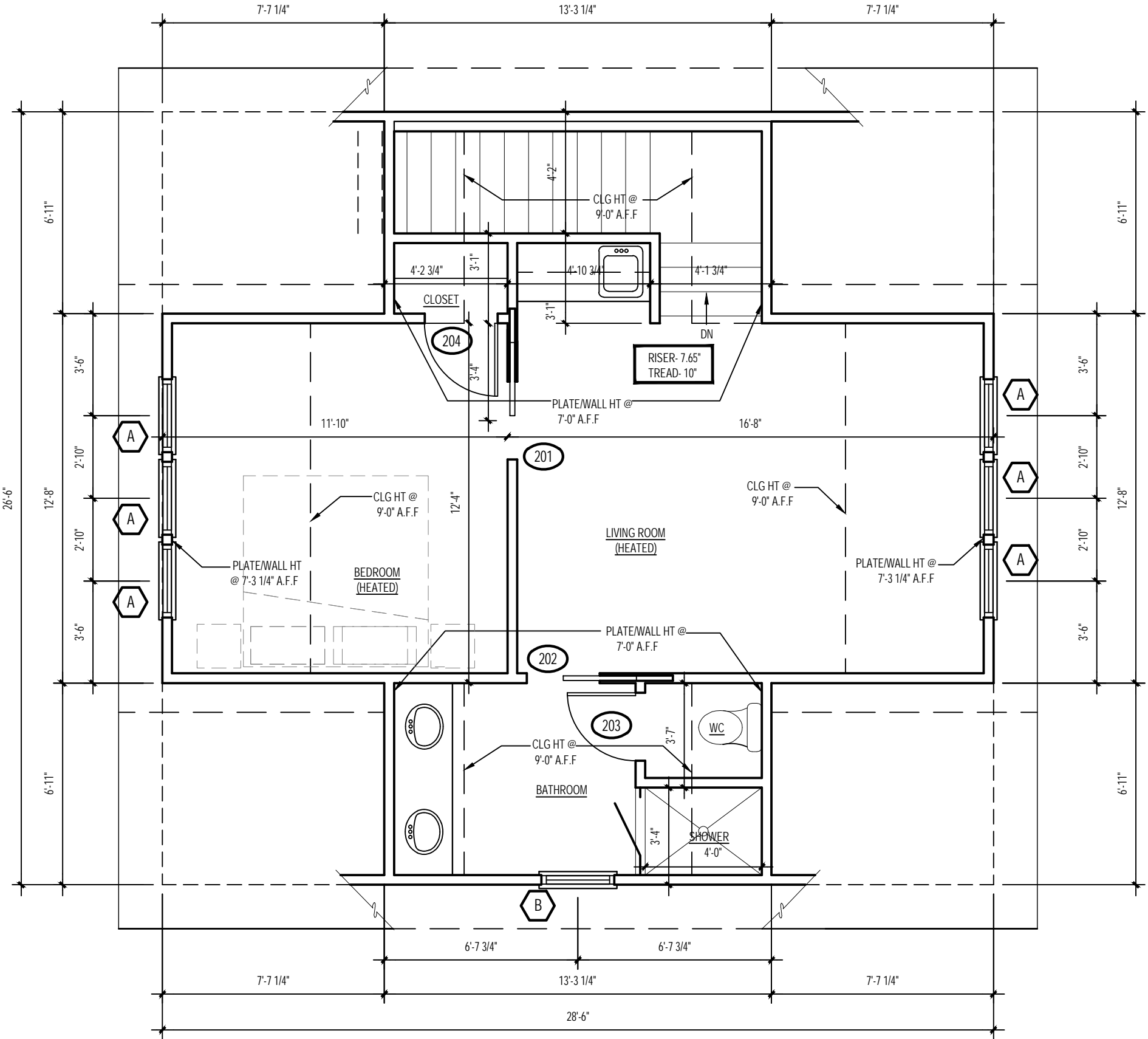
WINDOW SCHEDULE FOR GARAGE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-6" X 4'-6"	5'-9"	SINGLE HUNG
B	2'-6" X 2'-6"	7'-0"	CASEMENT

- NOTE:
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 2. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
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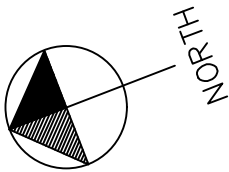
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1 PROPOSED GARRETT PLAN
1/4" = 1'-0"



NOTE:

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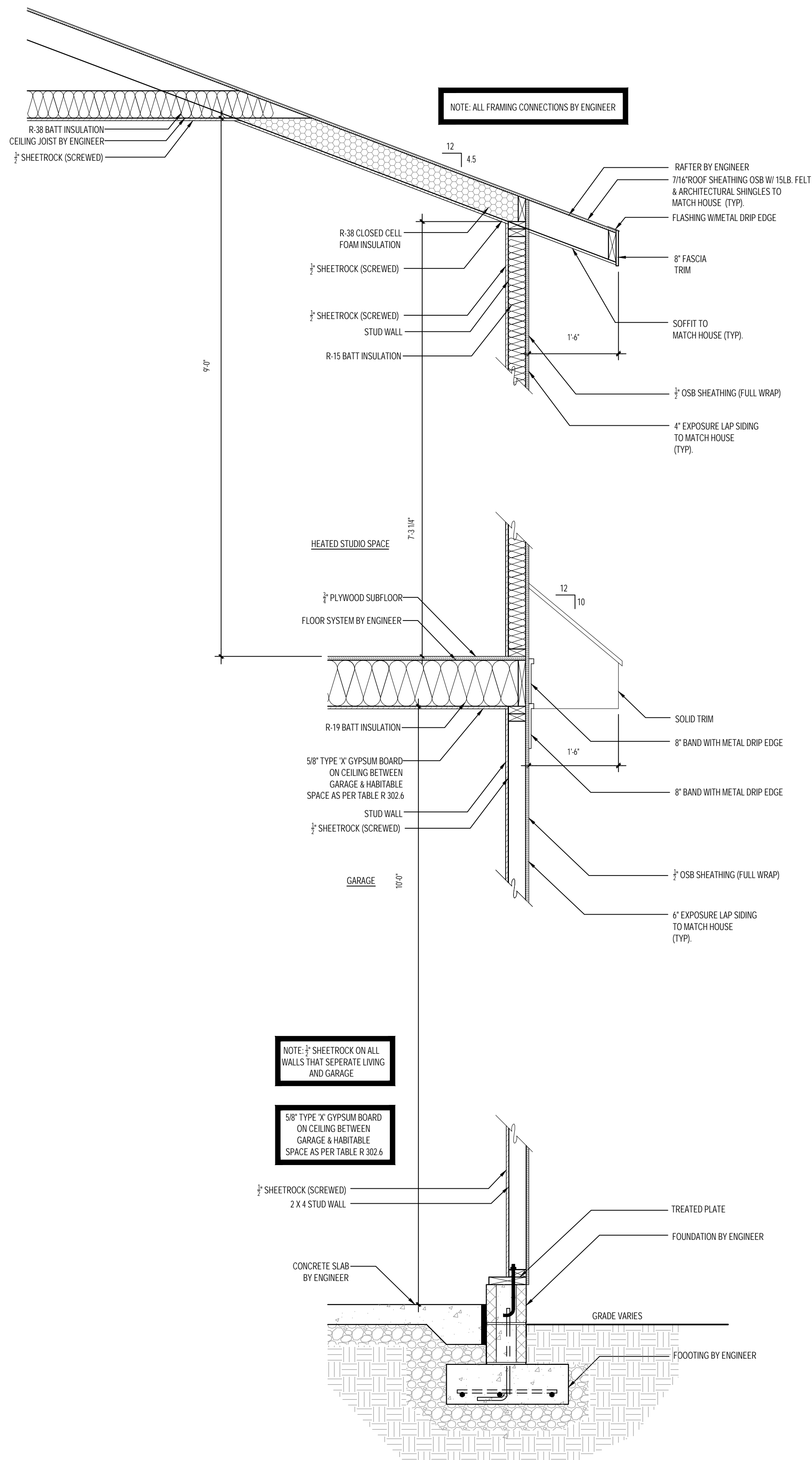
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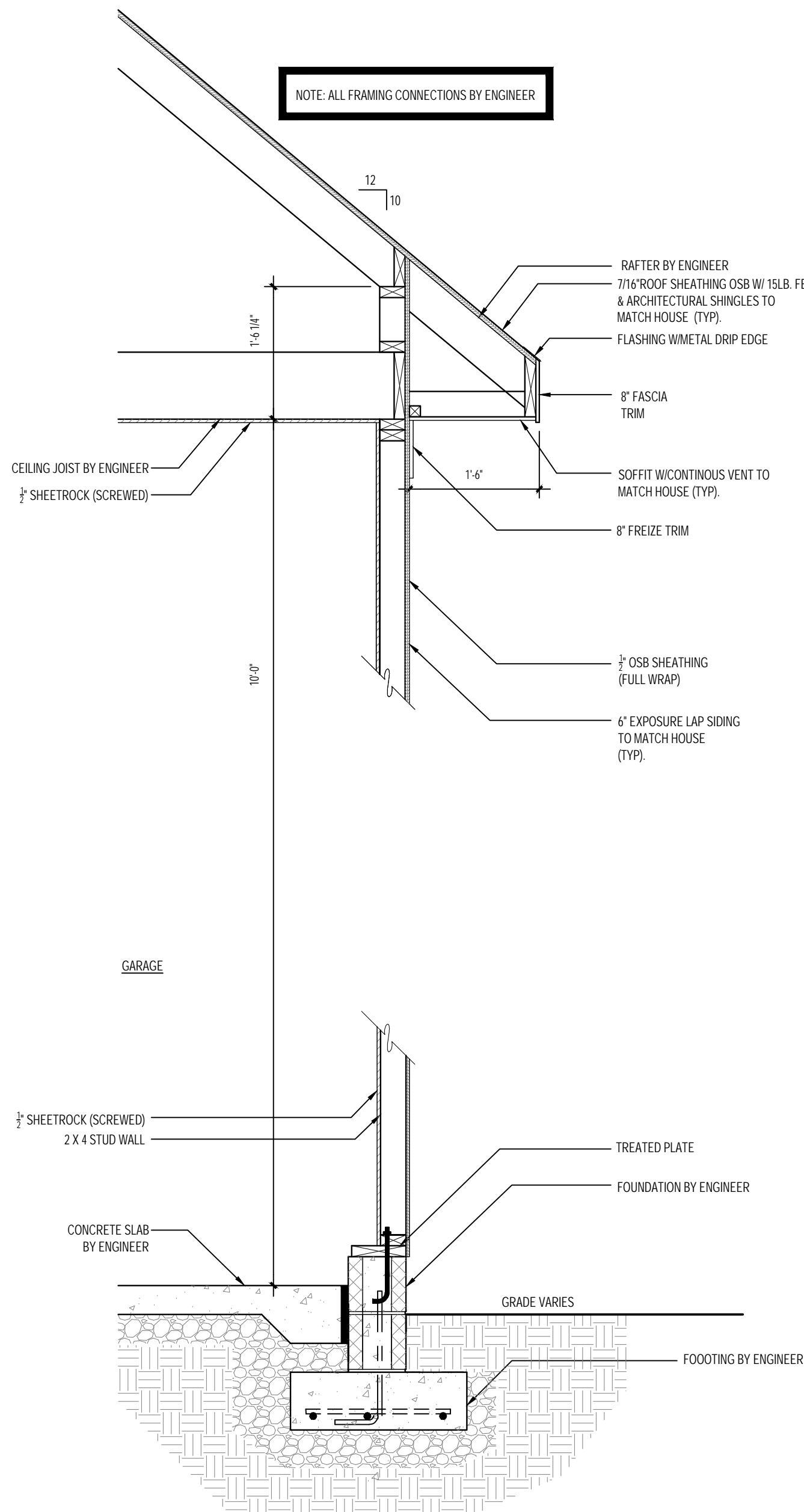
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2 TYPICAL SECTION THROUGH SHED DORMERS
3/4" = 1'-0"



1 TYPICAL SECTION
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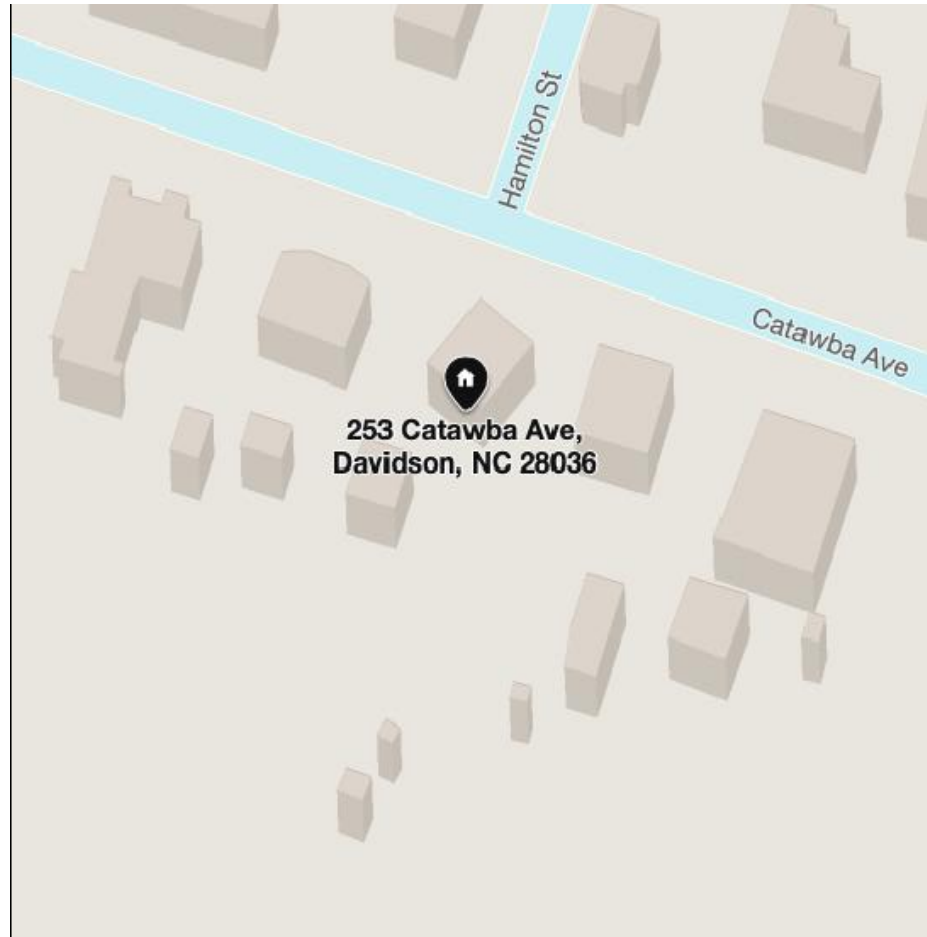
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Designed Exclusively For the:

HOOPER RESIDENCE-ACCESSORY

253 Catawba Avenue, Davidson, NC 28036

VICINITY MAP



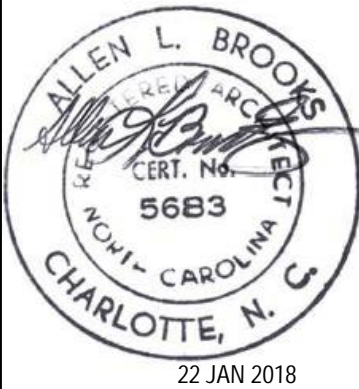
INDEX OF DRAWINGS

- A-0 COVER SHEET
- A-1.0 SITE PLAN
- A-2.0 FOUNDATION PLAN
- A-2.1 FIRST FLOOR PLAN
- A-2.2 SECOND FLOOR PLAN
- A-2.3 ROOF PLAN
- A-3.0 FRONT & RIGHT ELEVATION
- A-3.1 REAR & LEFT ELEVATION
- A-3.2 SECTIONS & DETAILS
- A-3.3 SECTIONS & DETAILS



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ZONING INFORMATION

JURISDICTION	TOWN OF DAVIDSON
ZONED	VI-O
BUILDING LIMITS	
FRONT SETBACK	25'-0"
LEFT SIDE YARD	6'-0"
RIGHT SIDE YARD-SIDE SETBACKS BASED ON 30 % OF LOT WIDTH	16.45'
REAR SETBACK	20'-0"
MAXIMUM BUILDING HEIGHT	32'-0"
FLOOR AREA RATIO-ORANGE OVERLAY DISTRICT-	
LOT SIZE	22,433 SQ.FT
21,000 TO LESS THAN 28,000	0.13 BUT CAN GO TO 0.16
MAXIMUM FAR	3589 SQ.FT

SQUARE FOOTAGE CALCULATIONS

	HEATED SPACE	UNHEATED SPACE
FIRST FLOOR	1996	
FRONT PORCH		275
REAR PORCH		237
SECOND FLOOR	1336	
TOTAL	3332	512
TOTAL UNDER ROOF		3844

NOTE:
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

REQUESTED CHANGES

#	DATE	REQUESTED BY	REASON
1			

Designed Exclusively For the:
HOOPER RESIDENCE
253 Catawba Avenue, Davidson, NC 28036

PROJECT #: 18086
ISSUED: 22 JAN 2018
REVISIONS:

COVER SHEET

A-0

OF:

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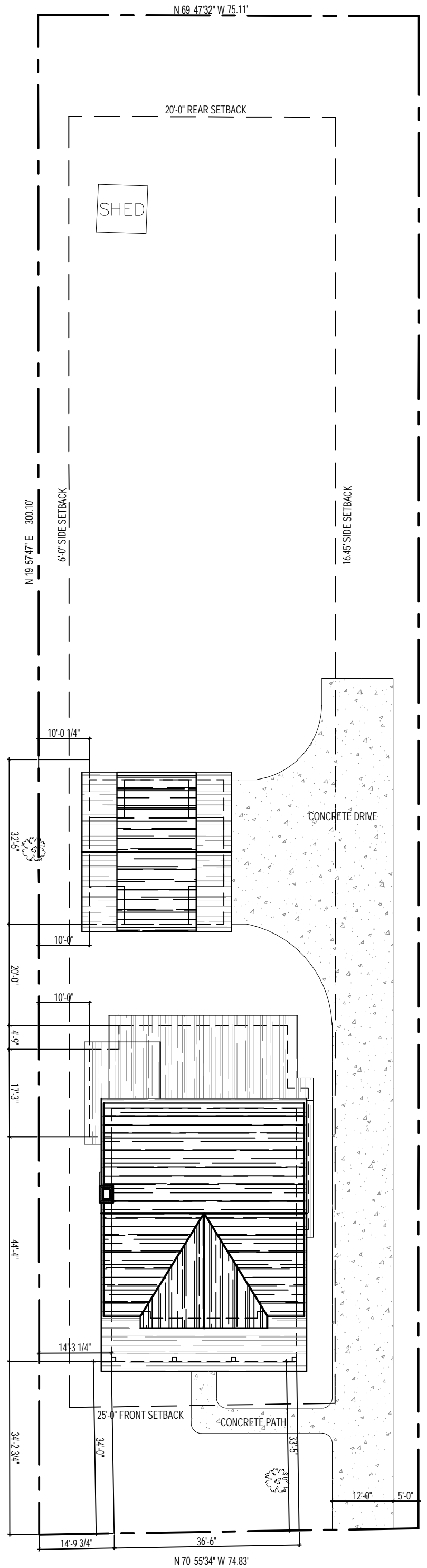
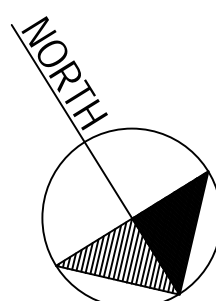
NOTE:

CONCRETE
GRAVEL
RETAINING WALL
PAVER SYSTEM

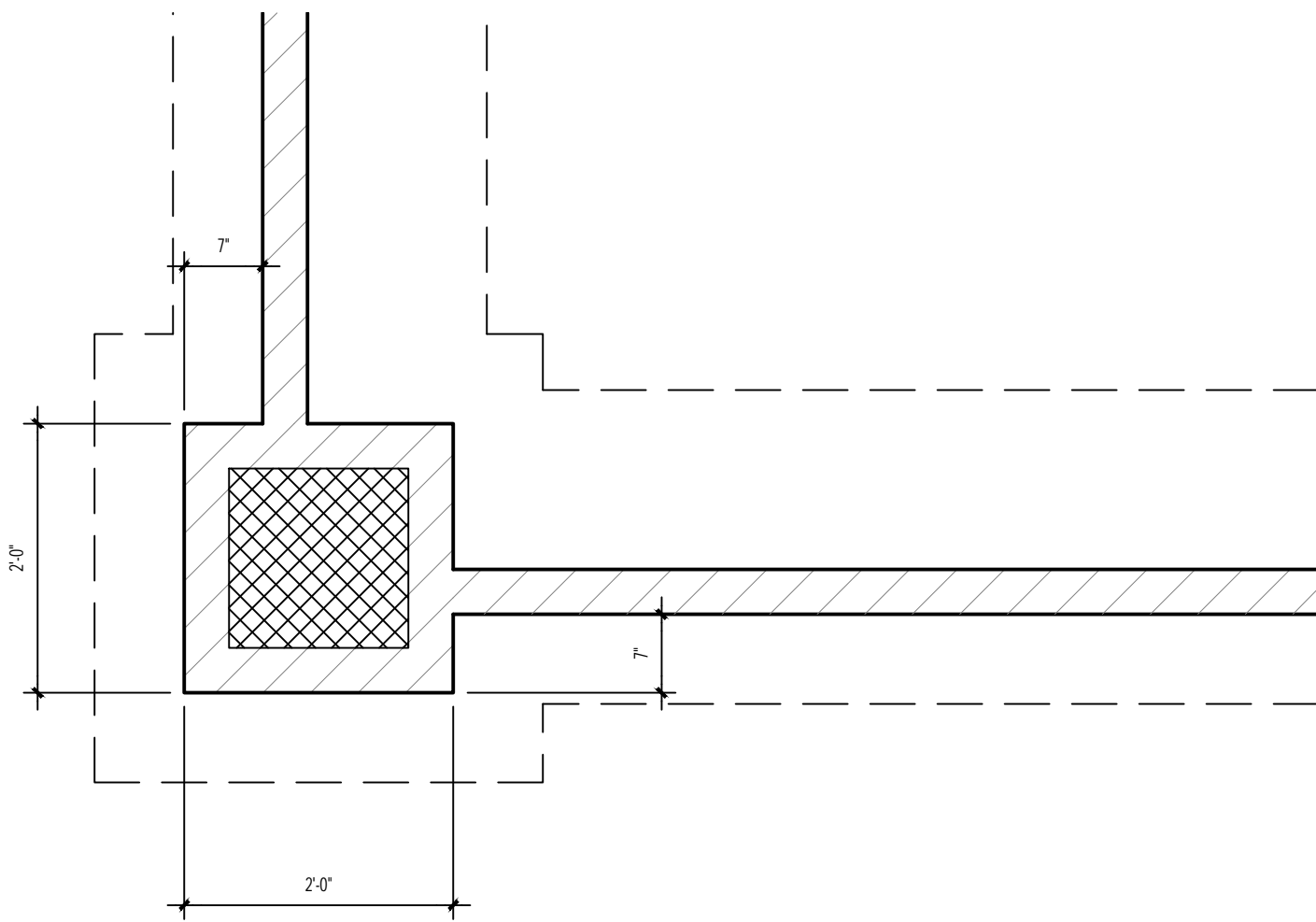
KEY:
WALL TO BE REMOVED
ITEM TO BE REMOVED

LEGEND:

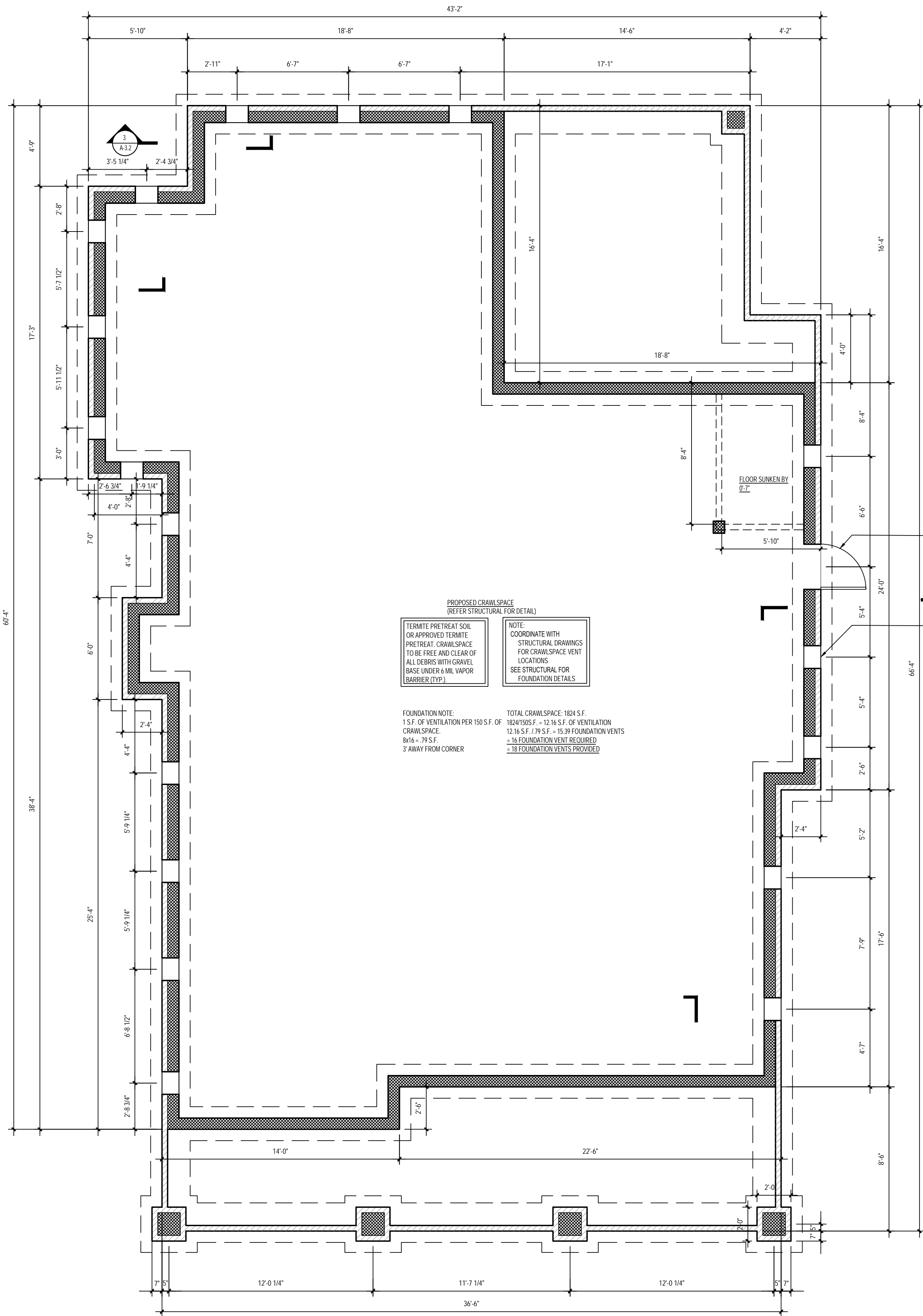
BOUNDARY LINE: ---
OVERHEAD UTILITIES: ---
FENCE (TYPE NOTED): ---
UTILITY POLE: ---
R/W: RIGHT OF WAY
E/P: EDGE OF PAVEMENT
C/L: CENTERLINE



1 PROPOSED SITE PLAN
1" = 20'-0"



2 DETAIL OF FRONT PIER
3/4" = 1'-0"



1 PROPOSED FOUNDATION PLAN
1/4" = 1'-0"

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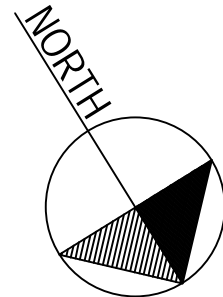
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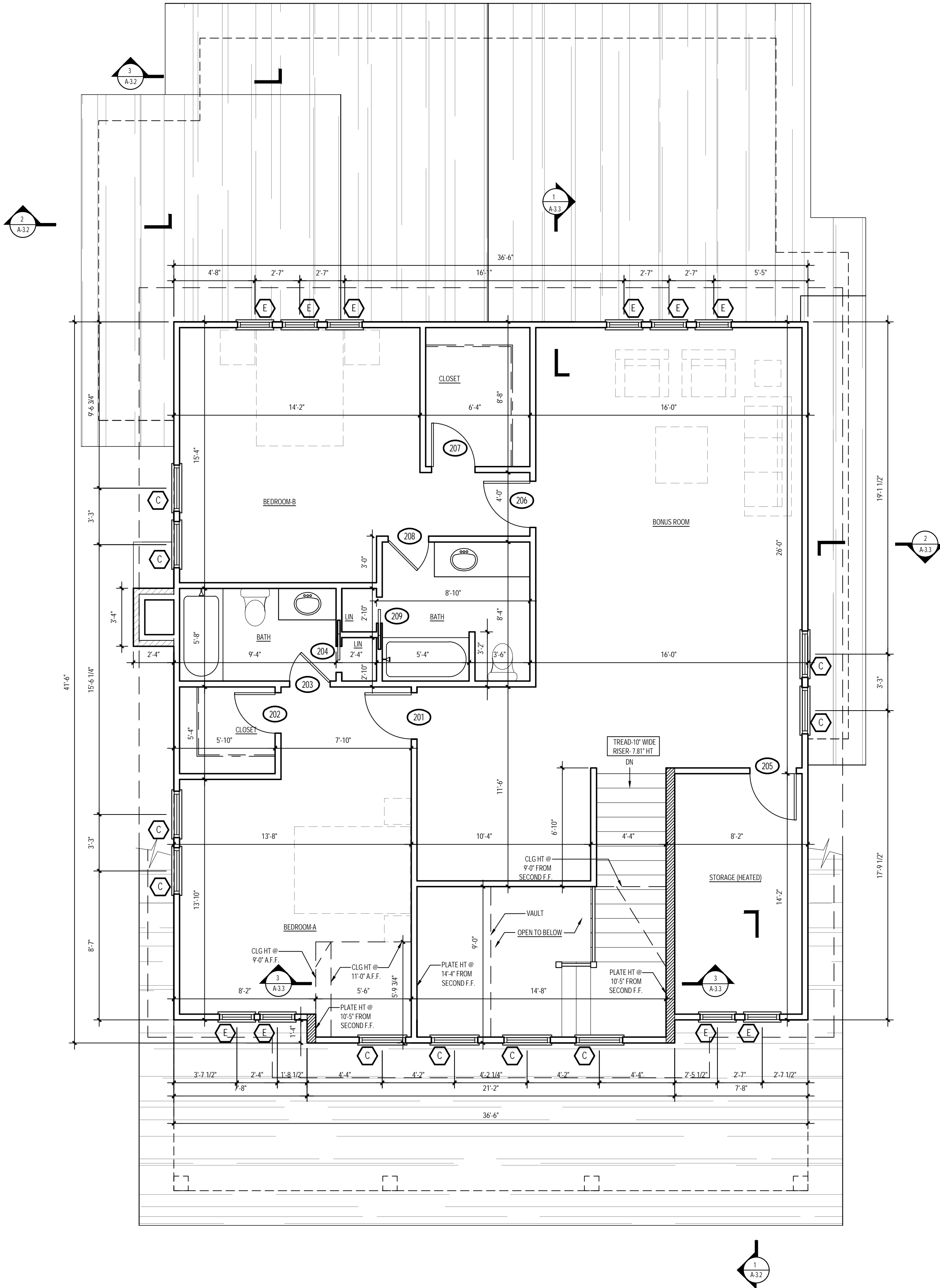
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- NOTE:
- CMU
 - STUD WALL
 - 6" STUD WALL
 - BRICK





1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	8'-0"	SINGLE HUNG
B	3'-0" X 5'-4"	8'-0"	SINGLE HUNG
C	2'-8" X 5'-0"	7'-0" 2ND FLOOR 9'-4" FOYER (FROM SECOND FLOOR)	SINGLE HUNG
D	2'-6" X 4'-6"	8'-0" 8'-7" @ MUDROOM	SINGLE HUNG
E	2'-0" X 2'-4"	8'-0" 2ND FLOOR	CASEMENT
F	2'-0" X 2'-0"	8'-0" 1ST FLOOR 13'-10" FOYER (FROM SECOND FLOOR)	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
 - WINDOW SIZING:
 - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS
 - FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - M.E. = MATCH EXISTING
 - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

SECOND FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
201	2'-8" x 6'-8"	BEDROOM 'A'
202	2'-4" x 6'-8"	BEDROOM 'A' CLOSET
203	2'-4" x 6'-8"	BATHROOM 'A'
204	1'-6" x 6'-8" POCKET DOOR	BATHROOM 'A' LINEN
205	2'-8" x 6'-8"	STORAGE
206	2'-8" x 6'-8"	BEDROOM 'B'
207	2'-4" x 6'-8"	BEDROOM 'B' CLOSET
208	2'-4" x 6'-8"	BATHROOM 'B'
209	1'-6" x 6'-8" POCKET DOOR	BATHROOM 'B' LINEN

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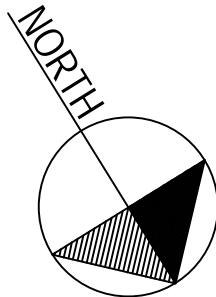
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 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS HAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
- R312.1.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/8 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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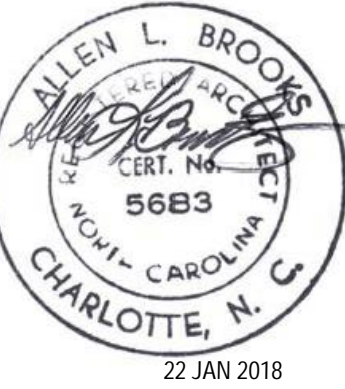
NOTE:

- CMU
- STUD WALL
- 6" STUD WALL
- BRICK



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Phone: 704.503.9595

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Designed Exclusively For the:

HOOPER RESIDENCE

253 Catawba Avenue, Davidson, NC 28036

PROJECT #: 18086
ISSUED: 22 JAN 2018
REVISIONS:

PROPOSED 2ND FLOOR
PLAN

A-2.2

OF:

GENERAL NOTES:

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF STUD TO ALIGN WITH FACE OF BRICK
- FIRE BLOCK @ FLOOR & CEILING PER CODE
- ALL DIMENSIONS ARE TO FACE OF STUD & BRICK
- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.5.3 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN $\frac{3}{8}$ "
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT
- ALL EXTERIOR COLUMNS VARIES - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO BE 2'-0" U.N.O
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- CONTINUOUS EAVE VENT U.N.O.


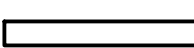

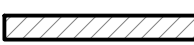
STAIRS, RAILING & GUARD NOTES:

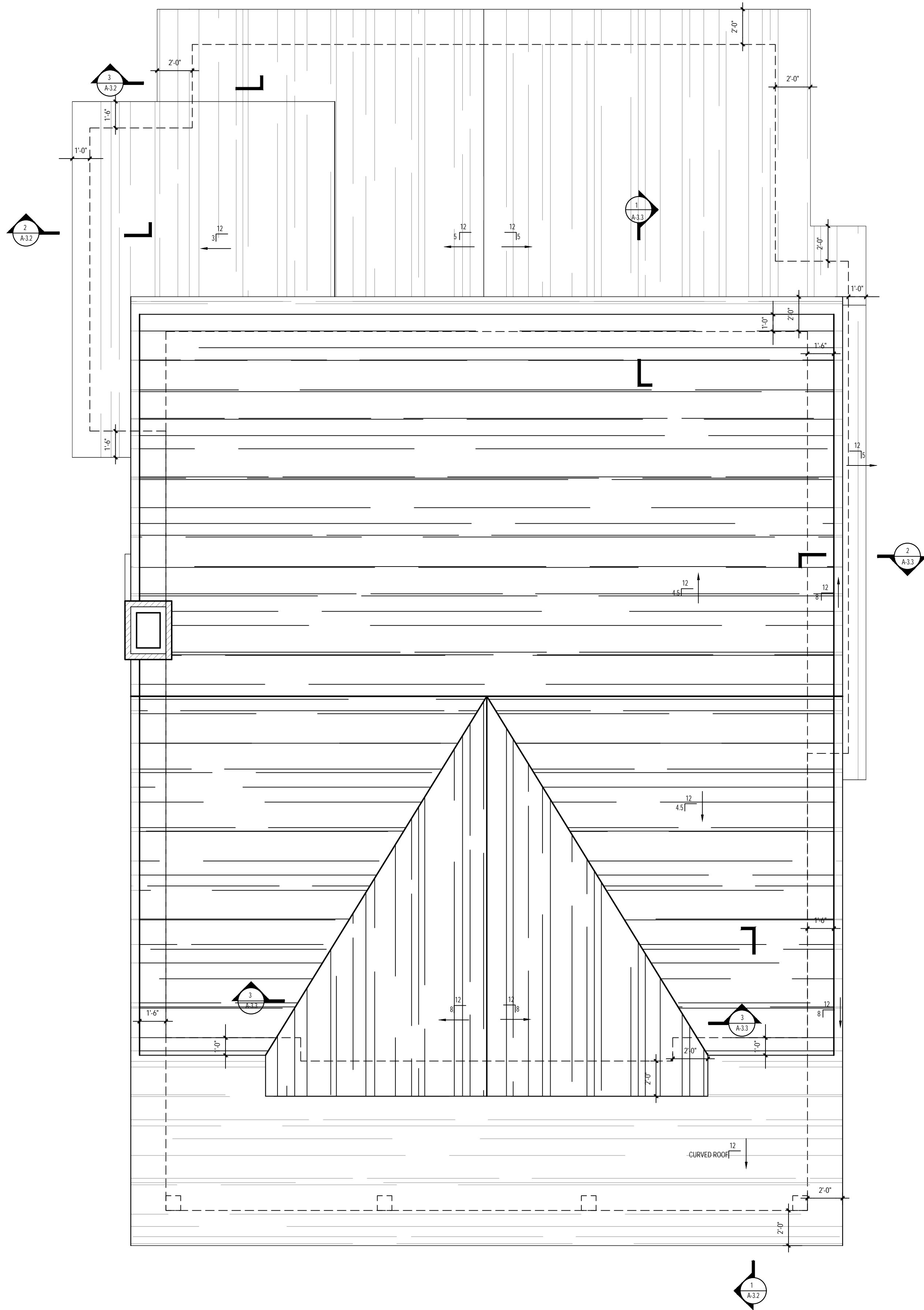
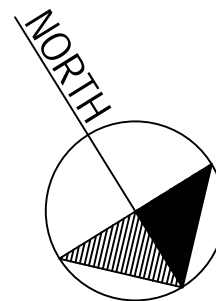
- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH
 - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R311.7.5.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 $\frac{1}{4}$ INCHES.
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NOTE:

CMU	
STUD WALL	
6" STUD WALL	
BRICK	



1 PROPOSED ROOF PLAN
1/4" = 1'-0"



22 JAN 2018

ALB Architecture, P.A.
Registered Architectural Corporation
Reg. Number
51533
North Carolina
Charlotte, North Carolina

Seal

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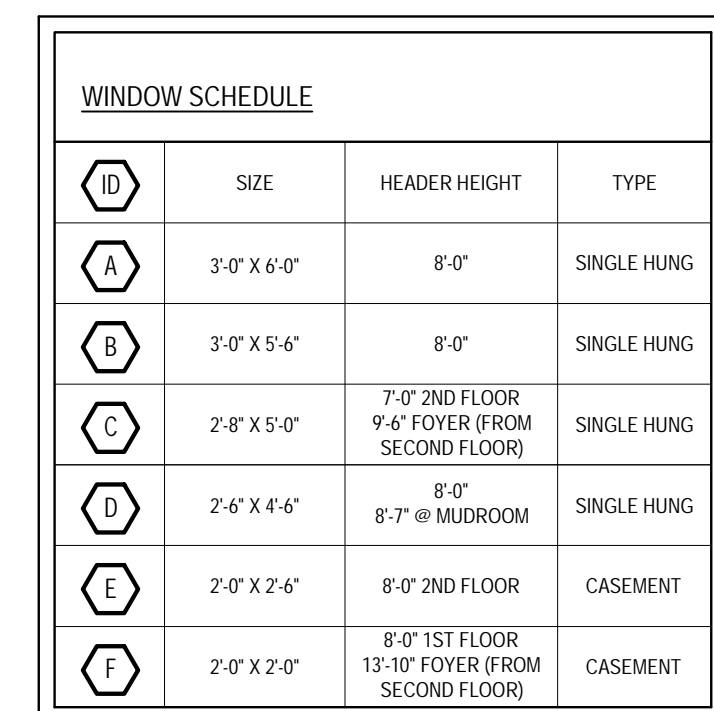
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Designed Exclusively For the:
HOOPER RESIDENC
253 Catawba Avenue, Davidson, NC

PROJECT #: 18086
ISSUED: 22 JAN 2018
REVISIONS:

PROPOSED FRONT & RIGHT
ELEVATION

A-3.0



NOTE:

1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BALANCE AT WINDOWS.
2. SET ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
3. ALL WINDOWS WITH 9" OF GLASS OR MORE & LESS THAN 18" AF MUST BE EGRESSED.
4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
5. WINDOW SIZING:
 - 5.1. NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES - DIMENSIONS
 - 5.2. REPAIRS - DIMENSIONS BASED ON KOLBE ULTRA SERIES - DIMENSIONS
 - 5.3. FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SET ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - 5.4. M.E. = MATCH EXISTING
6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE PROJECT ARCHITECT FOR APPROVAL.

GENERAL NOTES

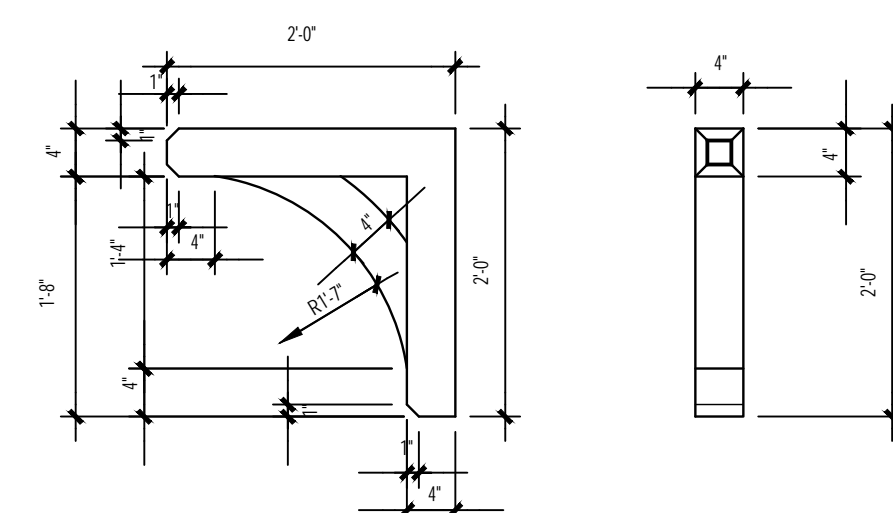
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3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF STUD TO ALIGN WITH FACE OF BRICK FIRE BLOCK @ FLOOR & CEILING PER CODE.
6. ALL DIMENSIONS ARE TO FACE OF STUD & BRICK
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R317.5.3 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN $\frac{1}{16}"$.
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT
13. ALL EXTERIOR COLUMNS VARIES - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
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15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO BE 2'-0" U.N.O
17. ALL FASCIAS TO BE 8"
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES

1. R317.1.7 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. SEE PLANS FOR CLEAR WIDTH.
- 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.5.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 $\frac{1}{2}$ INCHES.
- 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.5.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.8 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
5. R311.7.8.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
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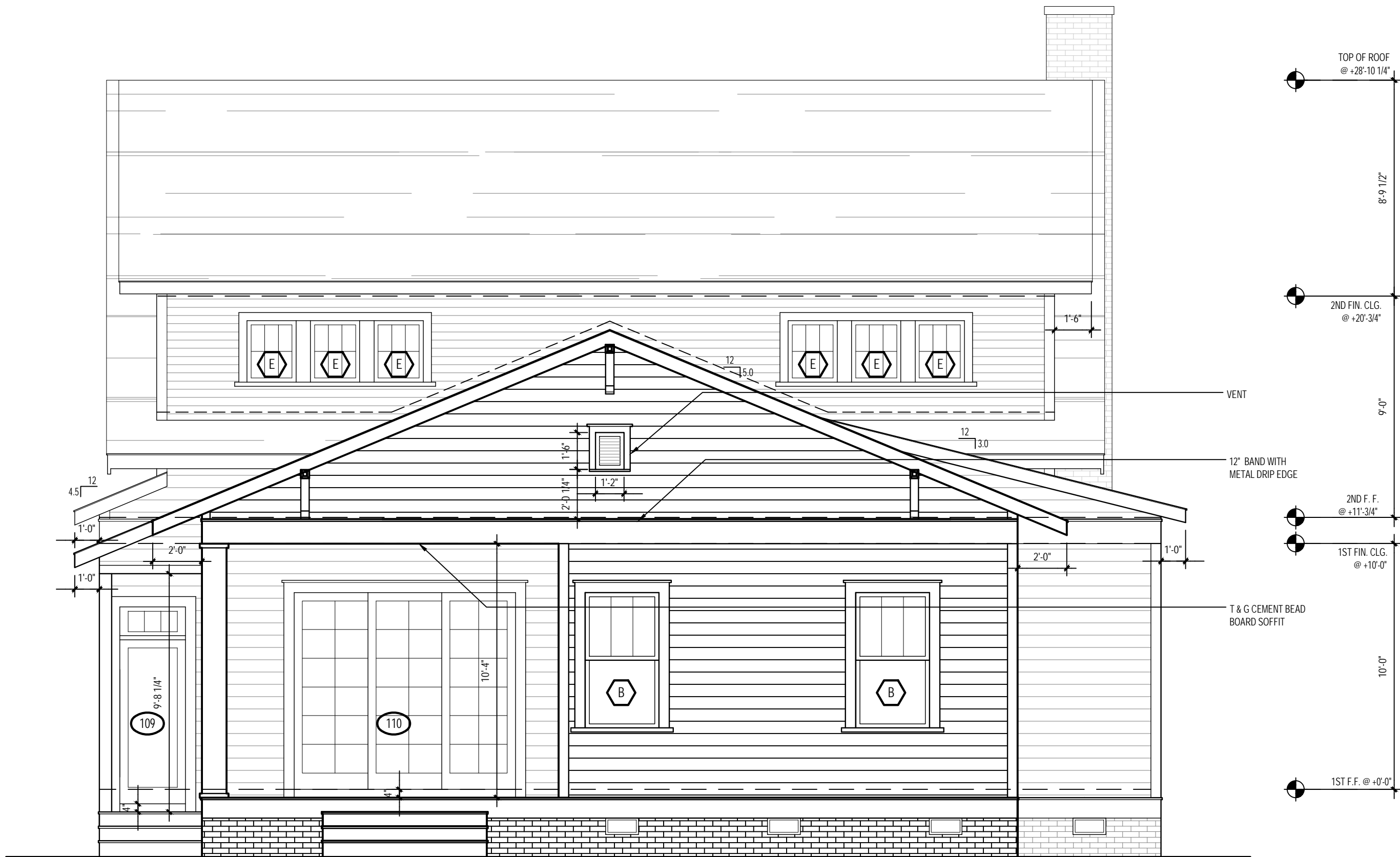
3 WOOD BRACKET DETAIL



② PROPOSED RIGHT ELEVATION
1/4" = 1'-0"



2 PROPOSED LEFT ELEVATION
1/4" = 1'-0"



1 PROPOSED REAR ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	8'-0"	SINGLE HUNG
B	3'-0" X 5'-6"	8'-0"	SINGLE HUNG
C	2'-8" X 5'-0"	7'-0" 2ND FLOOR 9'-6" FOYER (FROM SECOND FLOOR)	SINGLE HUNG
D	2'-6" X 4'-6"	8'-0" 8'-7" @ MUDROOM	SINGLE HUNG
E	2'-0" X 2'-6"	8'-0" 2ND FLOOR	CASEMENT
F	2'-0" X 2'-0"	8'-0" 1ST FLOOR 13'-10" FOYER (FROM SECOND FLOOR)	CASEMENT

- NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 2. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
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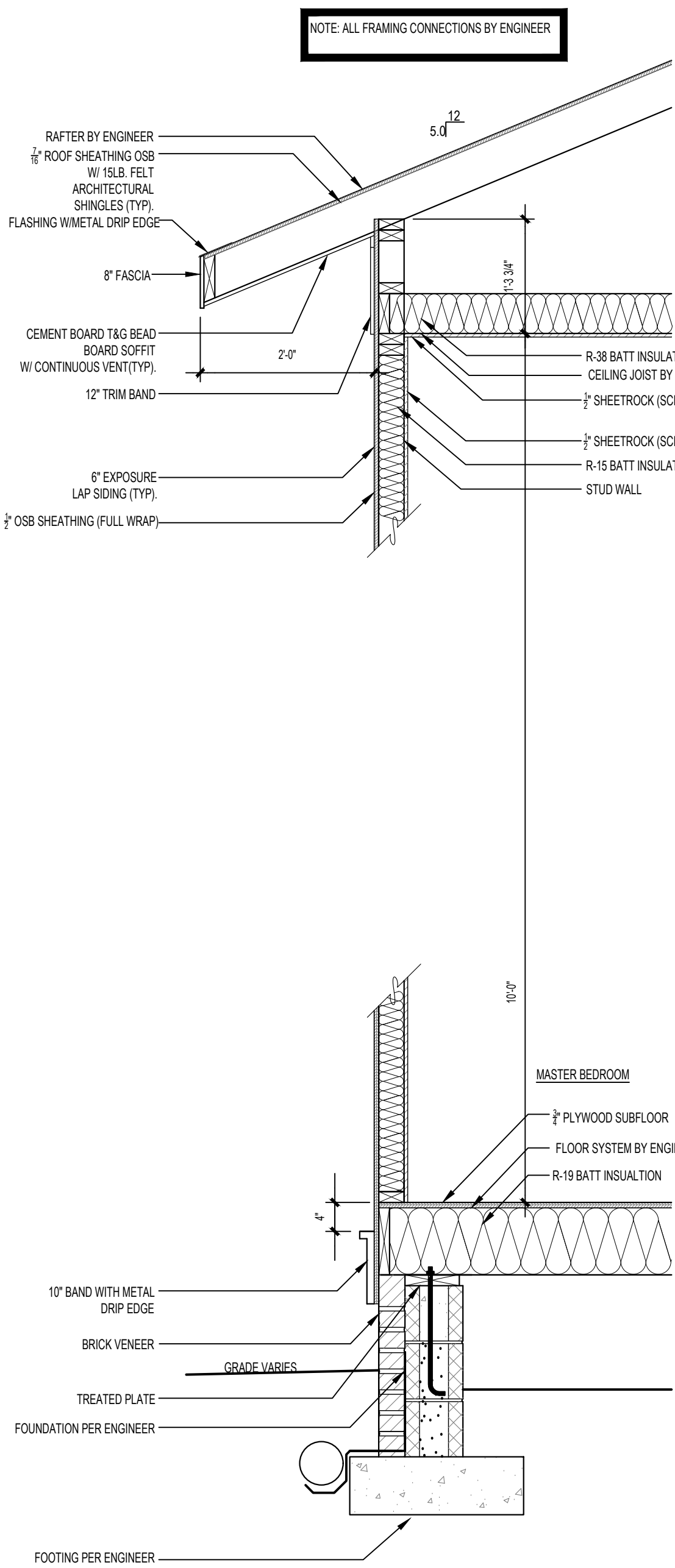


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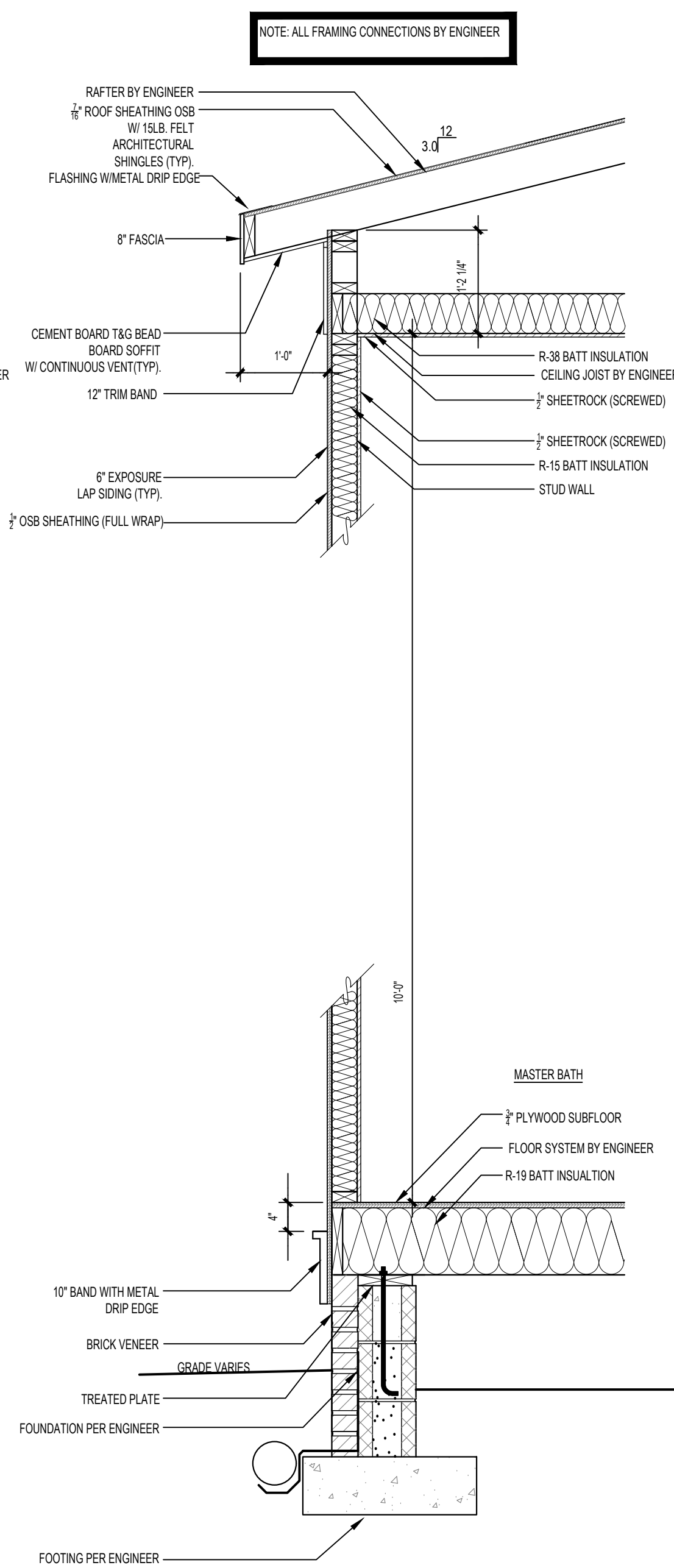
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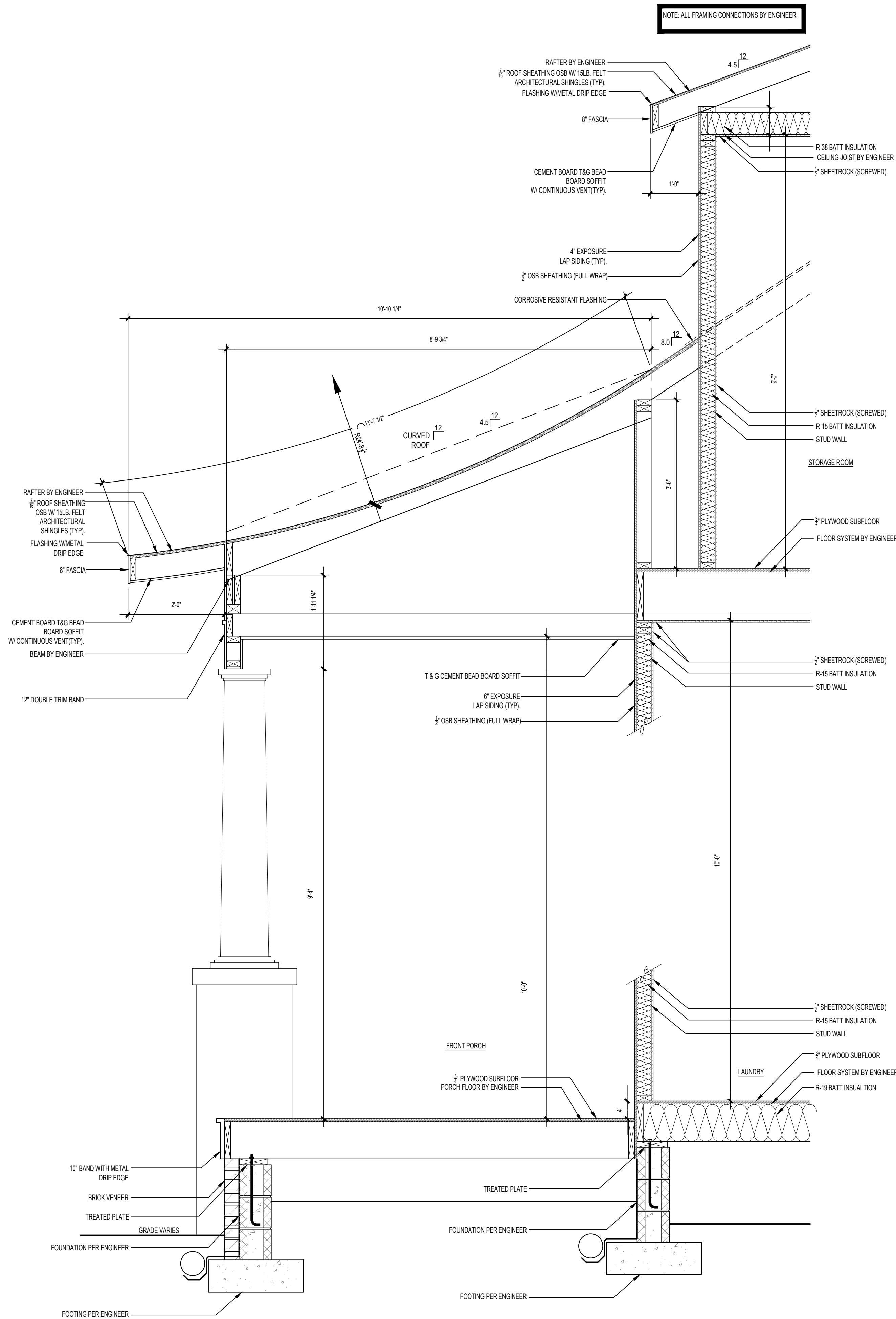
PROPOSED REAR & LEFT ELEVATION
A-3.1
OF:



③ SECTION THROUGH MASTER BED
3/4" = 1'-0"



② SECTION THROUGH MASTER BATH
3/4" = 1'-0"



① SECTION THROUGH FRONT PORCH
3/4" = 1'-0"

GENERAL NOTES:

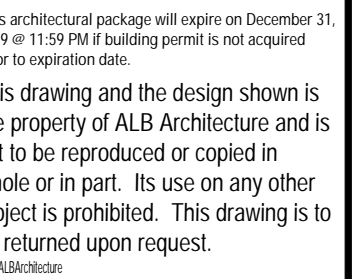
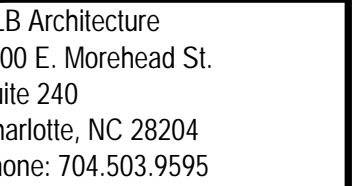
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Designed Exclusively For the:

HOOPER RESIDENCE

253 Catawba Avenue, Davidson, NC 28036

SECTIONS & DETAILS

A-3.3

OF:



253 Catawba Ave. – Existing Conditions

1. Existing Site



2. Neighboring Home



3. Neighboring Home



4. Neighboring Home

