

Town of Davidson, NC
Design Review Board: Staff Analysis
March 27, 2019

Project: Homewood Suites Pergola (Accessory structure ancillary to non-residential building type)

Location: 125 Harbour Pl Dr (Parcel ID 00322147)

Applicant: Krista Hillis, Beacon IMG

Designer: Proximity Architecture

Planning Area: Conditional

The applicant would like to update an existing approximately 500 square foot outdoor guest grill area to include a pergola, sitting area, and grill island. Per Davidson Planning Ordinance Section 4.5.8.B., all accessory structures ancillary to non-residential building types shall be reviewed by the Design Review Board.

The proposed pergola will be located on the western side of the existing hotel, along Griffith Street. The pergola will be approximately 10 feet wide by 14 feet long and will be constructed of dark grey fiberglass. The pergola will have four 10" x 10" columns supporting 18 foot long beams (see west elevation), and will have nine 2" x 8" fiberglass rafters with stringers on top of the structure. The height of the structure will be 10'- 8" in height.

Lighting is shown on columns on the west (detail 3, A-1) and east (detail 5, A-1) elevations of the pergola. A lighting detail has not been provided at this time. The application lists LED string lights on the pergola as well.

The patio renovation also includes a stacked faux stone island with granite counter top, built-in grills, and a sitting area.

DAVIDSON PLANNING ORDINANCE:

Section 4.5.8 Accessory Structures

B. Size of Accessory Structure

- 1. In the Rural Reserve and Rural Planning Areas, on lots over two acres where the proposed accessory structure is located more than 150 feet from the right-of-way or is not otherwise visible from the right-of-way, the footprint of an accessory structure shall not exceed 1,200 square feet. In all planning areas, except the Rural Reserve and Rural Planning Areas, the footprint of an accessory structure must not exceed 650 square feet or 30% of the footprint of the principal building (up to a maximum of 900 square feet), whichever is greater.*
- 2. Any accessory structure over 650 square feet of first floor area and all accessory structure ancillary to non-residential building types shall be reviewed by the Design Review Board, in accordance with the procedures in Section 14.*

Section 4.4.1 General Building Design Standards

E. Materials

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*
4. *Building materials and colors shall be:*
 - a. *Complementary to the materials already being used in the neighborhood.*
 - b. *If dissimilar materials are being proposed, other characteristics such as scale, proportion, form, architectural detailing, color, and texture shall be used to ensure that the building relates to the rest of the neighborhood.*

T:\Planning_Shared_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2019 DRB Agendas\20190327_DRB-Agenda\1. 20190327 Homewood Suites Pergola - Staff Analysis

Homewood Suites – Existing Conditions

1. Existing Site (view from parking lot towards Griffith Street)



2. Existing Outdoor Grill Area



3. Existing Outdoor Grill Area





Design Review

Homewood Suites Davidson Outdoor Grill Area

(Name of Project)

Development Process

Date Completed	Outline of Steps & Checklist
_____	<input type="checkbox"/> 1. Initial Meeting
_____	<input checked="" type="checkbox"/> 2. Application and Fee
_____	<input type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
_____	<input type="checkbox"/> 4. Planning Director Site Schematic Design Review
_____	<input type="checkbox"/> 5. Design Review Board Approval
_____	<input checked="" type="checkbox"/> 6. Building Construction Documents
_____	<input type="checkbox"/> 7. Site and Landscape Construction Documents
_____	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
_____	<input type="checkbox"/> 9. Building Permit Approval
_____	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
_____	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
_____	<input type="checkbox"/> 12. Certificate of Occupancy

** For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*



Design Review

Homewood Suites, Davidson Outdoor Grill Area
(Name of Project)

Application Requirements

Date Received

- ☒ Application Fee per Town of Davidson Fee Schedule
- ☒ Contact Information
- ☒ General Statement of Intent
(Use, building type, approx. square footage, height, design features)
- ☐ Statement of Compliance with Section 2
- ☐ Master Plan or Conditional Planning Area
(Including all documents, plans, maps, and conditions of approval)
- ☐ Environmental Inventory in accordance with Section 14.15.1
(Including adjacent properties and buildings)
- ☒ General Description
(Including a description and color photographs to existing / adjacent site)
- ☐ Site Schematic Design in accordance with Section 14.15.7
- ☐ Building Schematic Design in accordance with Section 14.15.3
(Including rendered elevations of each façade per 14.15.3 C)
- ☐ Landscape Schematic Design in accordance with Section 14.15.5
- ☐ Building Perspective
- ☐ Building Materials/Colors (To be submitted by 2/27/19)
(Roofing, siding, doors, windows, etc.)

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

Krista S. Hillis
Applicant's Signature

2/20/19
Date



Design Review

Homewood Suites Davidson Outdoor Grill Area
(Name of Project)

Contact Information

Applicant's Information

Name: Beacon IMG, Krista Hillis
E-Mail: krista@beaconimg.com
Mailing Address: 6428 Bannington Rd. Suite B
Charlotte, NC 28226
Business Phone: 704-752-7901 Mobile Phone: 704-900-4537

Property Owner's Information

(If Different from Applicant)

Name: Nish Patel
E-Mail: nish@beaconimg.com
Mailing Address: 6428 Bannington Rd. Suite B
Charlotte, NC 28226
Business Phone: 704-752-7901 Mobile Phone: 704-363-1230

Architect's Information

Name of Firm: Proximity Architecture
Architect's Name: Dwaine Swink
E-Mail: ldswink@proximityarchitecture.com
Mailing Address: 867 Brawley School Road, Suite 205
Mooresville, NC 28117
Business Phone: 980-444-0057 Mobile Phone: 704-654-0809



Design Review

Homewood Suites Davidson, Outdoor Grill Area
(Name of Project)

Project Description

Application Date: February 20, 2019

Project Location: 129 Harbour Place Drive, Davidson NC

Tax Parcel(s): 00322147

Planning Area: Conditional 2.2.17

Overlay District: —

Master or Cond. Plan: —
(Attach Conditions of Approval)

Gen. Statement of Intent: update existing guest grill area per Brand Standards to include pergola, sitting area, and grill island

Project Details:

- Project Type:
 - ☐ Individual Bldg.
 - ☐ Master Plan
 - ☐ Conditional Planning Area
 - ☐ Sign
- Building Type:
 - ☐ Detached House
 - ☐ Townhouse
 - ☐ Attached House (Tri- or Quadplex)
 - ☐ Institutional
 - ☐ Live/Work
 - ☐ Multi-family (Apts., Condos, Flats)
 - ☐ Workplace
 - ☐ Storefront
 - ☒ Accessory Structure

- Use(s): Guest grill area - 2 gas grills
- Height & Stories: Pergola - top of pergola 10'-8"
- Square Footage: Existing patio approximately 500SF
- Building Materials: Fiberglass pergola, stacked faux stone island with granite top.

Architectural

Features: Pergola with LED String lights, built-in grills, granite bar top.

Existing Site

Conditions: Existing patio, landscaped (private)

See 14.12.2.D



Design Review

Homewood Suites, Davidson Outdoor Grill Area

(Name of Project)

Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.

☐

Planning Ordinance

<http://www.townofdavidson.org/1006/Planning-Ordinance>

(Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)

☐

Section 2 Planning Areas

☐

Permitted Use/Add'l Req.

☐

Not Permitted

☐

Permitted Building Type

☐

Not Permitted

☐

Meets Setback Criteria

☐

Does Not Meet

☐

Meets Open Space Criteria

☐

Does Not Meet

☐

Meets Density Criteria

☐

Does Not Meet

☐

Section 4 Design Standards

☒

General Site Design Criteria (4.3) *No change*

☒

General Building Design Criteria (4.4) *Materials consistent*

☒

Specific Building Type Criteria (4.5) *Section does not address*

☒

Existing Industrial Campuses Criteria (4.6)

this type of accessory

N/A

☒

Renovation of Existing Structures Criteria (4.7) *N/A*

☐

Section 8 Parking & Driveways

☐

Section 9 Tree Preservation, Landscaping & Screening

☐

Section 10 Lighting

☐

Section 22 Local Historic District Guidelines

Homewood Suites, 125 Harbour Place Drive, Davidson, NC 28036
Proposed Finish Materials for Outdoor Grill Patio Area




Granite Countertop: Himalayan White



Pergola: Fiberglass StructureWorks in Color CS




21622124
PATTERN: # 270
Cutface
COLOR: # 185
Suede
Thickness: 1 1/2" TO 3 1/2"
Height: 1" TO 6"
Width: 4" TO 20"
Recommended Joint: Drystack

NOTE: ALL STONE SAMPLES ARE AFFECTED TO SOME DEGREE BY THE TYPE OF LIGHT IN WHICH THEY ARE VIEWED. AS WELL AS THE AGE OF THE SAMPLE ITSELF. THEREFORE, THERE MAY OCCASIONALLY BE A SLIGHT DIFFERENCE BETWEEN THE COLORS OF THE SAMPLE AND ACTUAL JOB SITE STONE. CENTURION RECOMMENDS LOOKING AT A COMPLETED JOB OR LAYING OUT A CURED BOX OF STONE TO VIEW THE COLOR RANGES, LAYING PATTERN AND MORTAR JOINTS, AND ACTUAL SIZES OF PIECES.

APPROXIMATE PERCENTAGES OF EACH:	
BASE COLOR	OVERLAY COLOR
BUFF/YELLOW	DARK BROWN 50%
	BLACK 12.5%
	BURGUNDY/BLACK 5%
	GREEN SLATE/ BROWN 25%

Grill Island: Centurion Stone, Pattern: Cutface, Color: Suede



Topping Slab Products by Turning Point Solutions. Artist Color/Texture TBD

FIRE PROTECTION REQUIREMENTS							
BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RISER	RATING	DETAIL # AND SHEET	DESIGN # FOR RACK ASSEMBLY	SHEET # FOR RACK PENETRATION	SHEET # FOR JOINTS
STRUCTURAL FRAME INCLUDING COLUMNS	≥ 30'-0"	0	0				
GIRDERS, TRUSSES	≥ 30'-0"	0	0				
BEARING WALLS							
EXTERIOR	≥ 30'-0"	0	0				
NORTH	≥ 30'-0"	0	0				
EAST	≥ 30'-0"	0	0				
WEST	≥ 30'-0"	0	0				
SOUTH	≥ 30'-0"	0	0				
INTERIOR	NA	0	0				
NONBEARING WALLS AND PARTITIONS							
EXTERIOR WALLS							
NORTH	≥ 30'-0"	0	0				
EAST	≥ 30'-0"	0	0				
WEST	≥ 30'-0"	0	0				
SOUTH	≥ 30'-0"	0	0				
INTERIOR WALLS & PARTITIONS			0				
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS			0				
FLOOR CEILING ASSEMBLY			0				
COLUMNS SUPPORTING FLOORS			0				
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS			0				
ROOF CEILING ASSEMBLY			0				
COLUMNS SUPPORTING ROOF			0				
SHAFT ENCLOSURES - DUCT			0				
SHAFT ENCLOSURES - OTHER			0				
CORRIDOR SEPARATION			0	0			
OCCUPANCY / FIRE BARRIER SEPARATION			0	0			
PARTY FIRE WALL SEPARATION			0	0			
SMoke BARRIER SEPARATION			0	0			
SMoke PARTITION			0	0			
TENANT / DWELLING UNIT / SLEEPING UNIT SEPARATION			0	0			
INCIDENTAL USE SEPARATION (TABLE 502.2.5)			0	0			

* INDICATE SECTION NUMBER PERMITTING REDUCTION.


ALLOWABLE HEIGHT			
	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
BUILDING HEIGHT IN FEET (TABLE 504.3)			
BUILDING HEIGHT IN STORIES (TABLE 504.4)			

<p>SCHEDULE OF SPECIAL INSPECTION SERVICES</p>	
<p><input type="checkbox"/> NO SPECIAL INSPECTIONS REQUIRED FOR THIS PROJECT</p> <p><input type="checkbox"/> SPECIAL INSPECTIONS REQUIRED</p> <p>THE FOLLOWING SHEETS COMPREHEND THE REQUIRED SCHEDULE OF SPECIAL INSPECTIONS FOR THE PROJECT. THE CONSTRUCTION DIVISION MUST REQUIRE SPECIAL INSPECTIONS FOR THE PROJECT AND THE FOLLOWING:</p>	<p><input type="checkbox"/> NO SPECIAL INSPECTIONS REQUIRED</p> <p><input type="checkbox"/> SPECIAL INSPECTIONS REQUIRED</p> <p>THE FOLLOWING SHEETS COMPREHEND THE REQUIRED SCHEDULE OF SPECIAL INSPECTIONS FOR THE PROJECT. THE CONSTRUCTION DIVISION MUST REQUIRE SPECIAL INSPECTIONS FOR THE PROJECT AND THE FOLLOWING:</p>
<p><input type="checkbox"/> T-1 VERIFICATION OF SOILS</p> <p><input type="checkbox"/> T-2 EXCAVATION AND FILL</p> <p><input type="checkbox"/> T-3 PILING AND DRILLING PIERS</p> <p><input type="checkbox"/> T-4 MODULAR RETAINING WALLS</p> <p><input type="checkbox"/> T-5 REINFORCED CONCRETE</p> <p><input type="checkbox"/> T-6 POST TENSION SLAB</p> <p><input type="checkbox"/> T-7 PRE-CAST CONCRETE ERECTION</p> <p><input type="checkbox"/> T-8 PRE-STRESSED CONCRETE</p> <p><input type="checkbox"/> T-9 INSPECTION OF PRE-CAST FABRICATORS</p>	<p><input type="checkbox"/> T-10 INSPECTION OF STRUCTURAL STEEL FABRICATORS</p> <p><input type="checkbox"/> T-11 STRUCTURAL MASONRY</p> <p><input type="checkbox"/> T-12 PILING</p> <p><input type="checkbox"/> T-13 HIGH STRENGTH BOLTS & STEEL FRAMING</p> <p><input type="checkbox"/> T-14 SPRAYED PRE-TENSIONING MATERIALS</p> <p><input type="checkbox"/> T-15 INSULATION AND FINISH SYSTEM</p> <p><input type="checkbox"/> T-16 SEISMIC RESISTANCE</p> <p><input type="checkbox"/> T-17 SHIMING CONTROL</p> <p><input type="checkbox"/> T-18 DETENTION BASE</p> <p><input type="checkbox"/> T-19 SPECIAL CASES</p>

ELECTRICAL SYSTEM AND EQUIPMENT
 METHOD OF COMPLIANCE: ENERGY CODE ☐ PERFORMANCE ☐ PRESCRIPTIVE
 ASHRAE 90.1 ☐ PERFORMANCE ☐ PRESCRIPTIVE
 (IF "OTHER" SPECIFY SOURCE HERE) _____

 LIGHTING SCHEDULE (REAL FIXTURE TYPE)
 LAMP TYPE REQUIRED IN FIXTURE _____
 NUMBER OF LAMPS IN FIXTURE _____
 BALLAST TYPE USED IN THE FIXTURE _____
 NUMBER OF BALLASTS IN THE FIXTURE _____
 TOTAL WATTAGE PER FIXTURE _____
 TOTAL INTERIOR SPACE OF SPACE BY SPACE _____
 TOTAL WATTAGE PER SPACE BY SPACE _____
 TOTAL WATTAGE PER SPACE BY SPACE _____
 ADDITIONAL EFFICIENCY PACKAGE OPTIONS
 (WHEN USING THE 2008 NEECC, NOT REQUIRED FOR ASHRAE 90.1)
☐ C602.0 MORE EFFICIENT HVAC EQUIPMENT PERFORMANCE
☐ C603.0 REDUCED LIGHTING POWER DENSITY
☐ C604.0 ENHANCED DIGITAL LIGHTING CONTROLS
☐ C605.0 ON-SITE RENEWABLE ENERGY
☐ C606.0 DEDICATED OUTDOOR AIR SYSTEM
☐ C607.1 REDUCED ENERGY USE IN SERVICE WATER HEATING


ARCHITECT
L. DWAIN STANLEY
PROXIMITY ARCHITECTS
862 BRAWLEY AVE
SUITE 100
MOORESVILLE, NC 28688
p. 980-466-1111
f. 980-266-0942


**ENGINEER'S
SOLUTIONS**

PLUMBING

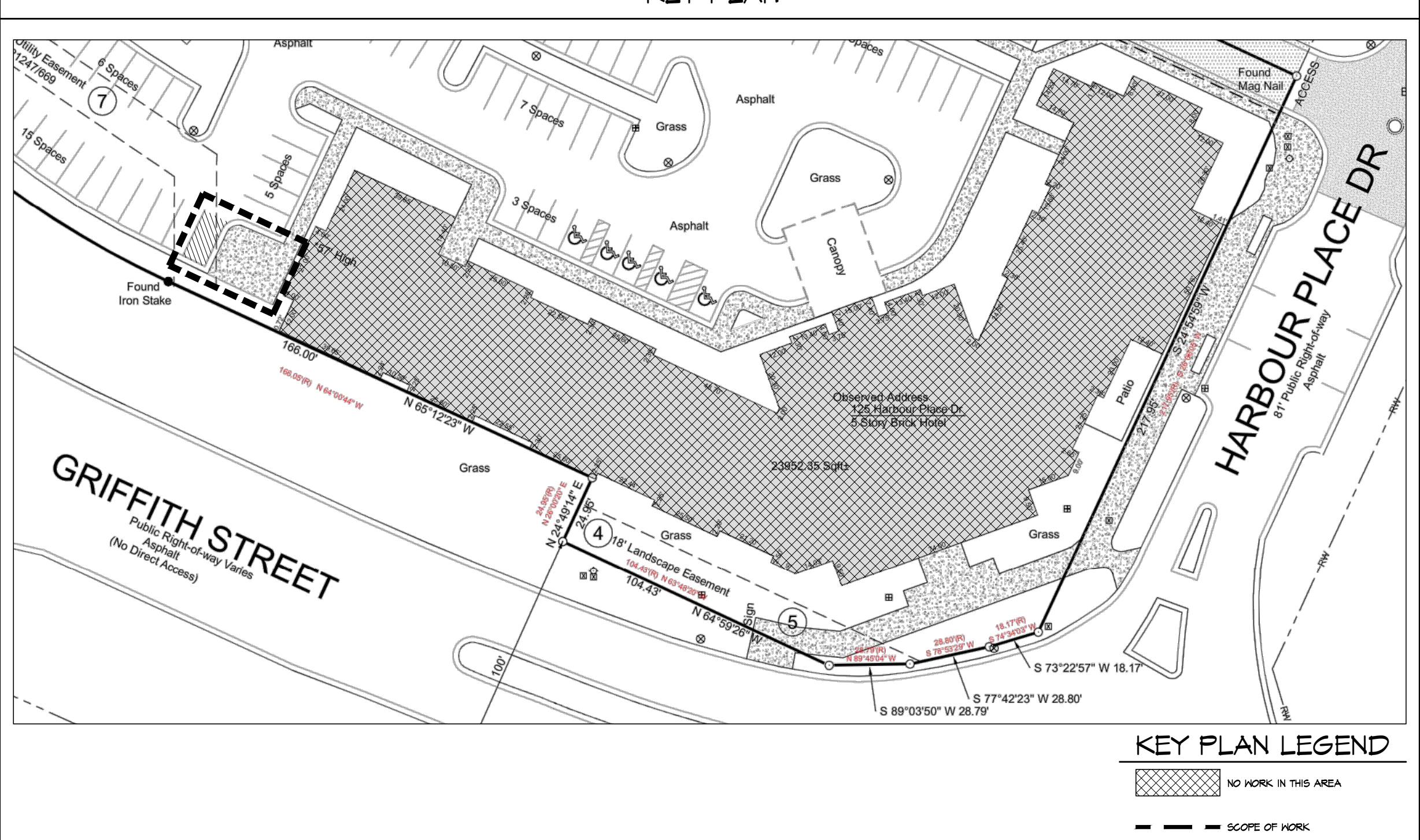
RYAN E. CAYA, PE
GE2 SOLUTIONS
1401 CENTRAL AVE., SUITE 200-J
CHARLOTTE, NC 28205
p. 704-266-0942

IBC, AIA, CSI
 ARCHITECTURE, PC
 100 SCHOOL RD.
 SUITE 105
 NC 28117
 -0057
 2044


 PERRY
 ENGINEERING
 SOLUTIONS

ELECTRICAL

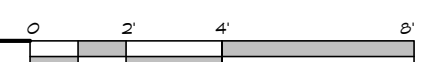
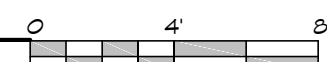
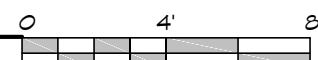
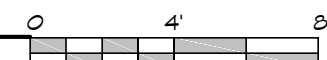
RYAN E. CAYA, PE
 CE2 SOLUTIONS
 1401 CENTRAL AVE., SUITE 200-J
 CHARLOTTE, NC 28205
 p. 704-266-0942



NOTES TO REVIEWER:

1. OCCUPANT LOAD FOR NEW OUTDOOR GUEST PATIO IS LESS THAN 50 THEREFORE, PER SECTION 303.1.2 OF THE 2018 NORTH CAROLINA STATE BUILDING CODE THE NEW GUEST PATIO SHALL BE CONSIDERED R-1 OCCUPANCY.
2. PROJECT SCOPE INVOLVES RENOVATION TO EXTERIOR OF EXISTING EXTENDED STAY HOTEL.
3. PROJECT SCOPE INVOLVES NO CHANGE IN USE.
4. PROJECT SCOPE INVOLVES NO CHANGE IN EXISTING MEANS OF EGRESS.
5. PROJECT SCOPE INVOLVES MINOR DEMOLITION OF EXISTING CONCRETE PAD.

NOT RELEAS



GENERAL NOTES

- WHERE ACRONYMS OR ABBREVIATIONS ARE USED ON THE DRAWINGS THEY ARE DEFINED TO MEAN THE RECOGNIZED NAME OF THE PERSON, OBJECT, MATERIAL, TYPICALLY USED IN THE CONSTRUCTION INDUSTRY.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE SITE AND VERIFYING ALL EXISTING CONDITIONS. NO CLAIM FOR EXTRA OR ADDITIONAL WORK OR MATERIAL ARISING FROM LACK OF KNOWLEDGE OF SUCH CONDITIONS WILL BE ALLOWED.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL GRADES, LEVELS, CONDITIONS AND DIMENSIONS AND SHALL MAKE ALL NECESSARY MEASUREMENTS AT THE SITE. NO EXTRA CHARGE OR CHANGE ORDER SHALL BE ALLOWED BECAUSE OF DIFFERENCES BETWEEN ACTUAL MEASUREMENTS AND THE DIMENSIONS INDICATED ON THE DRAWINGS. ANY DISCREPANCIES OR DIFFERENCES SHALL BE PROMPTLY REPORTED TO THE DESIGNER OF RECORD IN WRITING PRIOR TO COMPLETING THE AFFECTED WORK.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK AS PRUDENT OR REQUIRED BY LAW.
- GENERAL CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION, INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, FROM ILL-GAINING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES.
- GENERAL CONTRACTOR SHALL COORDINATE LOCATION OF DUMPSTER FOR COLLECTION OF CONSTRUCTION DEBRIS WITH OWNER.
- GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL TAKE ALL NECESSARY STEPS TO INSURE AREAS NOT INCLUDED IN WORK ARE PROTECTED AND NOT DISTURBED DURING CONSTRUCTION.
- A LAY DOWN AREA SHALL BE CONSTRUCTED AND ITS LOCATION COORDINATED WITH OWNER. THIS AREA SHALL BE PROVIDED WITH SAFEGUARDS FOR SAFETY AND PROTECTION OF PUBLIC.
- GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL HAVE LIMITED USE OF PROJECT SITE FOR CONSTRUCTION OPERATIONS AS INDICATED BY THE CONTRACT LIMITS.
- GENERAL CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES IN ALL AREAS WITH OWNER. GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR SHALL PARTICIPATE IN COORDINATION REQUIREMENTS.
- SMOKING IS NOT PERMITTED WITHIN THE BUILDING OR WITHIN 50 FEET OF ENTRANCES, OPERABLE WINDOWS, OR OUTDOOR-AIR INTAKES.
- GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL PERFORM CLEAN UP ACTIVITIES AT THE END OF EACH DAY.

BASIS OF DESIGN ITEMS

- PERGOLA:
14' W X 11'-6" P FREESTANDING CUSTOM FIBERGLASS PERGOLA AS MANUFACTURED BY STRUCTUREWORKS FABRICATIONS.
877.484.8064; WWW.STRUCTUREWORKSFAB.COM
- BUILT-IN GRILLS:
30" W X 19" D X 8.5" H 30 NBT T-SERIES 30" BUILT-IN NATURAL GAS GRILL W/ ROTISSERIE KIT AS MANUFACTURED BY AMERICAN OUTDOOR GRILL.
800.332.3413; WWW.AMERICANOUTDOORGRILL.COM
- GRILL ACCESS DOORS:
18" x 24.5" MODEL 1T-24-5SD SINGLE ACCESS DOOR AS MANUFACTURED BY AMERICAN OUTDOOR GRILL.
800.332.3413; WWW.AMERICANOUTDOORGRILL.COM
- CONCRETE STAIN/TOPPING:
SINGLE-COMPONENT, POLYMER-MODIFIED, CEMENTITIOUS, STAMPABLE OVERLAY. COORDINATE COLOR OF STAMP PATTERN W/ OWNER.
EUCID THIN-CRETE GROUT AS MANUFACTURED BY OLDCASTLE ADAMS PRODUCTS.
704.597.0255; WWW.ADAMSPRODUCTS.COM
- ADHERED MANUFACTURED STONE VENEER:
COORDINATE STYLE & COLOR W/ OWNER. DRYSTACK LEDGESTONE AS MANUFACTURED BY CULTURED STONE.
800.255.1721; WWW.CULTUREDSTONE.COM
- GRANITE COUNTER TOPS:
1 1/2" THICK GRANITE W/ LEATHERED FINISH. COORDINATE COLOR W/ OWNER.
- COUNTER TOP BRACKETS:
2" W X 20" X 20" STEEL BRACKETS AS MANUFACTURED BY FEDERAL BRACE.
877.353.8849; WWW.FEDERALBRACE.COM

THE DRAWING, SPECIFICATIONS, AND RELATED ITEMS HEREIN ARE AND REMAIN THE PROPERTY OF PROXIMITY ARCHITECTURE, PC AND ARE LIMITED TO A ONE TIME USE TO CONSTRUCT A SINGLE PROJECT ON THE SPECIFIC PROPERTY AS TITLED HEREIN AND MAY NOT BE USED FOR THE PURPOSE OF CONSTRUCTING ANOTHER PROJECT. PLANS MAY NOT BE REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF PROXIMITY ARCHITECTURE, PC.

REVISIONS	
MARK	DATE DESCRIPTION
△	2/13/19 REVISION #1

○ PRE-BID ISSUE △ POST-BID ISSUE

PROPOSED GUEST PATIO FOR

HOMewood SUITES

DAVIDSON, NC 28036

OWNER

TONYA WARD
125 HARBOUR PT DR
DAVIDSON, NC 28036

ISSUE DATES:
01.28.2019 FOR CONSTRUCTION

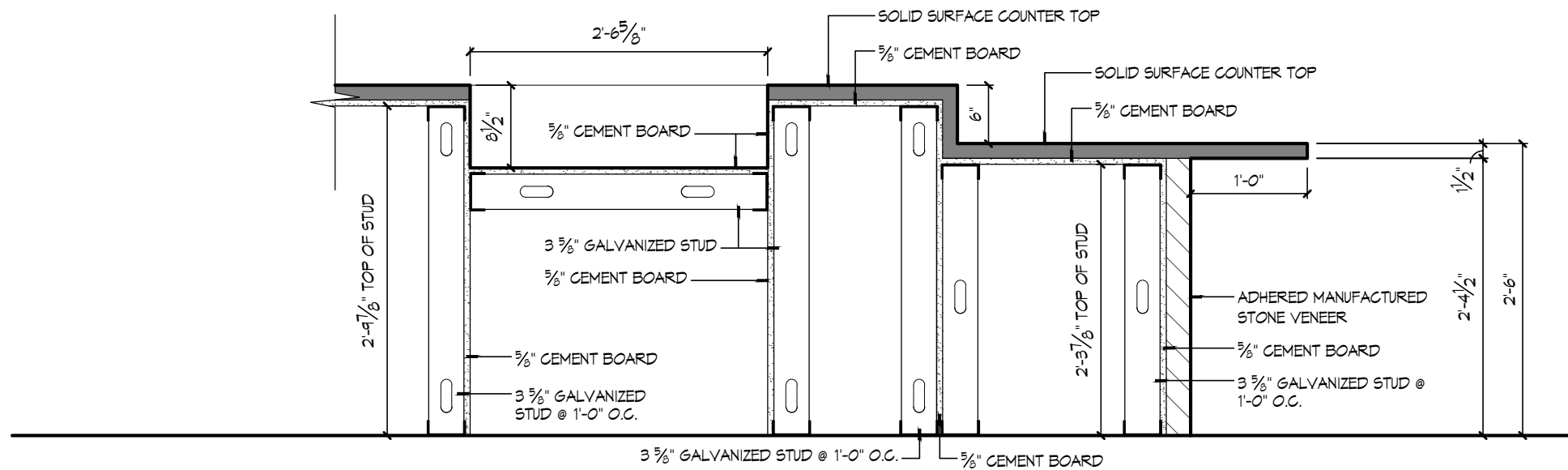
PROJECT NO.: 2018-0039
DRAWN BY: PA
CHECKED BY: LDS

KITCHEN/ISLAND
PLAN, ELEVATIONS
& DETAILS

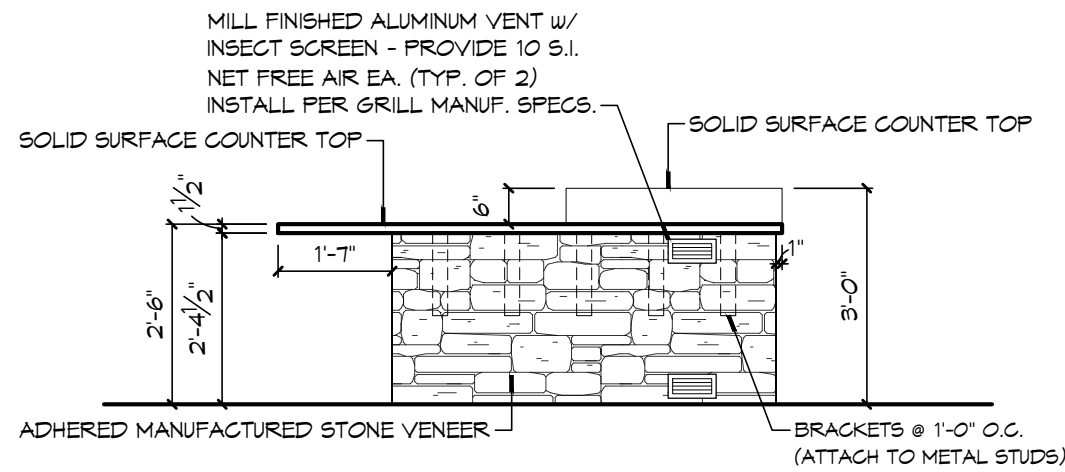
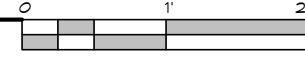
A-2

SHEET 3 OF 6

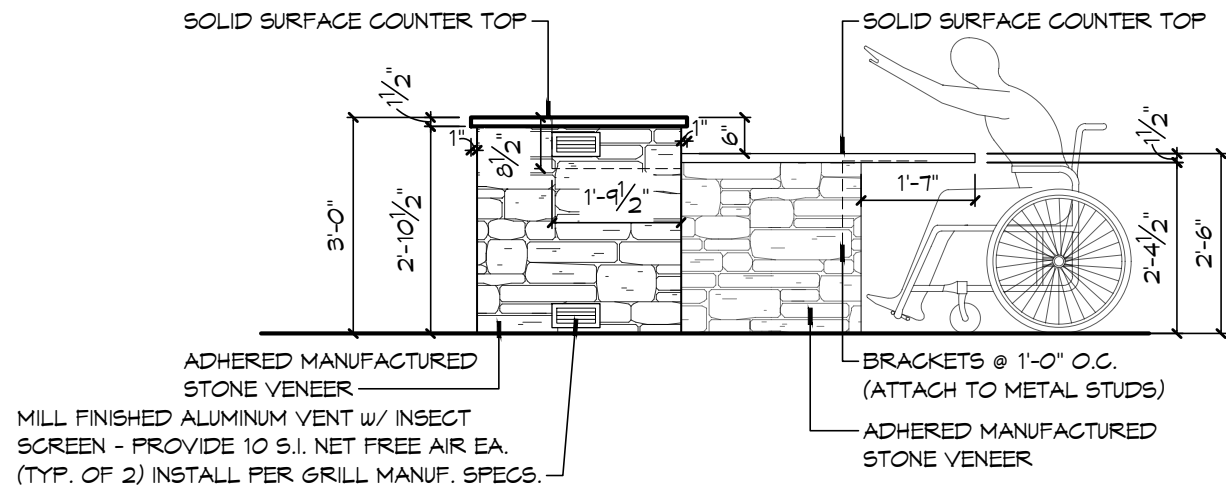
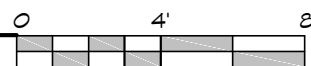
NOT RELEASED FOR CONSTRUCTION



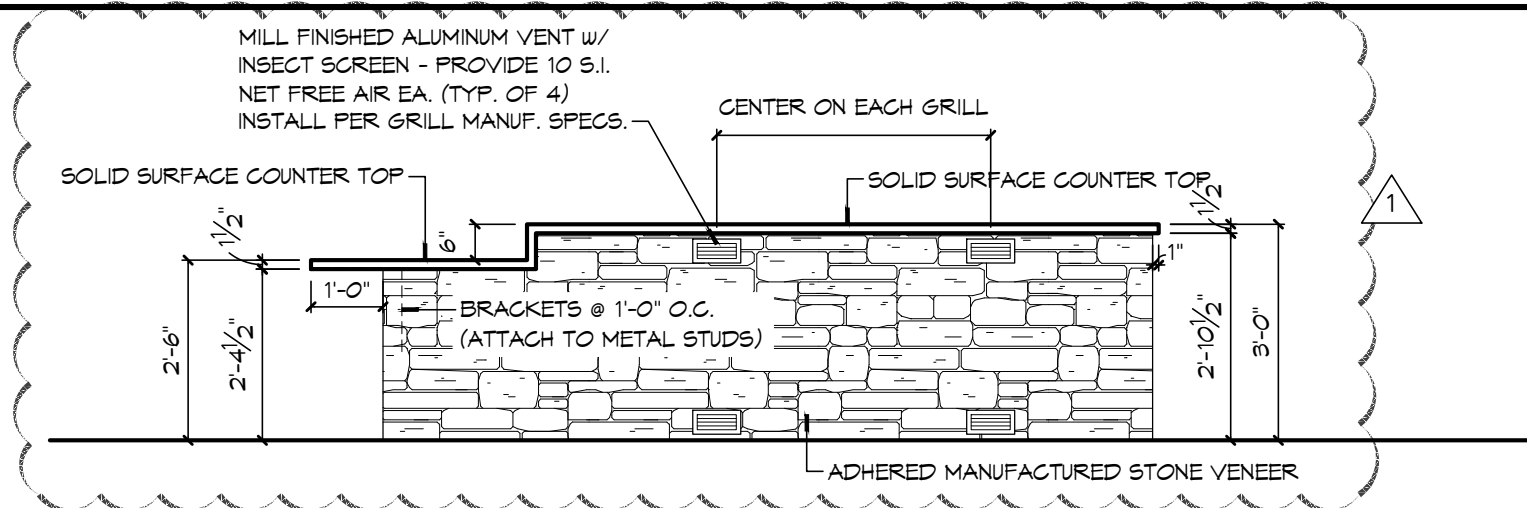
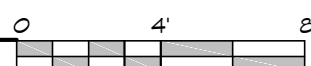
7
A-2
3/4" = 1'-0"



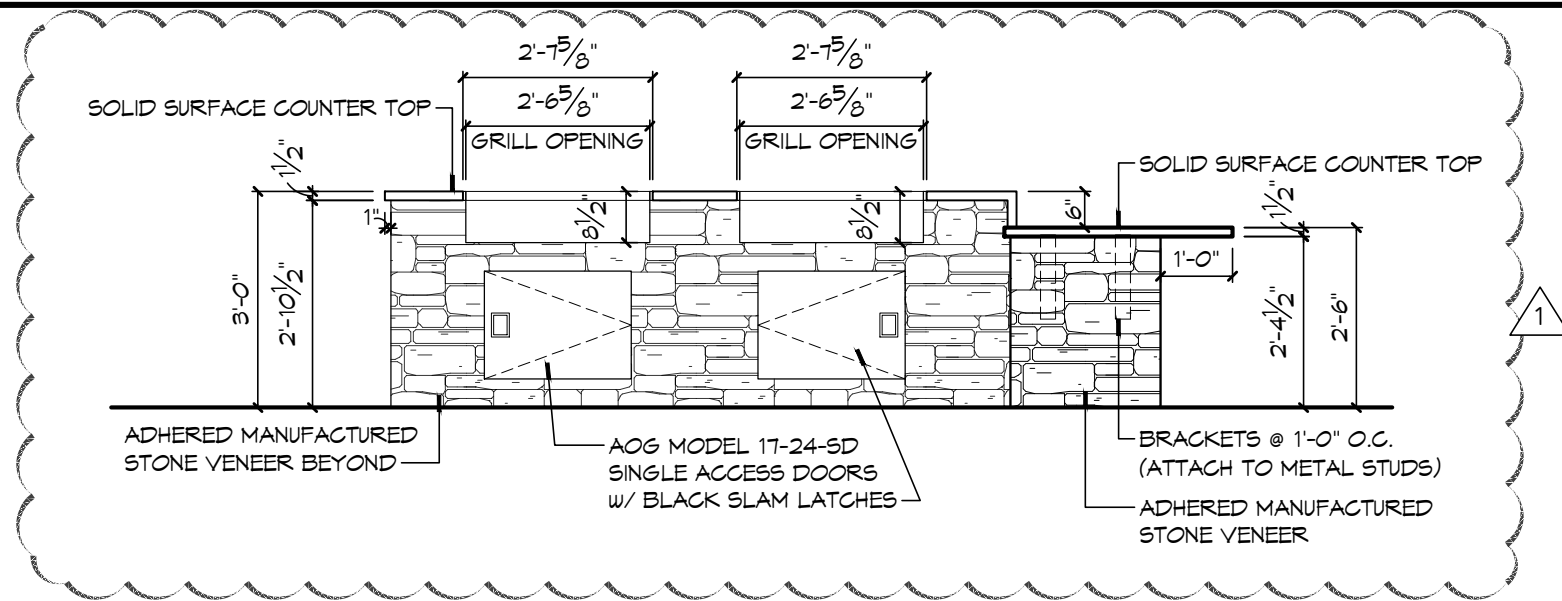
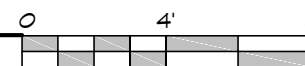
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A-2
3/8" = 1'-0"



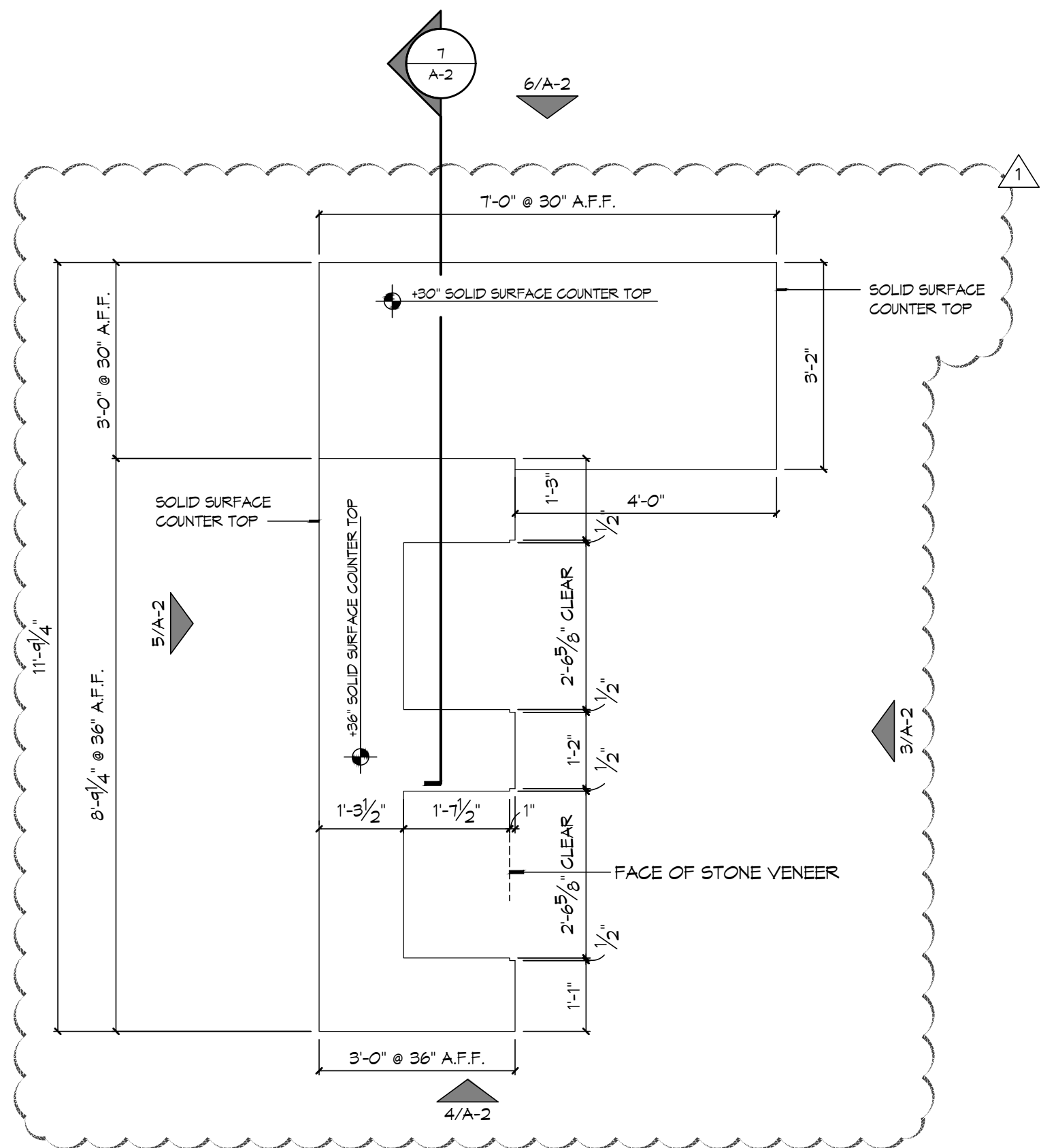
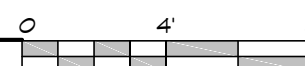
4
A-2
3/8" = 1'-0"



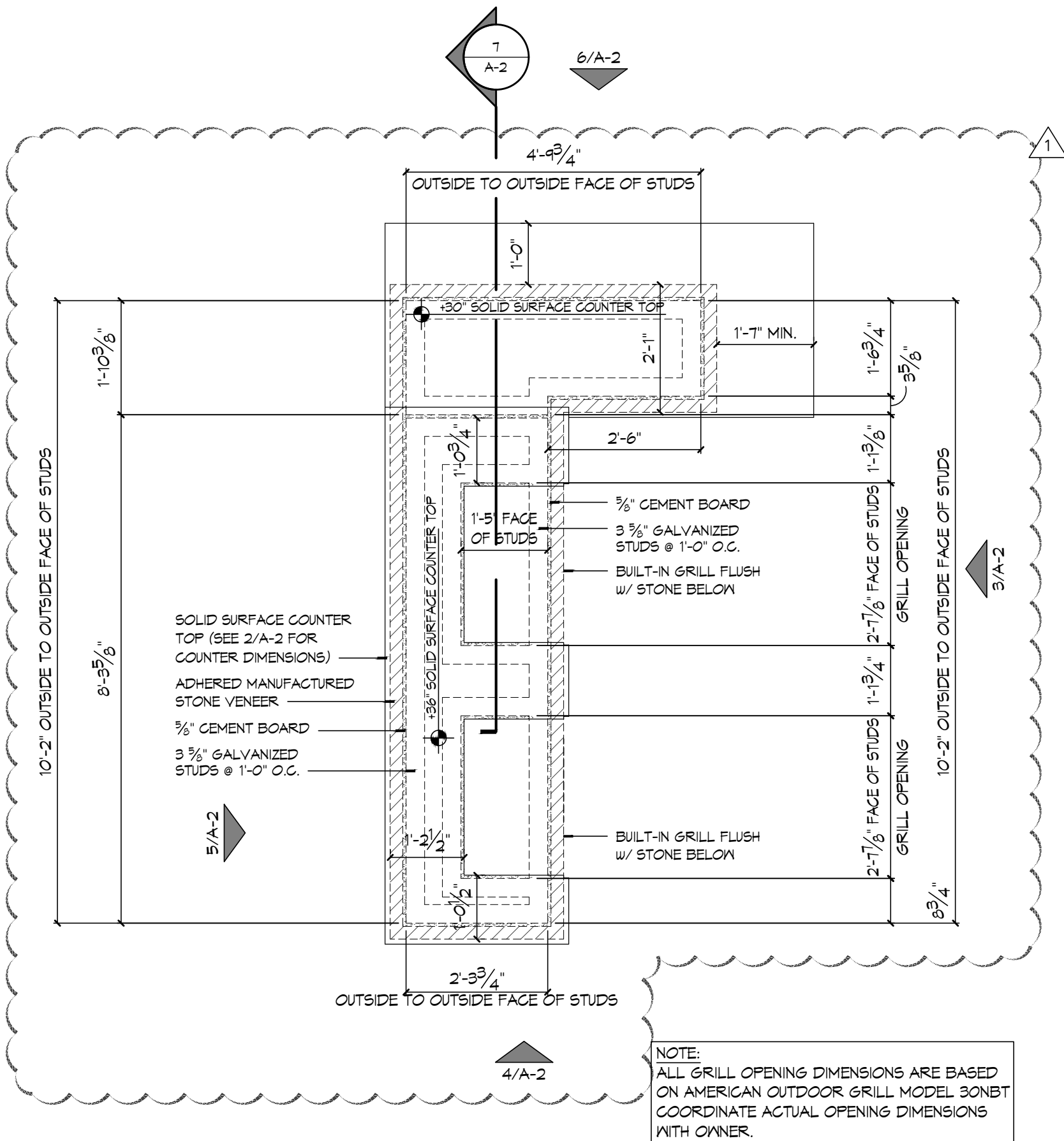
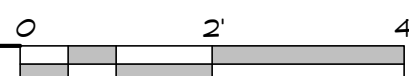
5
A-2
3/8" = 1'-0"



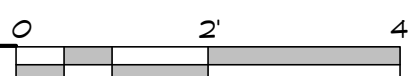
3
A-2
3/8" = 1'-0"



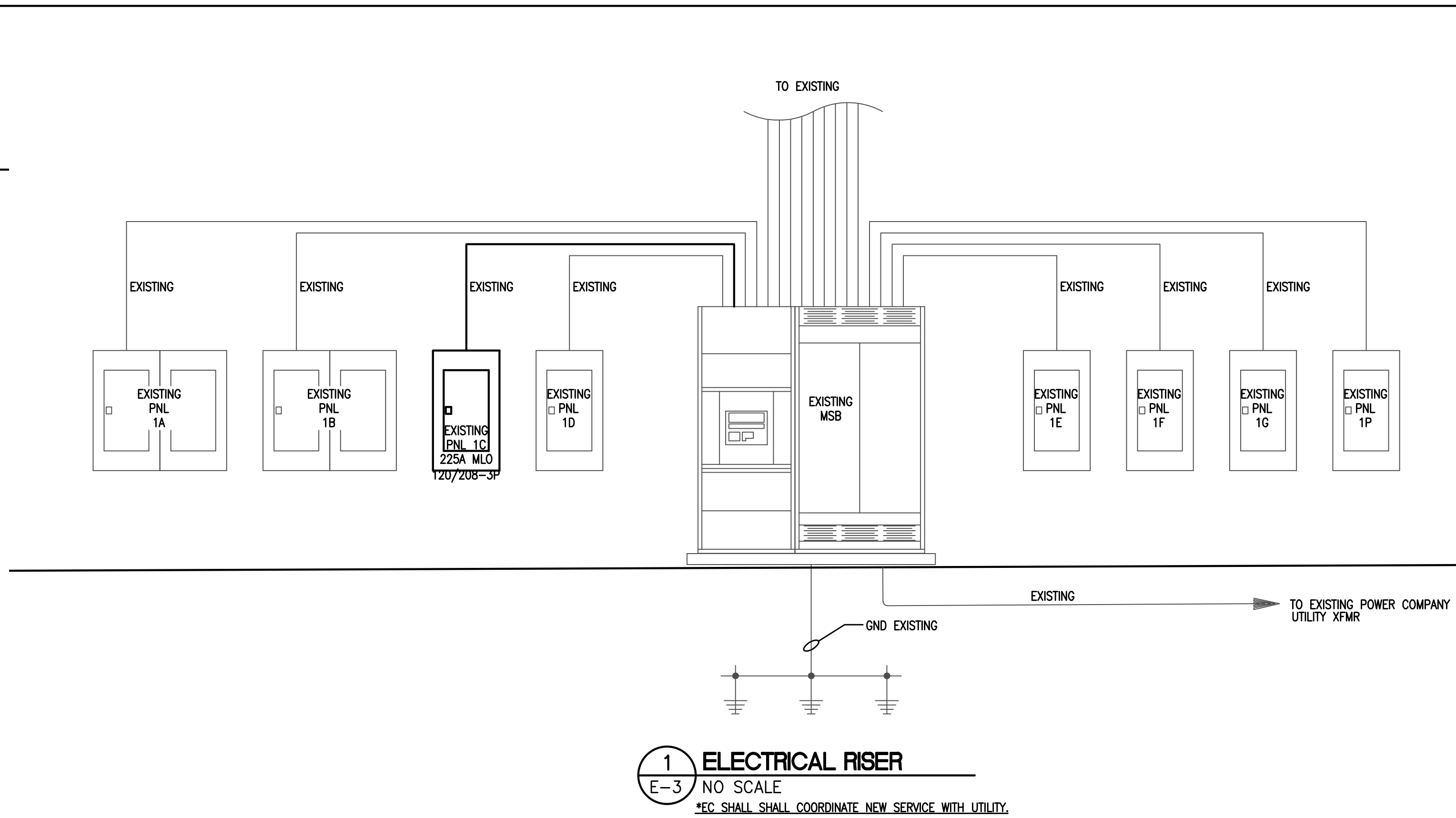
2
A-2
1/2" = 1'-0"



1
A-2
1/2" = 1'-0"



NOTE:
ALL GRILL OPENING DIMENSIONS ARE BASED
ON AMERICAN OUTDOOR GRILL MODEL 30NBT
COORDINATE ACTUAL OPENING DIMENSIONS
WITH OWNER.



proximity
architecture, pc

8628Brawley School Road, Suite 205
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www.proximityarchitecture.com



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SOLUTIONS**



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704.285.1942
CERTIFICATE P-1340



NORTH CAROLINA
PROFESSIONAL
ENGINEER
REAL
032770
RYAN E. CLARK
1/6/19

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AND REMAIN THE PROPERTY OF PROXIMITY ARCHITECTURE, PC AND
ARE LIMITED TO A ONE TIME USE TO CONSTRUCT A SINGLE PROJECT
ON THE SPECIFIC PROPERTY AS TITLED HEREIN AND MAY NOT BE
USED FOR THE PURPOSE OF CONSTRUCTING ANOTHER PROJECT.
PLANS MAY NOT BE REPRODUCED IN ANY MANNER WITHOUT THE
WRITTEN CONSENT OF PROXIMITY ARCHITECTURE, PC.

REVISIONS		
MARK	DATE	DESCRIPTION

 PRE-BID ISSUE
  POST-BID ISSUE

NEW PATIO ADDITION FOR:

HOMEWOOD SUITES

DAVIDSON, NC
GRIFFITH ST

OWNER
HOMWOOD SUITES

DAVIDSON, NC

ISSUE DATES: _____

 PROJECT NO.: 2018_0026
 DRAWN BY: AS
 CHECKED BY: _____

ELECTRICAL PLANS

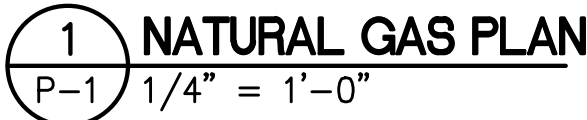
E-2
SHEET 21 OF 22

NOT RELEASED FOR CONSTRUCTION



<h1 style="text-align: center;">PLUMBING GENERAL NOTES</h1>	
<p><u>GENERAL REQUIREMENTS:</u></p> <ol style="list-style-type: none"> 1. GENERAL AND SPECIAL CONDITIONS: GENERAL AND SPECIAL CONDITIONS ARE HEREBY MADE AN INTEGRAL PART OF THIS DIVISION OF THE SPECIFICATIONS INsofar AS SAME ARE APPLICABLE TO THE WORK UNDER THIS DIVISION AND UNLESS OTHERWISE SPECIFIED. 2. SCOPE: PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK. 3. CODE COMPLIANCE: ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS, AND DEPARTMENT OF HEALTH, APPLICABLE NATIONAL, STATE, AND LOCAL CODES, LAWS, AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK SHALL BE INCORPORATED INTO AND MADE A PART OF THESE CONTRACT DOCUMENTS AND SPECIFICATIONS. THE CONTRACTOR IS TO NOTIFY THE ARCHITECT/ENGINEER OF ANY WORK OR MATERIALS WHICH VIOLATE ANY OF THE ABOVE LAWS, LAWS, OR REGULATIONS. ANY WORK DONE BY THE CONTRACTOR CAUSING SUCH A VIOLATION SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE AND AT NO EXPENSE TO THE OWNER. 4. PERMITS: APPLY FOR AND PAY FOR ALL NECESSARY PERMITS, FEES, AND INSPECTIONS REQUIRED BY ANY PUBLIC AUTHORITY HAVING JURISDICTION. 5. WARRANTY: PROVIDE ALL MATERIALS AND EQUIPMENT UNDER THIS SECTION OF THE SPECIFICATIONS WITH A ONE YEAR WARRANTY FROM THE DATE OF ACCEPTANCE OF WORK BY THE OWNER. 6. COORDINATION: VERIFY ALL ROUGH-IN LOCATIONS AND COORDINATE PIPING AND EQUIPMENT LOCATIONS WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID CONFLICTS. CONTRACTOR MUST COORDINATE WITH OTHER TRADES FOR ALL STRUCTURES, PIPING, CONDUIT, DUCTWORK, LIGHTING, ETC TO PROPERLY BE INSTALLED. ANY CONFLICTS SHALL BE RESOLVED AT NO EXPENSE TO THE OWNER. COORDINATE INSTALLATION OF ALL PLUMBING PIPING AT CMU WALLS SO THAT THE PIPING IS PLACED IN WALL DURING CMU WALL CONSTRUCTION. CUTTING AND PATCHING OF CMU WALLS IN PLACE WILL NOT BE PERMITTED. 7. FIELD VERIFICATION: FIELD VERIFY EXISTING CONDITIONS BEFORE STARTING CONSTRUCTION AND NOTIFY THE ARCHITECT/ENGINEER OF RECORD OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS, AND/OR ANY POTENTIAL PROBLEMS OBSERVED, BEFORE CONTINUING WORK IN THE AFFECTED AREAS. 8. PLUMBING SYSTEMS INCLUDE, BUT ARE NOT LIMITED TO: <ul style="list-style-type: none"> -PLUMBING FIXTURES AND EQUIPMENT -FIRE STOPPING -DOMESTIC WATER SYSTEM -SANITARY WASTE AND VENT SYSTEM 	
<p><u>FIXTURES:</u></p> <ol style="list-style-type: none"> 1. PROVIDE COMPLETE FIXTURES AND INCLUDE SUPPLIES, STOPS, VALVES, FAUCETS, DRAINS, TRAPS, TAILPIECES, ESCUTCHEONS, ETC. EXPOSED COPPER OR BRASS MATERIALS SHALL BE CHROME PLATED. 2. PROVIDE PERMANENTLY ATTACHED VACUUM BREAKERS FOR ALL FIXTURES TO WHICH HOSES MAY BE CONNECTED. 3. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS OF PLUMBING FIXTURES. 	
<p><u>FIRE STOPPING:</u></p> <ol style="list-style-type: none"> 1. FIRE STOP ALL PENETRATIONS, BY PIPING OR CONDUITS, OF FIRE RATED WALLS, FLOORS, AND PARTITIONS. PROVIDE DEVICE(S) OR SYSTEM(S) WHICH HAS BEEN TESTED AND LISTED AS COMPLYING WITH ASTM E-814 AND INSTALL IN ACCORDANCE WITH THE CONDITIONS OF THEIR LISTING. PROVIDE DEVICE(S) OR SYSTEM(S) WITH AN "F" RATING EQUAL TO THE RATING OF THE ASSEMBLY BEING PENETRATED. 	
<p><u>SEISMIC REQUIREMENTS:</u></p> <ol style="list-style-type: none"> 1. PROPERLY SUPPORT AND BRACE VERTICALLY AND HORIZONTALLY ALL PIPING, APPARATUS, EQUIPMENT, ETC IN ACCORDANCE WITH APPLICABLE CODES TO PREVENT EXCESSIVE MOVEMENT DURING SEISMIC CONDITIONS. 	

GAS PIPING NOTES

1. WORK TO INCLUDE PIPING FROM GAS METER TO ALL EQUIPMENT, AND ALSO THE CONNECTION TO THE EQUIPMENT.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA FUEL GAS CODE, ALL APPLICABLE LOCAL CODE REQUIREMENTS, AND THE PROVISIONS OF NFPA--54 AND NFPA--58.
3. THE CONTRACTOR SHALL SUPPLY ALL PERMITS AND LICENSES REQUIRED FOR THE WORK, AND FOR ALL INSPECTIONS REQUIRED.
4. PIPING SHALL BE SCHEDULE 40 STEEL PER CODE.
5. VALVES SHALL BE GAS COCKS MANUFACTURED BY NIBCO.
6. VERIFY/PROVIDE GAS REGULATORS, DRIP LEGS AND TEST CONNECTION AT EACH PIECE OF GAS-FIRED EQUIPMENT AS REQUIRED/ RECOMMENDED BY MANUFACTURER AND CODE.
7. PROVIDE DIRT TRAPS AND SHUT-OFF VALVES WITH UNIONS AT EACH CONNECTION TO GAS FIRED EQUIPMENT.
8. ALL PIPING EXPOSED TO THE OUTDOORS OR RUN IN UNCONDITIONED SPACES SHALL BE PAINTED WITH TWO COATS OF ENAMEL.
9. PROVIDE EMERGENCY SOLENOID SHUT-OFF VALVES AS REQUIRED FOR EQUIPMENT.



REVISIONS		
MARK	DATE	DESCRIPTION

 PRE-BID ISSUE
  POST-BID ISSUE

ISSUE DATES: _____

 PROJECT NO.: 2018 0026
 DRAWN BY: AS
 CHECKED BY: _____

GAS PLAN

P-1

SHEET 21 OF 22

NOT RELEASED FOR CONSTRUCTION

MISCELLANEOUS NOTES

- MN1 All field measurements matched recorded dimensions within the precision requirements of ALTA/ACSM specifications unless otherwise shown.
- MN2 All underground utilities shown were plotted from maps provided and actual above ground location. No underground investigation has been performed.
- MN3 No evidence of any recent earth moving work, building construction or building additions within the recent months.
- MN4 No apparent changes in the street right-of-way lines, either completed or proposed.
- MN5 No evidence that the site is being used as a solid waste dump, sump or sanitary landfill.
- MN6 No evidence that any portion of the property is being used as a cemetery.
- MN7 From above ground appearances only as shown hereon, electric, gas, sanitary sewer and water lines and/or services is available to the subject property within a dedicated street or easement.
- MN8 Property has direct access to Harbour Place Drive, a dedicated public right-of-way.
- MN9 All calls are measured distances, unless otherwise noted. (R)

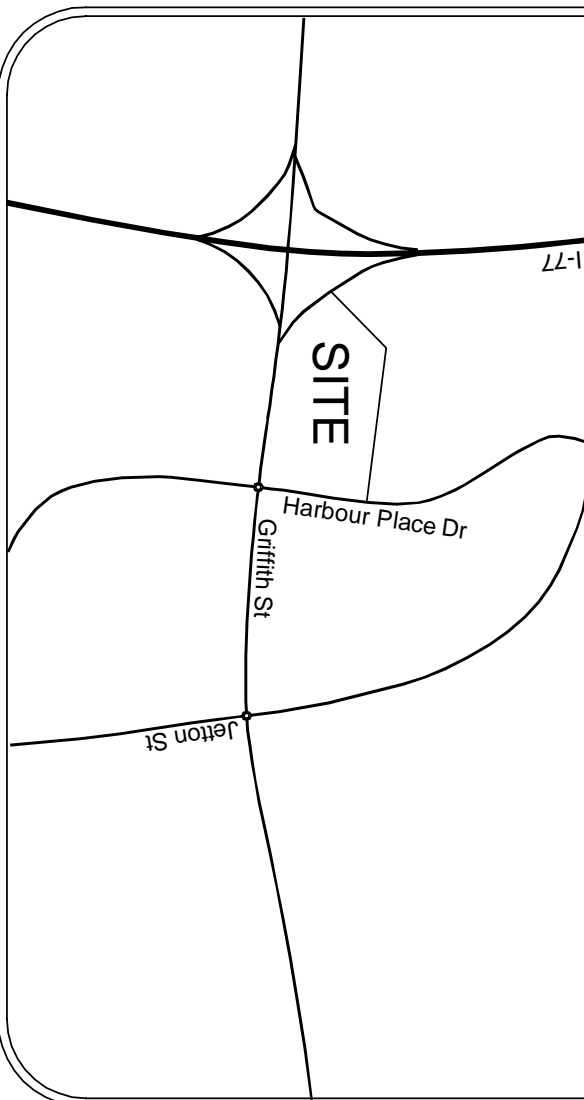
LEGEND

- Driv. Inlet
- ⊗ Security Light
- ⊗ Telephone Box
- ⊗ Water Meter
- ⊗ Fire Hydrant
- ⊗ Manhole

AREA

104,511.579 SqFt
2,389.2 Acres

VICINITY MAP - NOT TO SCALE



SIGNIFICANT OBSERVATIONS

Non-apparent

PARKING

141 Standard Spaces
05 Handicap

RECORD DESCRIPTION

LYING AND BEING in the Town of Davidson, Mecklenburg County, North Carolina, and more particularly described as follows:
BEING all of Lot #1 containing 104,566 square feet or 2.4005 acres, more or less, as shown on plat entitled "REVISED PLAT OF HARBOUR PLACE, MAP 1" recorded in Map Book 46, Page 913, Mecklenburg County Public Registry.

TOGETHER WITH, all easements and appurtenances contained in (i) Declaration of Protective Covenants for Harbour Place recorded in Book 21247, Page 465, Mecklenburg County Public Registry; and (ii) Reciprocal Easement Agreement recorded in Book 21247, Page 669, Mecklenburg County Public Registry.
Currently designated as Mecklenburg County Tax Parcel Number: 003232147
Book deed reference: Book 21247, Page 665, Mecklenburg County Register of Deeds Office.

Being the same property as shown on Title Commitment #12CU17117 of Old Republic National Title Insurance Company bearing an effective date of 12/4/12

ITEMS CORRESPONDING TO SCHEDULE B

- Easement (6) to Duke Power Company recorded in Book 2243, Page 517; Book 2275, Page 30; Book 2275, Page 31; Book 2275, Page 32; Book 6054, Page 400; and Book 6287, Page 580, Mecklenburg County Registry. Applies and affects, blanket in nature and cant plot.
- Euphem foot landscape easement recorded in Book 6193, Page 617, Mecklenburg County Registry, as shown on survey. Applies and affects as shown.
- Setback, easement, governmental regulation or other matter shown on or disclosed by plat recorded in Map Book 6287, Page 580 and revised in Map Book 46, Page 913, Mecklenburg County Registry. Applies and affects as shown.
- Restrictions, reservations of easements and covenants contained in instrument recorded in Book 21237, Page 453, Mecklenburg County Registry. Applies as shown.
- Reciprocal Easement Agreement by and between CK Davidson, LLC, and Riverside Hotel, LLC, recorded in Book 21247, Page 669, Mecklenburg County Registry. Applies and affects as shown.
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ALTA/ACSM LAND TITLE SURVEY

Hotel Portfolio 2012

123 Harbour Place Drive, Davidson, NC

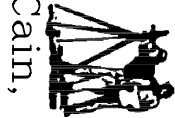
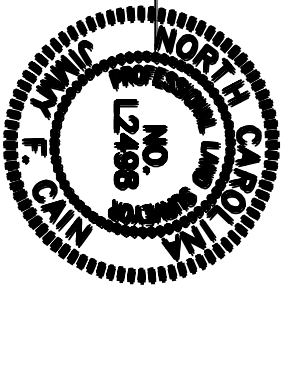
Based upon Title Commitment #12CU17117 of Old Republic National Title Insurance Company bearing an effective date of 12/04/12

Surveyor's Certification

To: Goldman Sachs Mortgage Company and its successors and assigns, Riverside Hotel, LLC, Old Republic National Title Insurance Company, Bank of North Carolina

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and the National Association of Public Surveyors, dated 12/04/12, and that the survey was completed on 08/31/14.

James F. Cain, PLS
James F. Cain, PLS
Registration No. L-2488
in the State of North Carolina
Date of Survey: 11/21/12
12/26/12 Comments
12/04/12 Comments



J. F. Cain, PLS
Professional Land Surveyors
6333 NC 242 South
Bladenboro, NC 28620
Phone: (910) 648-4389
Fax: (910) 648-4389
jfc@jfcinsur.net

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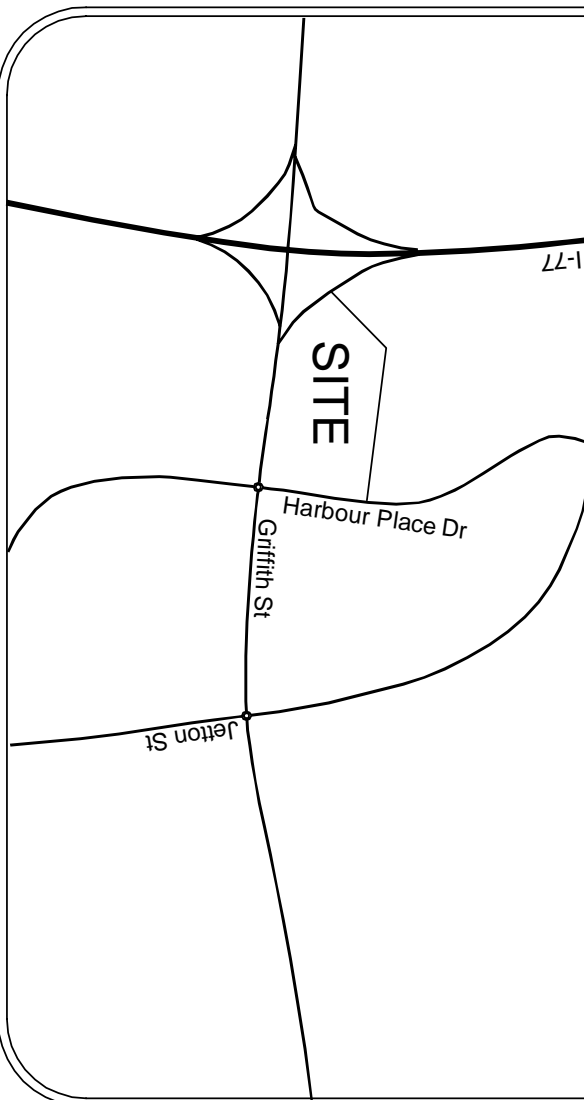
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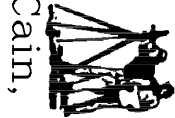
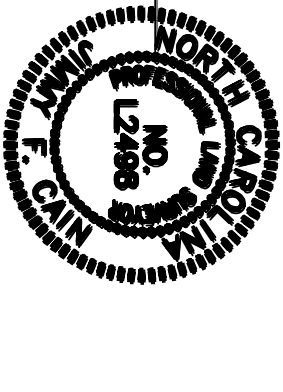
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