

**Town of Davidson, NC  
Design Review Board: Staff Analysis  
March 27, 2019**

**Project:** Davidson College Richardson Hall Renovation  
**Location:** 100 Nelson Lane (Parcel ID 00316201A)  
**Applicant:** Joanne McKinney, Jenkins Peer Architects on behalf of Davidson College  
**Designer:** Jenkins Peer Architects  
**Planning Area:** College Campus

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The applicant proposes renovations to an existing building at 100 Nelson Lane (Richardson Hall Dormitory). This is an existing four-story building with a basement. This project includes an elevator tower addition and interior renovation resulting in exterior changes to existing windows.

**Elevator Tower Addition**

The 1,260 square foot (252 square feet per floor; four stories with a basement) elevator tower addition will be located on the northeast side of the structure. The proposed addition will be constructed with materials to match existing brick and cast stone. New double hung windows will be located on the northeast elevation of the addition. A new steel and glass canopy will also be constructed at the entrance to the elevator lobby on the northeast elevation. The canopy will be painted to match cast stone bands. Lighting is not shown on elevator tower elevations.

**Window Changes**

Interior renovation of the existing building will also result in exterior changes to windows on the front and rear elevations of the existing building. New full height windows will replace two clerestory windows at the basement level on the rear elevation (southeast elevation). Additionally, the existing top sash and exhaust fan on nine windows located on front elevation (northwest elevation) will be removed and replaced with new glazing to match existing windows.

**DAVIDSON PLANNING ORDINANCE:**

***Section 4.4.1 Standards***

***E. Materials***

- 1. Materials shall be selected for suitability to the type of building and design for which they are used.*
- 3. All sides of the building should use materials consistent with those on the front if visible from public streets or neighboring properties, and should be carefully designed with similar detailing, comparable quality, and compatible materials.*
- 4. Building materials and colors shall be:*
  - a. Complementary to the materials already being used in the neighborhood, or*

- b. If dissimilar materials are being proposed, other characteristics such as scale, proportion, form, architectural detailing, color, and texture shall be used to ensure that the building relates to the rest of the neighborhood.*

#### **F. Architectural Details**

- 1. Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.*
- 4. Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*
- 6. The main entry to a building should be emphasized at the street level. Appropriate methods include, but are not limited to:*
  - a. Recessing the door within a larger cased opening.*
  - b. Flanking the door with columns, decorative fixtures or other details.*
  - c. An awning or canopy, providing a sheltered transition to the interior.*

#### **Section 4.5.1.A – Specific Building Type Requirements – Institutional Building**

*The scale and architectural sophistication of these buildings should support their civic importance and complement Davidson’s existing civic buildings.*



## Design Review

Richardson Hall- Interior Renovation and  
Elevator Addition

(Name of Project)

### Contact Information

#### Applicant's Information

Name: Joanne McKinney, Jenkins Peer Architects

E-Mail: jmckinney@jenkinspeer.com

Mailing Address: 112 S. Tryon Street, Suite 1300  
Charlotte, NC 28284

Business Phone: 704-980-6924 Mobile Phone: 404-304-4693

#### Property Owner's Information

*(If Different from Applicant)*

Name: Ronnie Shirley, Davidson College

E-Mail: roshirley@davidson.edu

Mailing Address: Davidson College, PO Box 7166  
Davidson, NC 28035-7166

Business Phone: 704-894-2015 Mobile Phone: 704-507-4835

#### Architect's Information

Name of Firm: Jenkins Peer Architects

Architect's Name: Victor Jones

E-Mail: vjones@jenkinspeer.com

Mailing Address: 112 S. Tryon Street, Suite 1300  
Charlotte, NC 28284

Business Phone: 704-980-6918 Mobile Phone: 704-560-1418



# Design Review

Richardson Hall- Interior Renovation and  
Elevator Addition

(Name of Project)

## Project Description

Application Date:	<u>February 27, 2019</u>
Project Location:	<u>100 Nelson Lane, Davidson, NC 28036</u>
Tax Parcel(s):	<u>00316201A</u>
Planning Area:	<u>College Campus (Section 2.2.14)</u>
Overlay District:	<u>N/A</u>
Master or Cond. Plan <i>(Attach Conditions of Approval)</i>	<u>N/A</u>
Gen. Statement of Intent:	<u>Elevator additions- Add an elevator tower to the existing Richardson Hall Dormitory.</u> <u>Interior Renovation- Replace existing window fans with new glazing to match the existing window. Remove smaller windows on back of building and replace with new full size window to match existing.</u>

<b>Project Details:</b>	
• Project Type:	<input checked="" type="checkbox"/> Individual Bldg. <input type="checkbox"/> Master Plan <input type="checkbox"/> Conditional Planning Area <input type="checkbox"/> Sign
• Building Type:	<input type="checkbox"/> Detached House <input type="checkbox"/> Townhouse <input type="checkbox"/> Attached House (Tri- or Quadplex) <input checked="" type="checkbox"/> Institutional <input type="checkbox"/> Live/Work <input type="checkbox"/> Multi-family (Apts., Condos, Flats) <input type="checkbox"/> Workplace <input type="checkbox"/> Storefront <input type="checkbox"/> Accessory Structure
• Use(s):	<u>Dormitory</u>
• Height & Stories:	<u>48' , Four stories with a basement</u>
• Square Footage:	<u>28,680 SF existing, 1,260 SF Elevator Addition (252 SF/FLOOR)</u>
• Building Materials:	<u>Brick, Cast Stone, Double hung windows- match existing</u>
Architectural Features:	<u>Elevator Addition to match existing brick and cast stone construction. New glass entrance canopy.</u>
Existing Site Conditions: <i>See 14.12.2.D</i>	<u>Site to be regraded at north end of building to allow for installation of new elevator tower. See schematic site plan.</u>





# Design Review

Richardson Hall- Interior Renovation and Elevator Addition

(Name of Project)

## Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.

\_\_\_\_\_

2.2.14

2.2.14 B

2.2.14 C

2.2.14 D

N/A

N/A

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N/A

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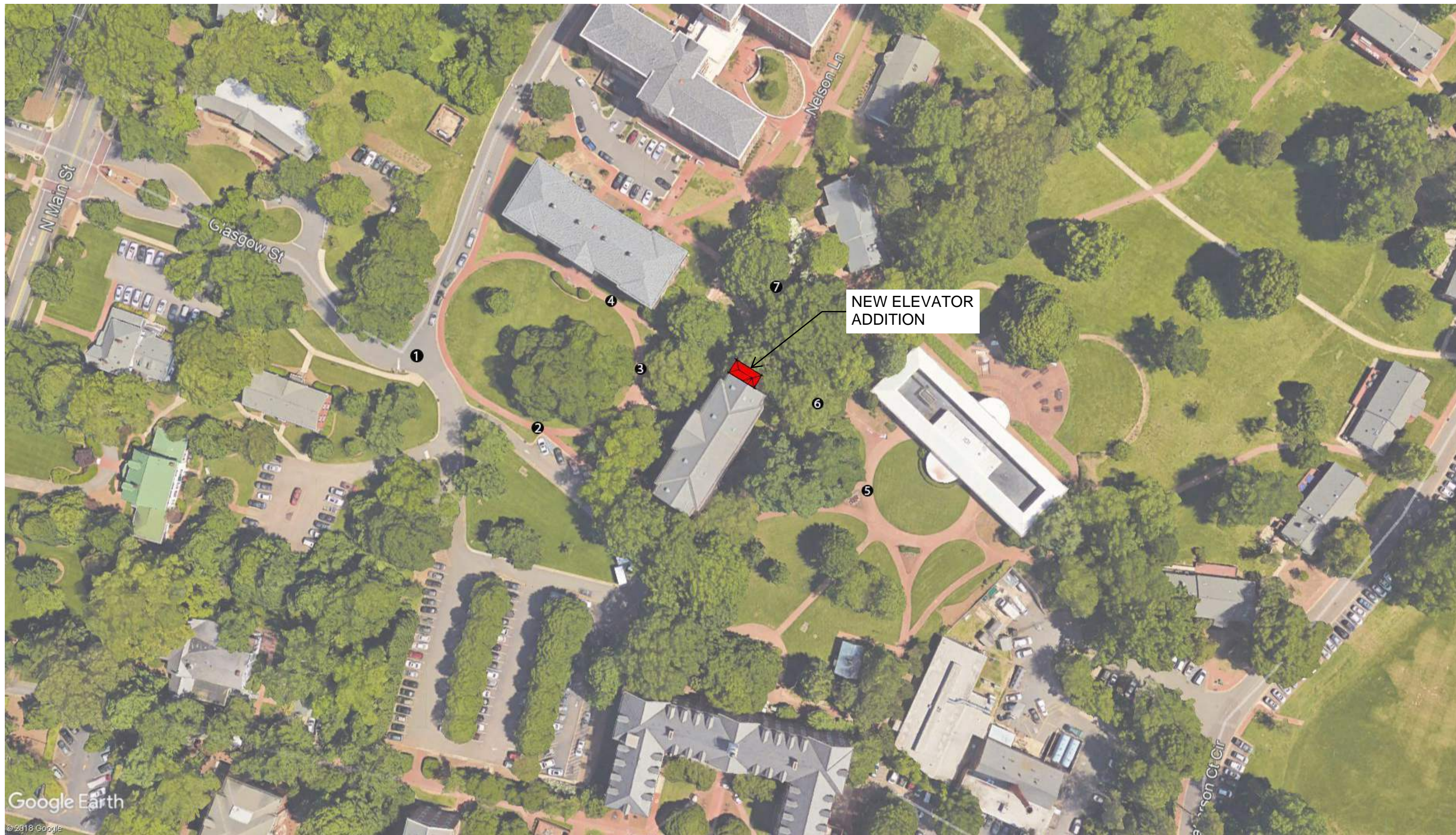
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N/A

- ☐ **Planning Ordinance**  
<http://www.townofdavidson.org/1006/Planning-Ordinance>  
 (Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)
- ☒ **Section 2 Planning Areas**
- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Permitted Use/Add'l Req. | <input type="checkbox"/> Not Permitted |
| <input checked="" type="checkbox"/> Permitted Building Type  | <input type="checkbox"/> Not Permitted |
| <input checked="" type="checkbox"/> Meets Setback Criteria   | <input type="checkbox"/> Does Not Meet |
| <input type="checkbox"/> Meets Open Space Criteria           | <input type="checkbox"/> Does Not Meet |
| <input type="checkbox"/> Meets Density Criteria              | <input type="checkbox"/> Does Not Meet |
- ☒ **Section 4 Design Standards**
- ☒ General Site Design Criteria (4.3)
- ☒ General Building Design Criteria (4.4)
- ☒ Specific Building Type Criteria (4.5)
- ☐ Existing Industrial Campuses Criteria (4.6)
- ☒ Renovation of Existing Structures Criteria (4.7)
- ☐ **Section 8 Parking & Driveways**
- ☐ **Section 9 Tree Preservation, Landscaping & Screening**
- ☐ **Section 10 Lighting**
- ☐ **Section 22 Local Historic District Guidelines**

# **RICHARDSON HALL ELEVATOR ADDITION**





**Jenkins•Peer Architects**  
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(f) 704/372-0102



## RICHARDSON HALL ELEVATOR ADDITION

SITE PLAN

02.26.2018





IMAGE 1



IMAGE 2



IMAGE 3



IMAGE 4

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**RICHARDSON HALL ELEVATOR ADDITION**

SITE IMAGES

02.26.2018





IMAGE 5

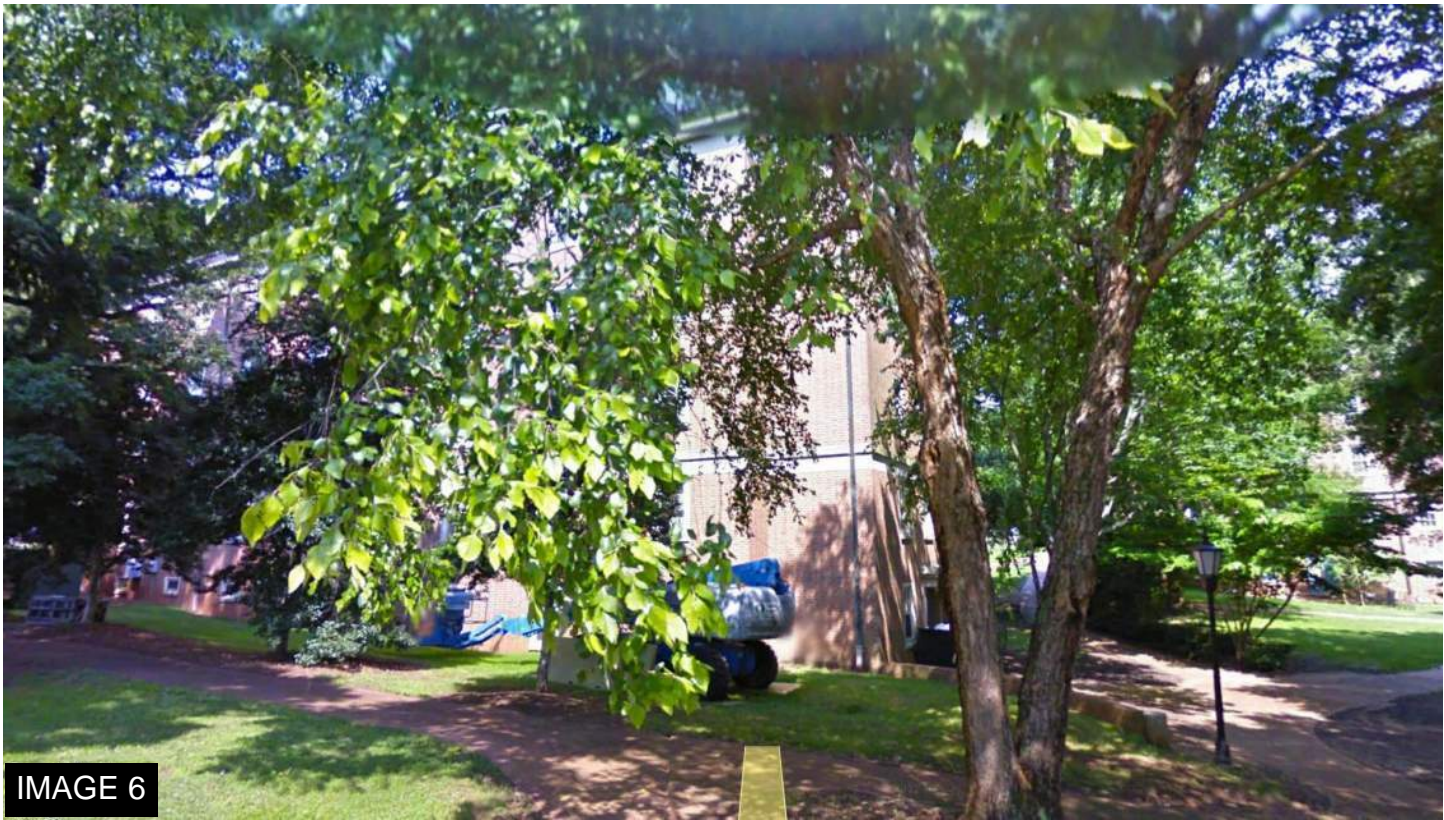


IMAGE 6



IMAGE 7

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SITE IMAGES

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RICHARDSON HALL ELEVATOR ADDITION

BUILDING IMAGES

02.26.2018





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## RICHARDSON HALL ELEVATOR ADDITION

PERSPECTIVE VIEW

02.26.2018





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**DAVIDSON**  
◆

**RICHARDSON HALL ELEVATOR ADDITION**

PERSPECTIVE VIEW

02.26.2018



D

C

B

A

GENERAL NOTES

1. THE INFORMATION AND DATA SHOWN OR INDICATED WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS BASED ON INFORMATION AND DATA FURNISHED TO THE ENGINEER BY THE OWNER. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES SHOWN OR INDICATED PRIOR TO CONSTRUCTION, FOR COORDINATION OF THE WORK WITH THE OWNER OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF RESULTING FROM THE WORK, ALL OF WHICH WILL BE AT NO ADDITIONAL COST TO THE OWNER.
2. WHEN WORKING ADJACENT TO EXISTING STRUCTURES, POLES, ETC., CONTRACTOR SHALL USE WHATEVER METHODS THAT ARE NECESSARY TO PROTECT STRUCTURES FROM DAMAGE. CONTRACTOR SHALL HAND EXCAVATE WITHIN 5' OF ALL BUILDINGS, WALLS AND STRUCTURES. REPLACEMENT OF DAMAGED STRUCTURES SHALL BE AT THE CONTRACTOR'S EXPENSE.
3. CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS TO THE ENGINEER.
4. THE LOCATION OF ALL EXISTING UTILITIES ACROSS THE LINES OF THE PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY PRIOR TO CONSTRUCTION.
5. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE CONSTRUCTION DOCUMENTS.
6. EXISTING CONDITIONS PROVIDED BY DEWBERRY ENGINEERS INC. SURVEY DATED JANUARY 2019.
7. ANY ALTERATIONS AND CONNECTIONS TO ANY UTILITY SHALL BE COORDINATED THROUGH THE OWNER.
8. CONTRACTOR WORK DAYS AND HOURS SHALL BE FROM 8 AM TO 8 PM MONDAY THROUGH FRIDAY. ANY DEVIATION FROM THIS SCHEDULE SHALL BE APPROVED BY THE OWNER. SHUTDOWNS SHALL BE PERFORMED AT NIGHT AND WEEKENDS WITH 10 DAYS WRITTEN NOTICE.
9. CONTRACTOR SHALL PROTECT THE ACTIVE WORK AREA WITH 6' HIGH CHAIN LINK FENCE WITH TOP RAIL.
10. CONTRACTOR SHALL PROVIDE A PEDESTRIAN AND VEHICULAR MAINTENANCE PLAN TO THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
11. ALL CONTRACTOR LAYDOWN AREAS SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE LINE.
12. CONTRACTOR SHALL COORDINATE SITE ACTIVITY WITH ADJACENT BUILDINGS TO MINIMIZE DISRUPTION TO DAILY ACTIVITIES.
13. CONTRACTOR SHALL MAINTAIN ALL INGRESS/EGRESS POINTS TO SURROUNDING BUILDINGS THROUGHOUT CONSTRUCTION UNLESS OTHERWISE NOTED ON THE PLANS.
14. ANY TREES AND/OR SHRUBS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR IN COORDINATION WITH DAVIDSON COLLEGE.
15. ANY CURB, GUTTER, OR SIDEWALK DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR IN COORDINATION WITH THE OWNER. ALL REPAIRS SHALL BE MADE BY REPLACING ENTIRE SECTION (JOINT TO JOINT) OF CONCRETE DAMAGED.
16. CONTRACTOR SHALL CONTACT 811 PRIOR TO STARTING ANY WORK ON SITE.
17. ALL PAVING AND WALKWAY SHALL BE REPAIRED TO MATCH THE EXISTING CONDITIONS AND INSTALLED IN ACCORDANCE WITH THE NCDOT ROADWAY DESIGN MANUAL AND 2010 ADA STANDARDS.
16. CONTRACTOR SHALL OBTAIN COMPACTION AT 95% MAXIMUM DRY DENSITY STANDARD PROCTOR PER ASTM D-1557. CONTRACTOR SHALL PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
17. CONTRACTOR SHALL EMPLOY A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM REQUIRED FIELD AND LABORATORY TESTING, AND PROVIDE RESULTS TO THE ENGINEER FOR REVIEW AND APPROVAL.

EROSION AND SEDIMENT CONTROL NARRATIVE

**PROJECT DESCRIPTION**

THIS CIVIL SCOPE FOR THIS PROJECT INCLUDES THE INSTALLATION OF A BRICK SIDEWALK ON THE NORTHEAST SIDE OF THE RICHARDSON HALL DORMITORY BUILDING ON THE CAMPUS OF DAVIDSON COLLEGE IN DAVIDSON, NC. EXISTING CONCRETE AND BRICK WALKWAYS WILL BE DEMOLISHED BEFORE THE INSTALLATION OF THE BRICK SIDEWALK. TOTAL AREA OF DISTURBANCE IS 0.03 ACRES (1,445 SF). THE PROJECT WILL CREATE ADDITIONAL IMPERVIOUS AREA OF 0.01 ACRES (205 SF).

**ADJACENT PROPERTY**

THERE ARE NO ADJACENT PROPERTIES THAT WILL BE AFFECTED BY THIS PROJECT.

**CRITICAL AREAS**

THERE ARE NO CRITICAL AREAS ONSITE. THE PLAN HAS BEEN DEVELOPED TO MINIMIZE LAND DISTURBANCE. WHERE GRADING IS NECESSARY, ADEQUATE PRECAUTIONS SHALL BE TAKEN TO MINIMIZE EROSION AND TO CONTAIN SILT THROUGH PROPER EROSION AND SEDIMENT CONTROL PRACTICES.

**MANAGEMENT STRATEGIES**

1. CONSTRUCTION SHALL BE SEQUENCED SO THAT DISTURBANCE, CONSTRUCTION, AND SURFACE RESTORATION CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
2. HARDSCAPE INSTALLATION SHALL BEGIN IMMEDIATELY FOLLOWING RETURN TO EXISTING SUBGRADE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES.
4. AFTER ACHIEVING ADEQUATE STABILIZATION, THE TEMPORARY EROSION & SEDIMENT CONTROLS SHALL BE CLEANED UP AND REMOVED IMMEDIATELY.

**EROSION AND SEDIMENT CONTROL MEASURES**

THE INTENT OF THE EROSION AND SEDIMENT CONTROLS SHOWN ON THESE DRAWINGS IS TO GUIDE THE CONTRACTOR IN IMPLEMENTING ACCEPTABLE MEASURES, INFRASTRUCTURE, AND MAINTENANCE PROGRAMS THAT WILL MINIMIZE THE AMOUNT OF EROSION AND RESULTING SEDIMENT THAT WILL TAKE PLACE DURING THE CONSTRUCTION OF THIS PROJECT.

**EROSION AND SEDIMENT CONTROL MAINTENANCE**

IN GENERAL, ALL THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL TO ENSURE THEY ARE IN WORKING ORDER. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

1. INLET PROTECTION: SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE DESIGN DEPTH OF THE TRAP.
2. SILT FENCE:
  - A. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
  - B. FABRIC SHALL BE REPLACED IF IT HAS DECOMPOSED OR BECOME INEFFECTIVE.

EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR SHALL NOT GRADE BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN.
2. SOIL STABILIZATION SHALL BE REQUIRED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE:
  - I) ALL OTHER DISTURBED AREAS SHALL BE PROVIDED WITH TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
3. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE OWNER.
4. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1.
5. ALL EROSION CONTROL MEASURES SHALL CONFORM TO THOSE SET FORTH IN THE STATE OF NORTH CAROLINA EROSION CONTROL PLANNING AND DESIGN MANUAL, NCDOT DESIGN MANUAL, TOWN ORDINANCE, OR THE MOST RESTRICTIVE OF ANY STANDARDS THAT CONFLICT.
6. THE ANGLE OF THE GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE WHICH CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES.
7. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED EVERY 7 DAYS OR AFTER EACH RAINFALL OCCURRENCE THAT EXCEEDS 1/2 INCH. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED, AS NECESSARY.
8. AFTER CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES.

GENERAL DEMOLITION NOTES

1. SAW CUT AND REMOVE ALL BRICK AND CONCRETE TO LIMITS REQUIRED FOR PROPOSED WORK. SAW CUTS FOR CONCRETE SHALL OCCUR AT THE NEAREST CONTROL JOINT OR EXPANSION JOINT. SAW CUTS BETWEEN CONTROL JOINTS ARE NOT ACCEPTABLE. ALL DECORATIVE SCORING PATTERNS SHALL BE REPLACED TO THE OWNER'S SATISFACTION. CONTRACTOR SHALL DOCUMENT AND PHOTOGRAPH ALL DECORATIVE SCORING PATTERNS PRIOR TO DEMOLITION.
2. REMOVE VEGETATION, GRASS, & ROOTMAT IN AREAS TO RECEIVE NEW BRICK AND CONCRETE PAVEMENTS.
3. ALL PRIMARY UTILITIES DISCOVERED DURING DEMOLITION OPERATIONS SHALL BE PROPERLY PRESERVED AND PROTECTED.
4. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY UNFORESEEN OR ADVERSE CONDITIONS DISCOVERED DURING DEMOLITION OPERATIONS.
5. CONTRACTOR SHALL PROTECT EXISTING PLANT MATERIAL NOT DESIGNATED FOR REMOVAL OR RELOCATION FROM DAMAGE DURING CONSTRUCTION.
6. CONTRACTOR SHALL KEEP ALL SURROUNDING PUBLIC ROADWAYS AND DRAINAGE SYSTEMS FREE FROM DIRT, MUD, AND CONSTRUCTION DEBRIS AT ALL TIMES.
7. LIMITS OF DEMOLITION INDICATED ON PLAN ARE MINIMUM. CONTRACTOR SHALL REMOVE BRICK PAVEMENT, CONCRETE AND MISCELLANEOUS ITEMS AS NECESSARY TO FACILITATE CONSTRUCTION IN ACCORDANCE WITH HOSPITAL, STATE AND LOCAL REGULATIONS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY ITEMS DAMAGED DURING THE CONSTRUCTION.

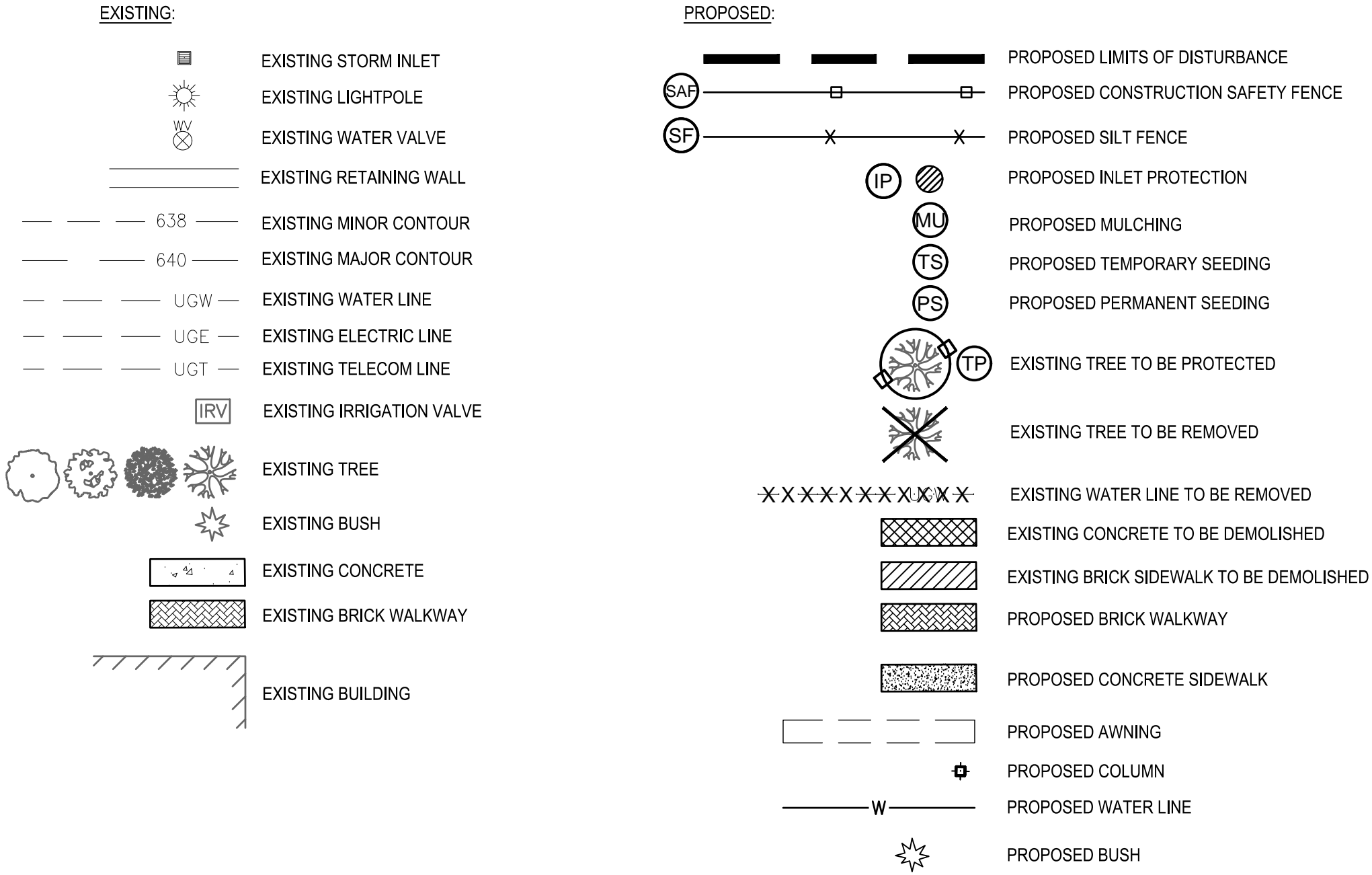
LANDSCAPING NOTES

1. TREES AND VEGETATION ADJACENT TO THE ACTUAL WORK AREA OR BORROW AREA SHALL BE PROTECTED WITH TEMPORARY FENCING (CHAIN LINK FENCE FOR TREES; CONSTRUCTION SAFETY FENCE FOR VEGETATION) TO PRESERVE EXISTING ITEMS INDICATED TO REMAIN AND TO PREVENT DAMAGE TO PROPERTY.
2. THE PARKING OF VEHICLES AND STORAGE OF ANY CONSTRUCTION EQUIPMENT OR MATERIALS SHALL NOT OCCUR UNDER THE DRIP LINE OF TREES.
3. BACKFILL AND COMPACTION SHALL BE COMPLETED TO THE SATISFACTION OF THE OWNER.

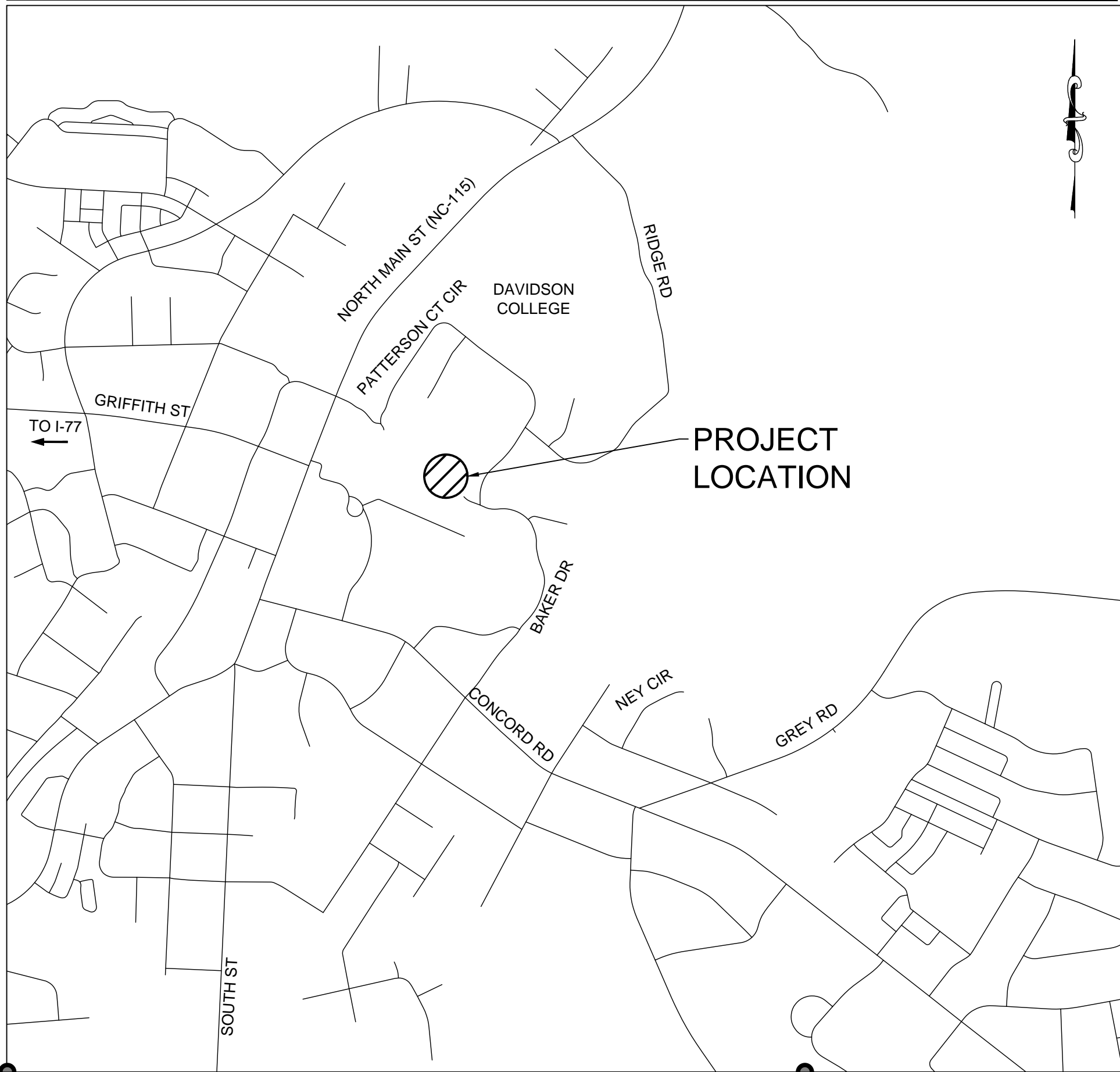
SITE INFORMATION

1. PROJECT IS LOCATED ON THE CAMPUS OF DAVIDSON COLLEGE, IN THE TOWN OF DAVIDSON, MECKLENBURG COUNTY, NORTH CAROLINA.
2. THE PROJECT IS LOCATED WITHIN THE COLLEGE CAMPUS PLANNING AREA AS NOTED IN THE TOWN OF DAVIDSON PLANNING AREAS MAP, DATED JULY 2017.
3. THIS PROJECT INCLUDES THE RENOVATION AND AN ADDITION TO THE RICHARDSON HALL DORMITORY BUILDING AND ASSOCIATED SIDEWALK REPLACEMENT, WATER LINE RELOCATION, AND LANDSCAPING.
4. PROJECT WILL INCLUDE A NET INCREASE IN IMPERVIOUS AREA OF 0.01 ACRES (205 SF). THE ADDITIONAL IMPERVIOUS AREA WILL BE INCLUDED IN THE UPDATED BUILT-UPON AREA ACCOUNTING SUBMITTED WITH THIS PROJECT.
5. THE PROJECT SITE IS NOT LOCATED IN A WATER SUPPLY WATER PROTECTION AREA, A WATER QUALITY BUFFER (SWIM), OR A POST CONSTRUCTION BUFFER.

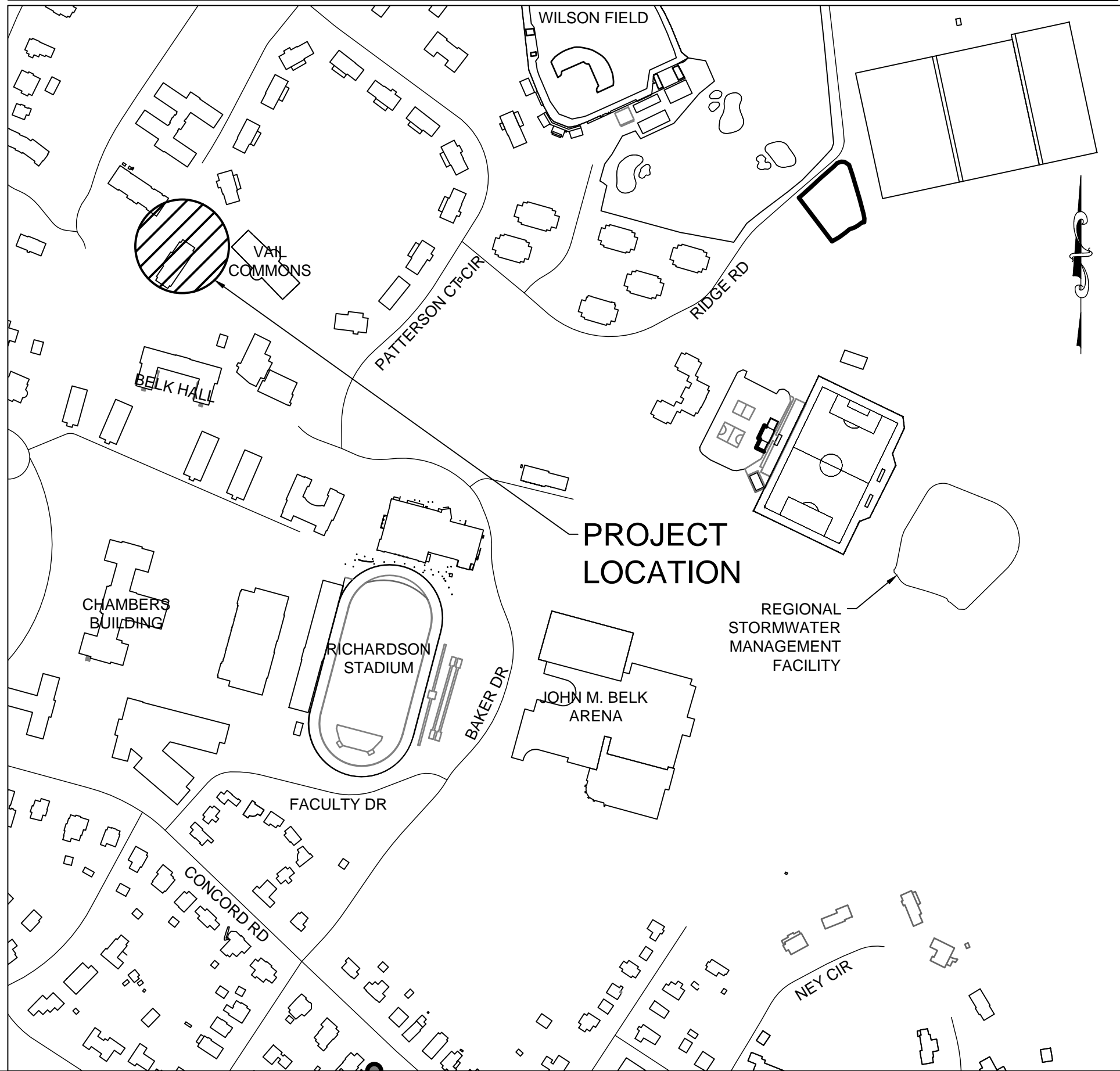
LEGEND



VICINITY MAP



PROJECT AREA



Jenkins • Peer Architects

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**100 Nelson Lane**  
Richardson Hall  
Interior Renovation

Code 0000 / Item 000 / File 000000

TAG	DESCRIPTION	DATE
	VE MODIFICATIONS	02.22.2019

Project: 18DAV200  
Drawn By: JGL  
Checked By: TRK  
Date: 02/26/2019  
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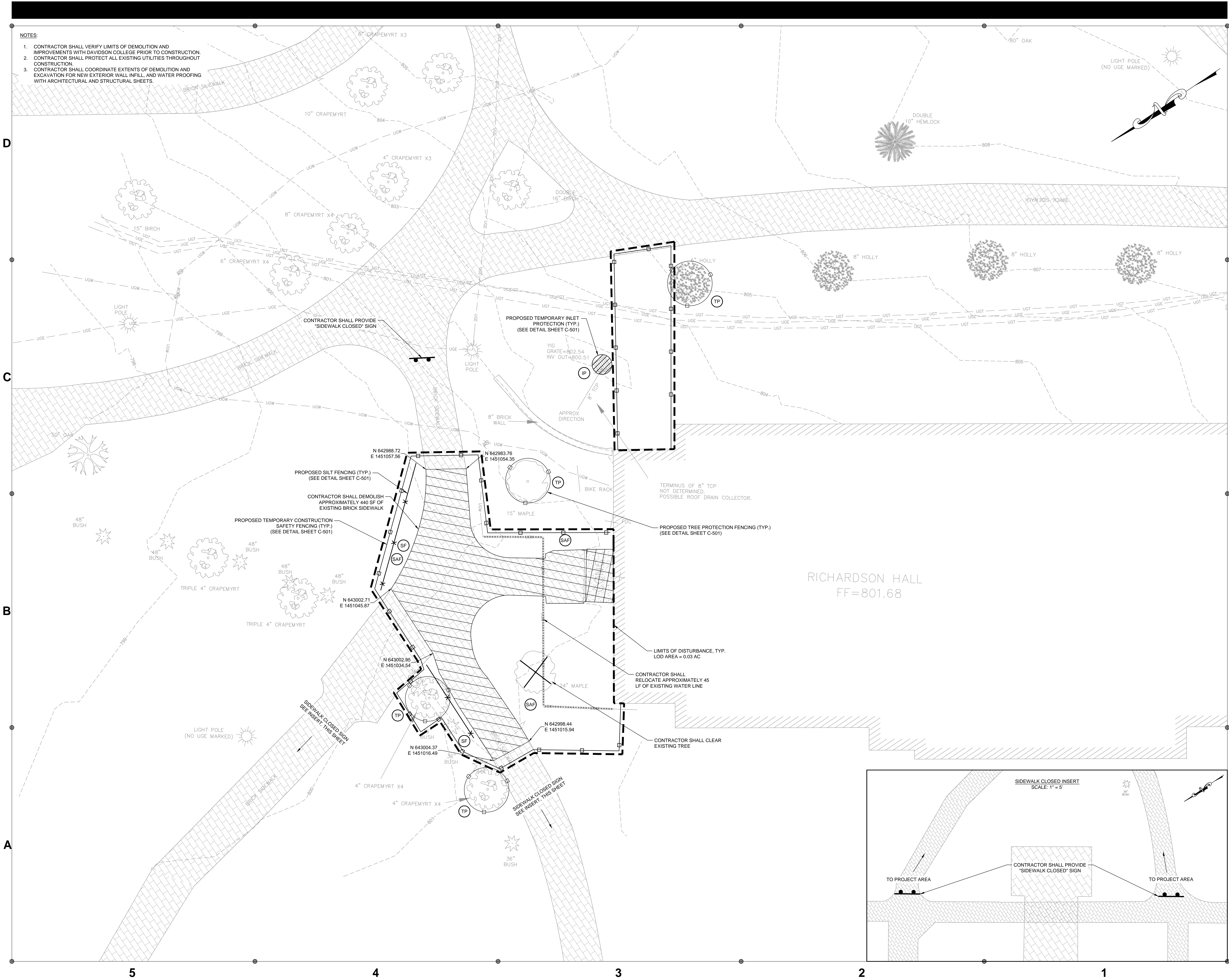
GENERAL NOTES



SCHEMATIC DESIGN

C-101





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**DAVIDSON**

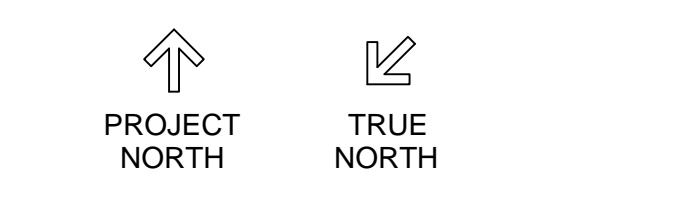
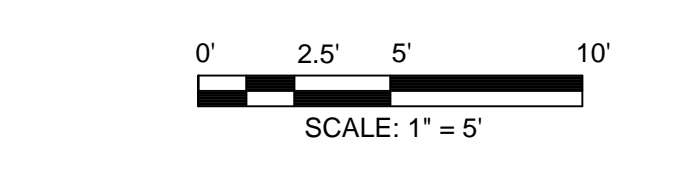
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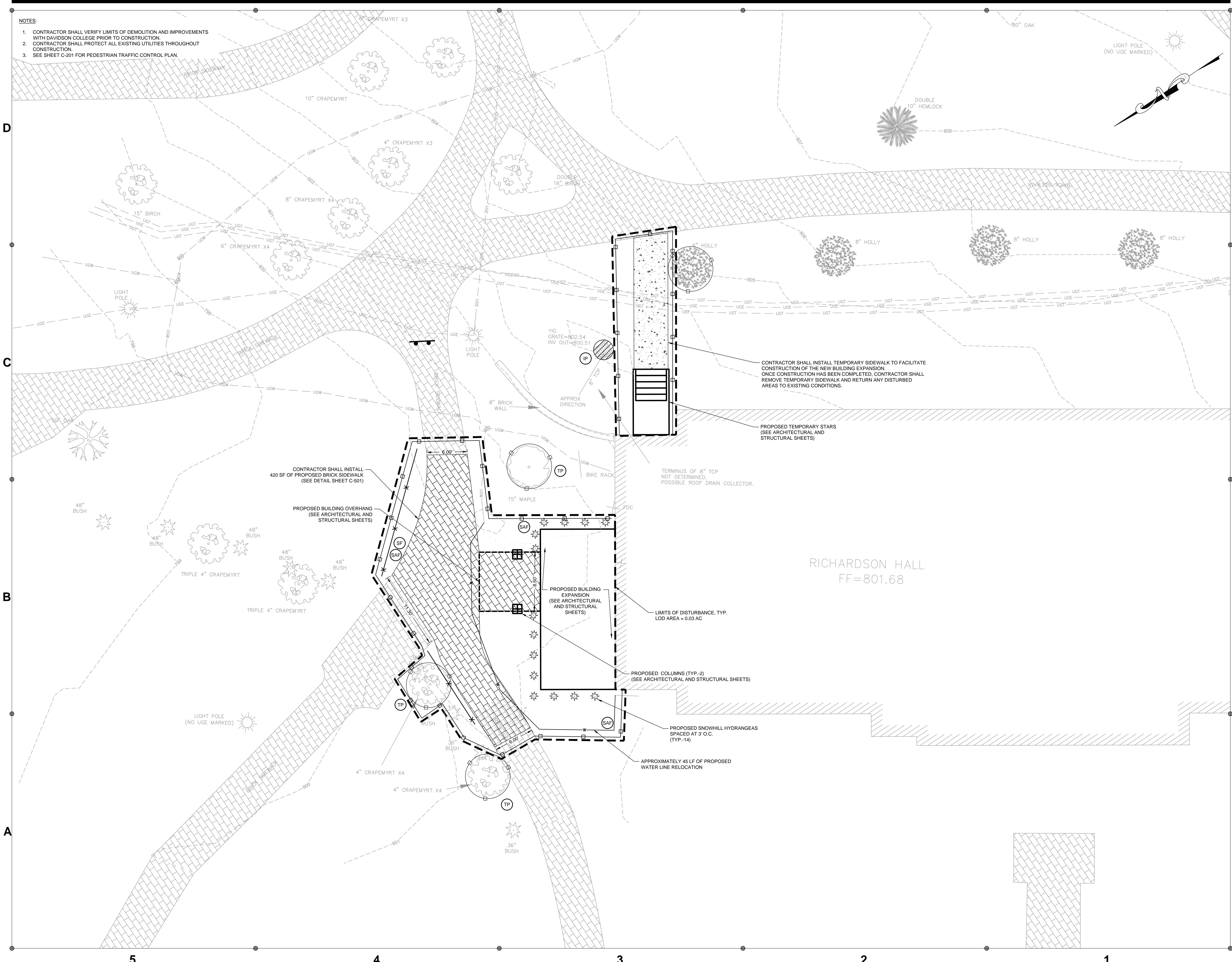
DEMOLITION AND  
EROSION AND  
SEDIMENT CONTROL  
PLAN



**SCHEMATIC  
DESIGN**

**C-201**





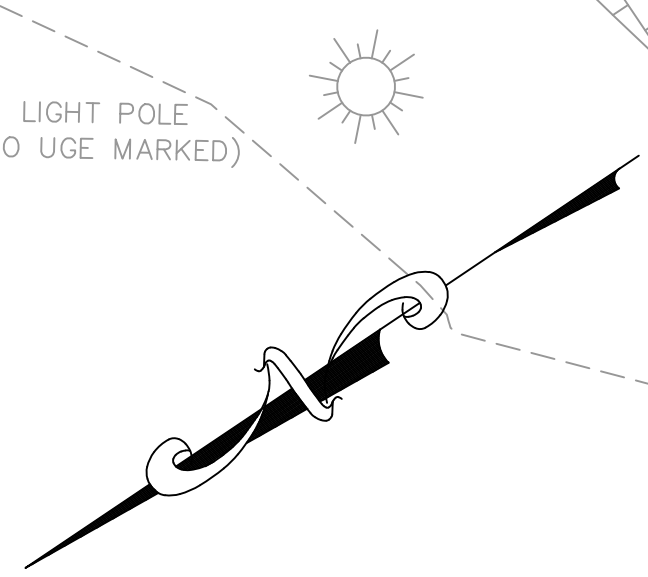
- NOTES:
1. CONTRACTOR SHALL VERIFY LIMITS OF DEMOLITION AND IMPROVEMENTS WITH DAVIDSON COLLEGE PRIOR TO CONSTRUCTION.
  2. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES THROUGHOUT CONSTRUCTION.
  3. SEE SHEET C-201 FOR PEDESTRIAN TRAFFIC CONTROL PLAN.

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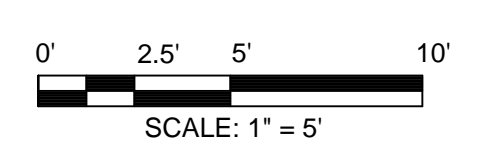
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**PROPOSED IMPROVEMENTS**



**SCHEMATIC DESIGN**

**C-301**

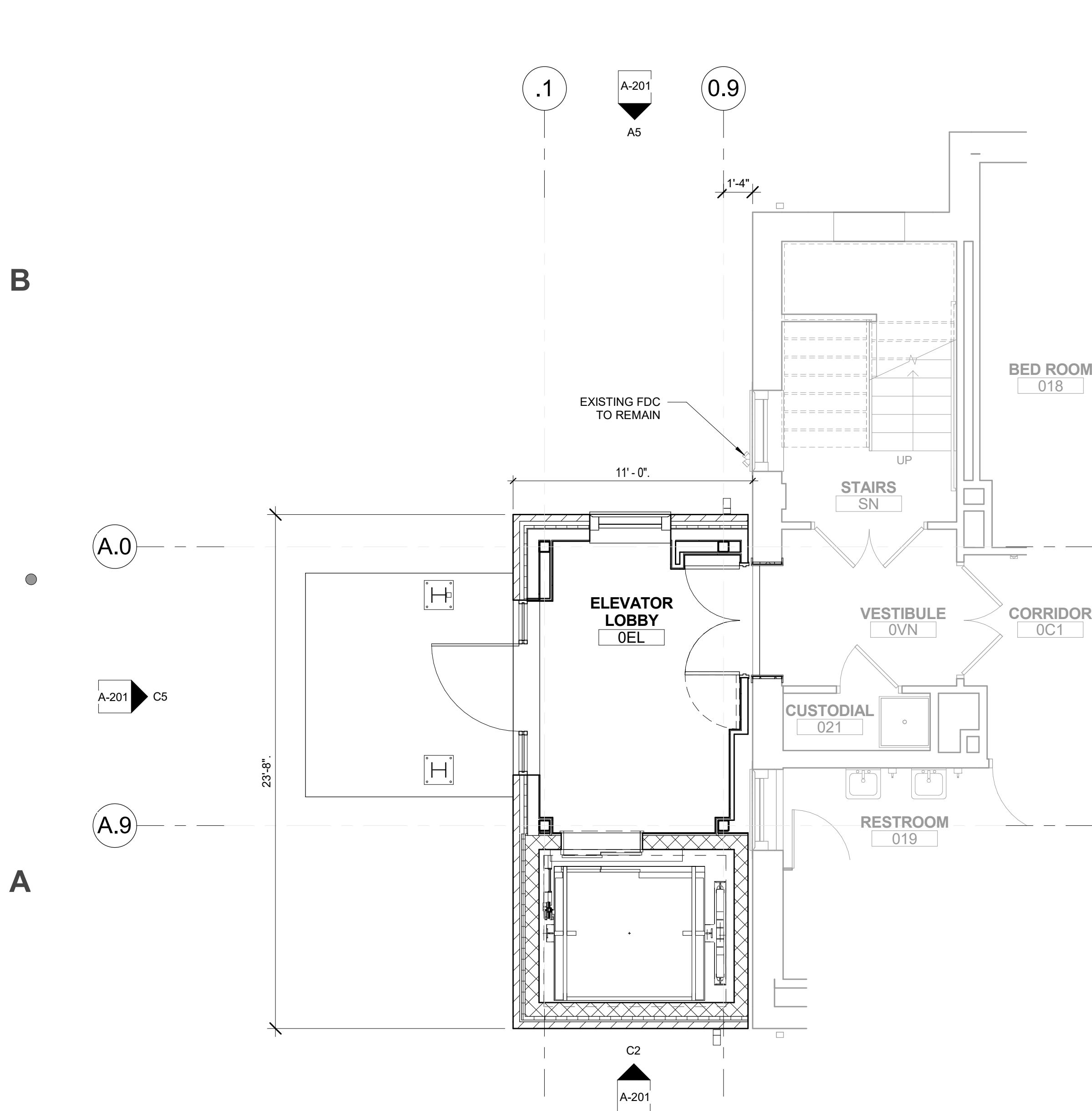






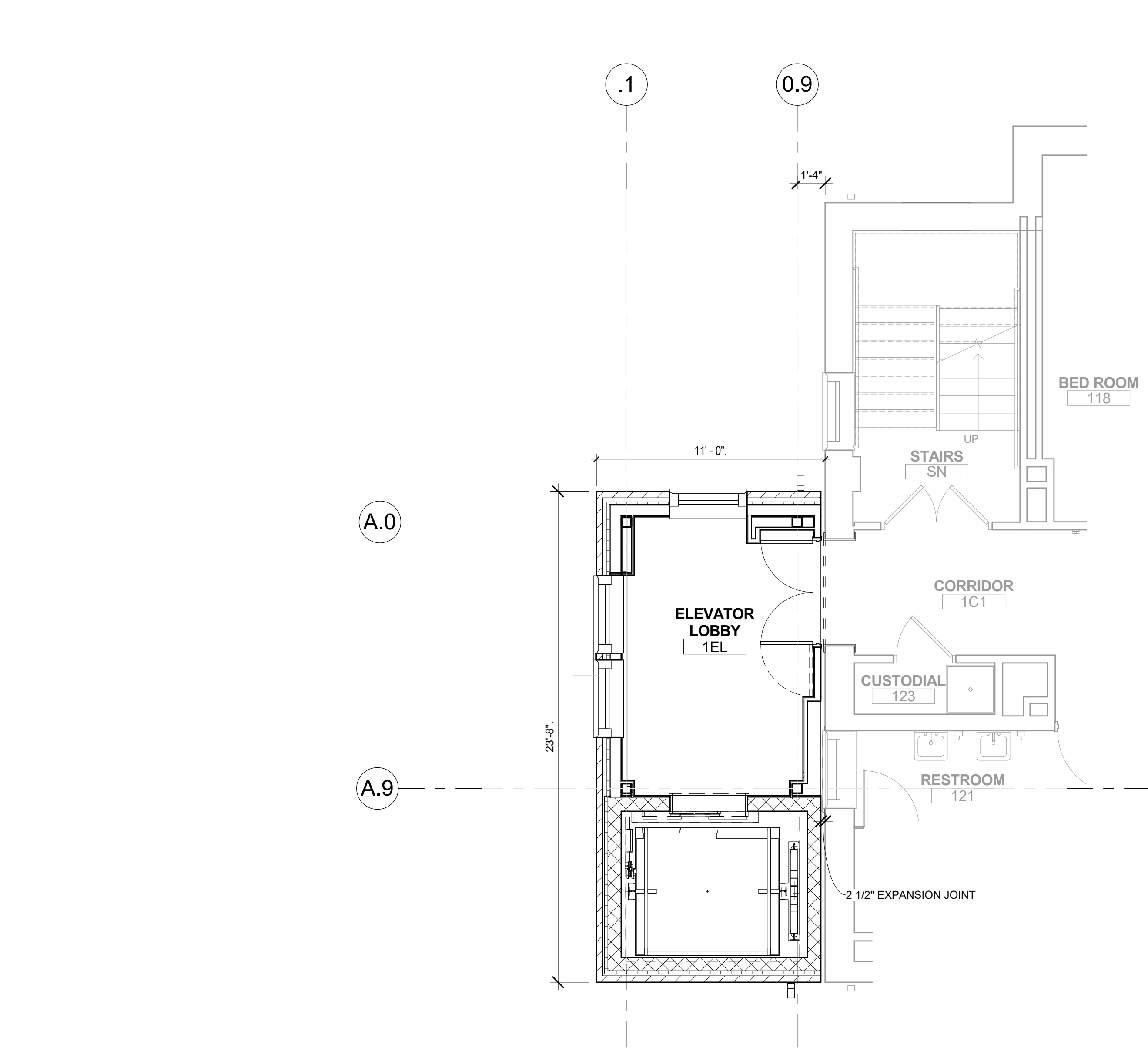


C5 ROOF PLAN  
1/4" = 1'-0"



A5 BASEMENT FLOOR PLAN  
1/4" = 1'-0"

5 4



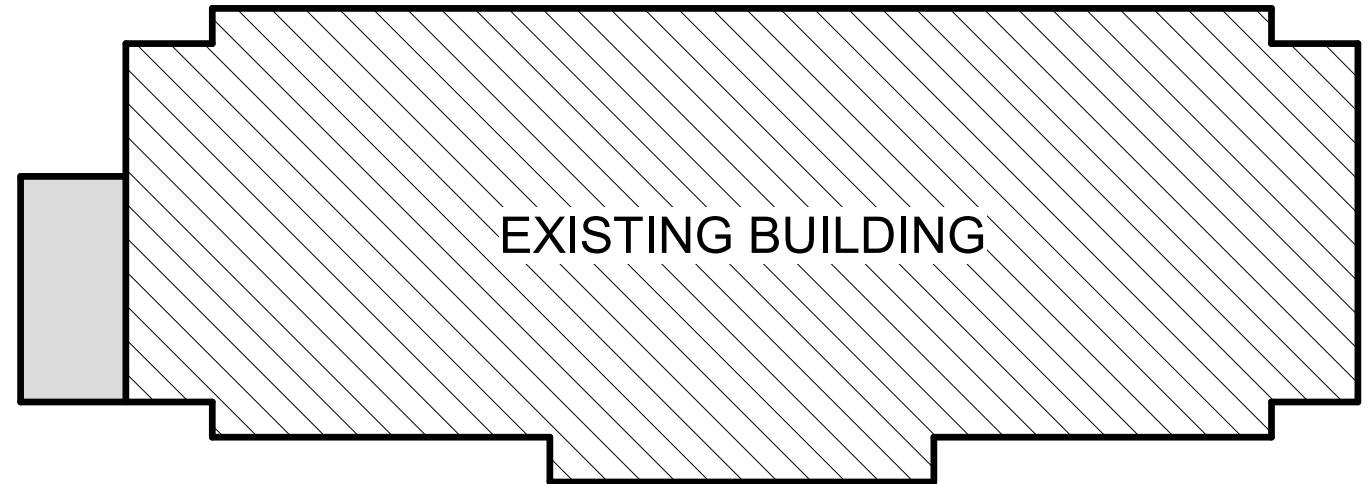
A3 TYPICAL FLOOR PLAN (FLOORS 1 - 4)  
1/4" = 1'-0"

3 2 1

- FLOOR PLAN GENERAL NOTES**
- REFER TO SHEET G-301 FOR THE WALL & PARTITION TYPES SCHEDULE.
  - ALL EXISTING WALLS TO REMAIN ARE INDICATED IN HALFTONE. ALL OTHER WALLS SHOWN ARE NEW.
  - CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT PROMPTLY OF ANY CONDITION UNCOVERED WHICH SHOWS EVIDENCE OF DTERIORATED STRUCURE, BUILDING ENVELOPE OR LIFE SAFETY ELEMENT WHICH IS SLATED TO REMAIN.
  - PATCH, REWORK, SKIM, EXISTING WALLS WHERE REQ'D FOLLOWING DEMOLITION. FINISHES TO REMAIN - TOUCH UP AS NEEDED.
  - REFER TO LIFE SAFETY PLANS FOR FIRE EXTINGUISHERS AND FIRE EXTINGUISHER CABINET LOCATIONS. REFER LIFE SAFETY PLANS FOR LOCATIONS OF RATED FLOOR SLABS AND RATED STRUCTURAL COLUMNS, BEAMS, AND SUPPORTING STRUCTURE.
  - DIMENSIONS ARE TAKEN TO FINISH FACE OF WALLS AND PARTITIONS UNLESS NOTED OTHERWISE.
  - BLOCKING SHALL BE PROVIDED FOR ALL WALL AND CEILING MOUNTED ACCESSORIES, EQUIPMENT, HANDRAILS, FIXTURES, CABINETS, CASEWORK, SHELVING, ETC. SHOWN ON ANY DRAWING.
  - ALL DIMENSIONING OF EXISTING CONDITIONS ARE TO BE FIELD VERIFIED.
  - SEE EXTERIOR ELEVATIONS FOR EXTERIOR WINDOW TYPES & LOCATIONS.
  - ALL MASONRY DIMENSIONS ARE NOMINAL U.N.O.
  - DOOR JAMBS SET 4" FROM FACE OF ADJACENT WALL TYP. U.N.O.
  - ENCLOSE ALL EXPOSED DUCTS, PIPES CONDUITS, ETC. IN FINISHED SPACE WITH CONSTRUCTION & FINISH TO MATCH ADJACENT CONSTRUCTION U.N.O.
  - PROVIDE ACCESS DOORS OF APPROPRIATE SIZE, TYPE & FIRE RATING FOR ALL CONCEALED ITEMS THAT ARE REQUIRE ADJUSTMENT, MAINTENANCE, MONITORING, ETC. COORDINATE LOCATIONS WITH ARCHITECT.
  - DO NOT DETERMINE DIMENSIONS AND SIZE OF THE GRAPHIC REPRESENTATIONS SHOWN ON THE DRAWINGS BY USING MEASURING DEVICE (DO NOT SCALE!). RELY ON THE NUMERIC DIMENSIONS SHOWN ON THE DRAWINGS FOR MEASUREMENT.

**FLOOR PLAN LEGEND**

	WALL / PARTITION - COORDINATE WITH PARTITION SCHEDULE		MB MARKER BOARD W/ WD TRIM
	NEW DOOR - SHOWN WITH DOOR TAG, LOCATE HINGE OF DOOR 6" FROM PERPENDICULAR WALL, UNO		TB 5'-0" HIGH CORK TACK BOARD W/ WD TRIM MOUNT 3'-0" AFF.
	EXISTING DOOR - SHOWN WITHOUT DOOR TAG		2 HR RATED FIRE BARRIER
	FIRE EXTINGUISHER CABINET		1 HR RATED FIRE BARRIER
	CG WALL CORNER GUARD		1/2 HR RATED FIRE PARTITION



KEY PLAN: NTS

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(t) 704/338-1292



**DAVIDSON**

**405 N. Main Street**

Richardson Hall  
Elevator Addition

Code 0000 / Item 000 / File 000000

TAG	DESCRIPTION	DATE

Project: 18DAV200

Drawn By: KMF

Checked By: JLM

Date: FEB 8, 2019

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**FLOOR AND ROOF PLANS**



**SCHEMATIC DESIGN**

**A-101**

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Addition\_Central\_R17\_kfarra-jenkinspeer.com.rvt

D

C

B

A

A5 BASEMENT FLOOR PLAN

1/8" = 1'-0"

5

4

3

2

1

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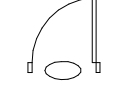



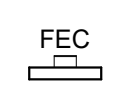




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FLOOR PLAN GENERAL NOTES

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2. ALL EXISTING WALLS TO REMAIN ARE INDICATED IN HALFTONE. ALL OTHER WALLS SHOWN ARE NEW.
3. CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT PROMPTLY OF ANY CONDITION UNCOVERED WHICH SHOWS EVIDENCE OF DTERIORATED STRUCURE, BUILDING ENVELOPE OR LIFE SAFETY ELEMENT WHICH IS SLATED TO REMAIN.
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8. ALL DIMENSIONING OF EXISTING CONDITIONS ARE TO BE FIELD VERIFIED.
9. SEE EXTERIOR ELEVATIONS FOR EXTERIOR WINDOW TYPES & LOCATIONS.
10. ALL MASONRY DIMENSIONS ARE NOMINAL U.N.O.
11. DOOR JAMBS SET 4" FROM FACE OF ADJACENT WALL TYP. U.N.O.
12. ENCLOSE ALL EXPOSED DUCTS, PIPES CONDUITS, ETC. IN FINISHED SPACE WITH CONSTRUCTION & FINISH TO MATCH ADJACENT CONSTRUCTION U.N.O.
13. PROVIDE ACCESS DOORS OF APPROPRIATE SIZE, TYPE & FIRE RATING FOR ALL CONCEALED ITEMS THAT ARE REQUIRE ADJUSTMENT, MAINTENANCE, MONITORING, ETC. COORDINATE LOCATIONS WITH ARCHITECT.
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FLOOR PLAN LEGEND

- |   |  |   |                             |
|---|--|---|-----------------------------|
|  | WALL / PARTITION - COORDINATE WITH PARTITION SCHEDULE                                |  | MIRROR                      |
|  | NEW DOOR - SHOWN WITH DOOR TAG. LOCATE HINGE OF DOOR 6" FROM PERPENDICULAR WALL, UNO |  | MARKER BOARD                |
|  | EXISTING DOOR - SHOWN WITHOUT DOOR TAG   |  | CORK TACK BOARD             |
|  | FIRE EXTINGUISHER CABINET  |  | 2 HR RATED FIRE BARRIER     |
|  | WALL CORNER GUARD  |  | 1 HR RATED FIRE BARRIER     |
|   |  |  | 1/2 HR RATED FIRE PARTITION |



DAVIDSON

100 Nelson Lane

Richardson Hall  
Interior Renovation

Code 0000 / Item 000 / File 000000

TAG	DESCRIPTION	DATE
	VE MODIFICATIONS	02.22.2019

Project: 18DAV200  
Drawn By: KMF  
Checked By: JLM  
Date: FEB 22, 2019  
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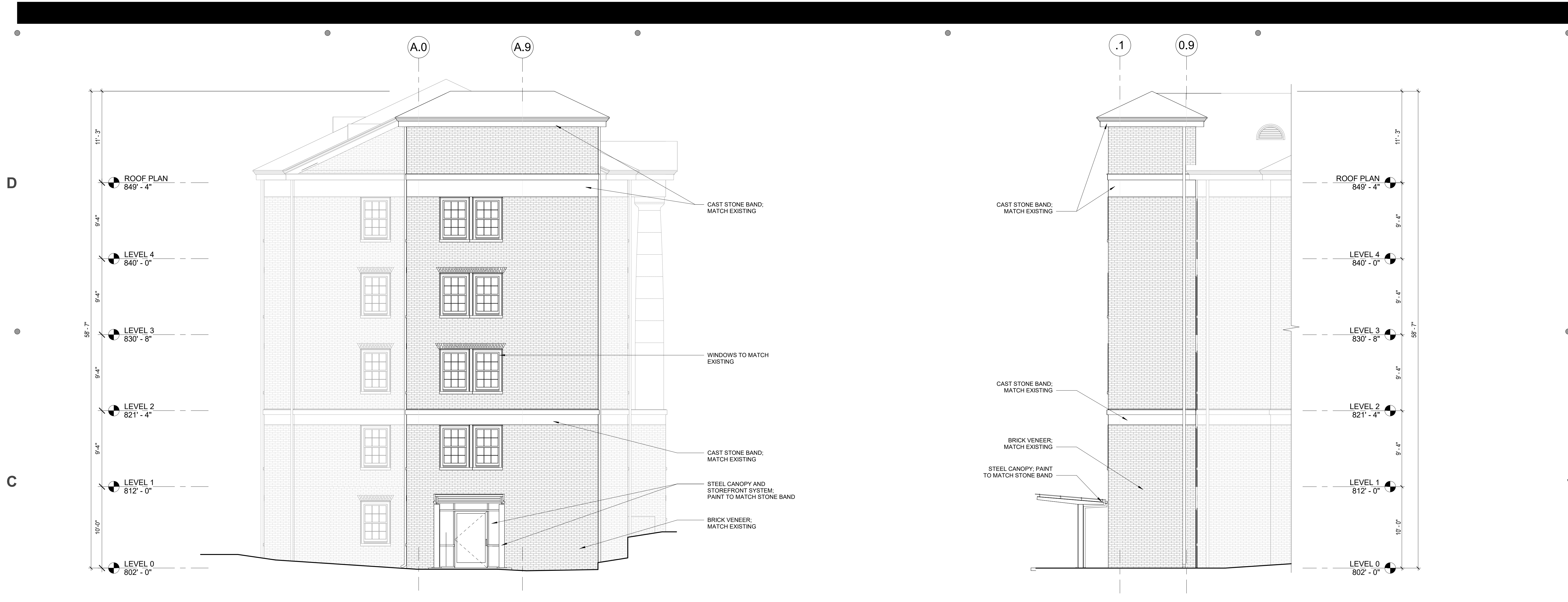
FLOOR PLANS



SCHEMATIC  
DESIGN

A-102

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C5 LEFT ELEVATION  
3/16" = 1'-0"

C3 FRONT ELEVATION  
3/16" = 1'-0"



A5 REAR ELEVATION  
3/16" = 1'-0"

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DAVIDSON

405 N. Main Street

Richardson Hall  
Elevator Addition

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EXTERIOR  
ELEVATIONS

SCHEMATIC  
DESIGN

A-201





BEFORE WINDOW REPLACEMENT



AFTER WINDOW REPLACEMENT



# **RICHARDSON HALL INTERIOR RENOVATION**

**Jenkins • Peer** *Architects*

**DAVIDSON**  


D

C

B

A



1 FRONT DEMOLITION ELEVATION  
1/8" = 1'-0"



2 FRONT ELEVATION  
1/8" = 1'-0"

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Richardson Hall  
Interior Renovation

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EXTERIOR  
ELEVATIONS



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DESIGN

A200

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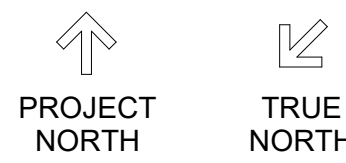
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FLOOR PLANS



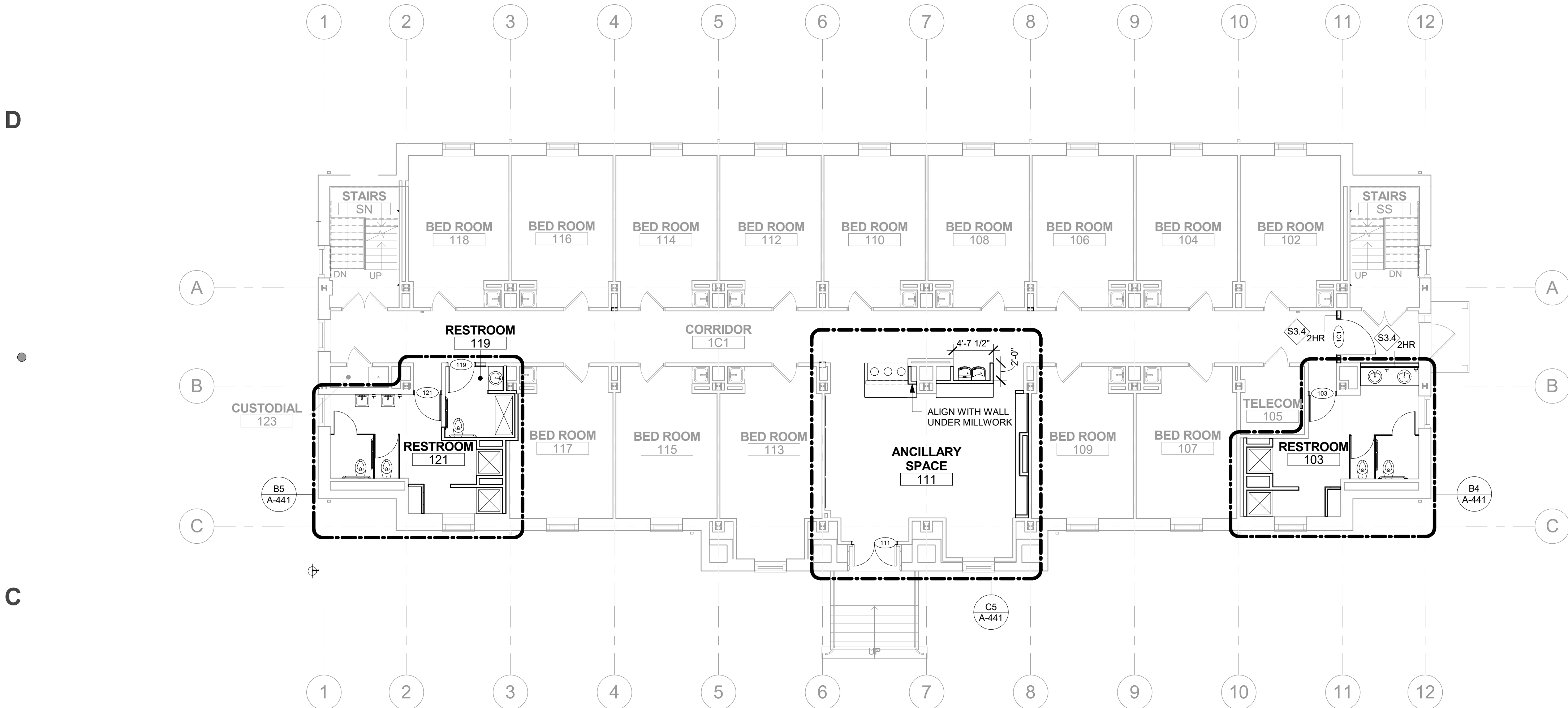
SCHEMATIC  
DESIGN

A-101

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**FLOOR PLAN LEGEND**

	WALL / PARTITION - COORDINATE WITH PARTITION SCHEDULE		MIR MIRROR
	NEW DOOR - SHOWN WITH DOOR TAG. LOCATE HINGE OF DOOR 6" FROM PERPENDICULAR WALL, UNO		MB MARKER BOARD
	EXISTING DOOR - SHOWN WITHOUT DOOR TAG		TB CORK TACK BOARD
	FIRE EXTINGUISHER CABINET		2 HR RATED FIRE BARRIER
	CG WALL CORNER GUARD		1 HR RATED FIRE BARRIER
			1/2 HR RATED FIRE PARTITION



C5FIRST FLOOR PLAN

1/8" = 1'-0"



A5BASEMENT FLOOR PLAN

1/8" = 1'-0"

5

4

3

2

1





BEFORE SASH REPLACEMENT



AFTER SASH REPLACEMENT

D

C

B

A



1 FRONT DEMOLITION ELEVATION  
1/8" = 1'-0"



2 FRONT ELEVATION  
1/8" = 1'-0"

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**EXTERIOR  
ELEVATIONS**



**SCHEMATIC  
DESIGN**

**A200**

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