

Town of Davidson, NC
Design Review Board: Staff Analysis
April 17, 2019

Project: Accessory Structure (over 650 square feet)
Location: 138 Meadowbrook Ln.
Applicant: Brent and Rachelle Zande
Designer: KP (Kevin Simon)
Planning Area: Village Infill

The applicant would like to construct a detached garage in the rear yard at 138 Meadowbrook Lane. There is an existing house on the property.

At 826 square feet (including the covered porch), the footprint of the proposed detached garage is in excess of 650 square feet requiring Design Review Board approval.

The proposed garage will be constructed with materials/colors to match the existing home on site, including light gray brick, hardi board and hardi plank. Trim will be a darker gray color and the roof will be charcoal gray (see color samples below). The structure will be two stories with a height of 24' from garage floor to ridge.

Lighting is not shown on the garage elevations, however the structure will have two sconce lights, one on each side of the garage door on the front elevation. Sconce lights will match lights on the home (see sconce lighting example below). Additional recessed lighting will be located on the left side of the structure in the ceiling above the covered porch. Flood lights shown on the electrical first floor plan on page four of the plans are inaccurate. There will be no flood lights on the structure.

Proposed Color Scheme for Detached Garage:

ROOF



Charcoal Gray

SAMPLE



BRICK

**SW 7671
On the Rocks**

Interior / Exterior
Locator Number: 255-C7

TRIM

**SW 7650
Ellie Gray**

Interior / Exterior
Locator Number: 239-C6

Existing Sconce Lighting on Home:



DAVIDSON PLANNING ORDINANCE:

Section 4.5.8 Accessory Structures

B. Size of Accessory Structure

- 1. In the Rural Reserve and Rural Planning Areas, on lots over two acres where the proposed accessory structure is located more than 150 feet from the right-of-way or is not otherwise visible from the right-of-way, the footprint of an accessory structure shall not exceed 1,200 square feet. In all planning areas, except the Rural Reserve and Rural Planning Areas, the footprint of an accessory structure must not exceed 650 square feet or 30% of the footprint of the principal building (up to a maximum of 900 square feet), whichever is greater.*
- 2. Any accessory structure over 650 square feet of first floor area and all accessory structure ancillary to non-residential building types shall be reviewed by the Design Review Board, in accordance with the procedures in Section 14.*

Section 4.4.1 General Building Design Standards

E. Materials

- 1. Materials shall be selected for suitability to the type of building and design for which they are used.*
- 4. Building materials and colors shall be:*
 - a. Complementary to the materials already being used in the neighborhood.*

F. Architectural Details

- 1. Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.*
- 4. Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*



Design Review

GARAGE STRUCTURE 138 MEADOWBROOK LN
(Name of Project)

Development Process

Date Completed	Outline of Steps & Checklist
_____	<input type="checkbox"/> 1. Initial Meeting
_____	<input type="checkbox"/> 2. Application and Fee
_____	<input type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
_____	<input type="checkbox"/> 4. Planning Director Site Schematic Design Review
_____	<input type="checkbox"/> 5. Design Review Board Approval
_____	<input type="checkbox"/> 6. Building Construction Documents
_____	<input type="checkbox"/> 7. Site and Landscape Construction Documents
_____	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
_____	<input type="checkbox"/> 9. Building Permit Approval
_____	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
	<input type="checkbox"/> 12. Certificate of Occupancy

* For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.



Design Review

GARAGE STRUCTURE 138 MEADOWBROOK LN
(Name of Project)

Application Requirements

Date Received

- ☐ Application Fee per Town of Davidson Fee Schedule
- ☐ Contact Information
- ☐ General Statement of Intent
(Use, building type, approx. square footage, height, design features)
- ☐ Statement of Compliance with Section 2
- ☐ Master Plan or Conditional Planning Area
(Including all documents, plans, maps, and conditions of approval)
- ☐ Environmental Inventory in accordance with Section 14.15.1
(Including adjacent properties and buildings)
- ☐ General Description
(Including a description and color photographs to existing / adjacent site)
- ☐ Site Schematic Design in accordance with Section 14.15.7
- ☐ Building Schematic Design in accordance with Section 14.15.3
(Including rendered elevations of each façade per 14.15.3 C)
- ☐ Landscape Schematic Design in accordance with Section 14.15.5
- ☐ Building Perspective
- ☐ Building Materials/Colors
(Roofing, siding, doors, windows, etc.)

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

[Signature]
Applicant's Signature

3-2-2019
Date



Design Review

GARAGE STRUCTURE 138 MEADOWBROOK LN
(Name of Project)

Contact Information

Applicant's Information

Name: BRENT & RACHELLE ZANDE
E-Mail: BRENT.ZANDE@GMAIL.COM
Mailing Address: 138 MEADOWBROOK LANE
DAVIDSON, NC 28036
Business Phone: — Mobile Phone: 704.363.6390

Property Owner's Information

(If Different from Applicant)

Name: A.S. ABOVE
E-Mail: _____
Mailing Address: _____
Business Phone: _____ Mobile Phone: _____

Architect's Information

Name of Firm: HOUSE PLANS BY KP
Architect's Name: KEVIN SIMON
E-Mail: KEVINPSIMON@MIS.COM
Mailing Address: _____
Business Phone: _____ Mobile Phone: 903-880-6636



Design Review

GARAGE STRUCTURE 138 MEADOWBROOK LN
(Name of Project)

Project Description

Application Date: 3-5-19

Project Location: 138 MEADOWBROOK LN DAVIDSON NC 28036

Tax Parcel(s): 00705210

Planning Area: _____

Overlay District: _____

Master or Cond. Plan
(Attach Conditions of Approval) _____

Gen. Statement of Intent: BUILD GARAGE STRUCTURE WITH LIVING SPACE ABOVE

Project Details:

• Project Type:

☒ Individual Bldg. ☐ Master Plan ☐ Conditional Planning Area

☐ Sign

• Building Type:

☐ Detached House ☐ Townhouse ☐ Attached House (Tri- or Quadplex)
☐ Institutional ☐ Live/Work ☐ Multi-family (Apts., Condos, Flats)
☐ Workplace ☐ Storefront ☒ Accessory Structure

• Use(s):

PARKING AND LIVING SPACE ABOVE

• Height & Stories:

2 STORIES 24' FROM GARAGE FLOOR TO RIDGE

• Square Footage:

GARAGE 633 SF - LIVING 712 SF COVERED 114 SF

• Building Materials:

BRICK, HARD BOARD, HARD PLANK

Architectural

Features:

MATCHING RESIDENCE

COVERS PROVIDED

Existing Site

Conditions:

See 14.12.2.D

2 LARGE TREES REAR OF GARAGE

WHICH WE WISH TO SAVE BY

ALTERED PLACEMENT OF GARAGE CLOSER TO HOME.

- ☐ **Planning Ordinance**
<http://www.townofdavidson.org/1006/Planning-Ordinance>
(Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)

☐ **Section 2 Planning Areas**

<input type="checkbox"/> Permitted Use/Add'l Req.	<input type="checkbox"/> Not Permitted
<input type="checkbox"/> Permitted Building Type	<input type="checkbox"/> Not Permitted
<input type="checkbox"/> Meets Setback Criteria	<input type="checkbox"/> Does Not Meet
<input type="checkbox"/> Meets Open Space Criteria	<input type="checkbox"/> Does Not Meet
<input type="checkbox"/> Meets Density Criteria	<input type="checkbox"/> Does Not Meet

☐ **Section 4 Design Standards**

 - ☐ General Site Design Criteria (4.3)
 - ☐ General Building Design Criteria (4.4)
 - ☐ Specific Building Type Criteria (4.5)
 - ☐ Existing Industrial Campuses Criteria (4.6)
 - ☐ Renovation of Existing Structures Criteria (4.7)

☐ **Section 8 Parking & Driveways**

☐ **Section 9 Tree Preservation, Landscaping & Screening**

☐ **Section 10 Lighting**

☐ **Section 22 Local Historic District Guidelines**

138 Meadowbrook Ln – Existing Conditions

1. Existing Site (left side of existing home)

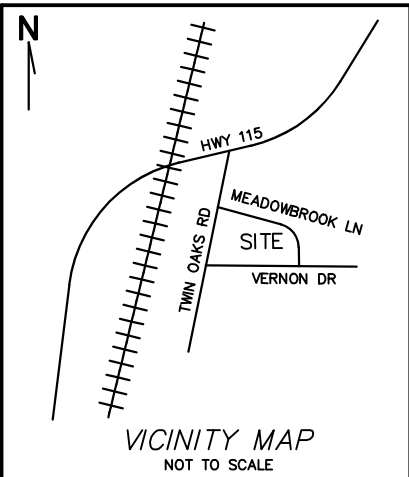


2. Existing Site (front of existing home)



3. Existing Site (right side of existing home)



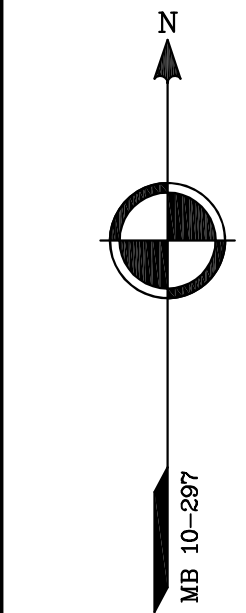


- NOTES:
- 1) Area determined by Coordinate Computation Method.
 - 2) Property subject to any facts that may be disclosed by a full and accurate title search.
 - 3) Property may be subject to any Restrictions, Easements, and/or Right of Ways of record and those not of record if they exist.
 - 4) Subject Property is NOT located in a Special Flood Hazard Area as designated by the FEMA FLOOD INSURANCE RATE MAPS. See Map Number 3710464300J - Effective Date 3/2/2009.
 - 5) No Geodetic Monument found within 2000' of Subject Property.
 - 6) Subject Property Zoning = VIP (Village Infill)
 - 7) Setbacks shown per Davidson Planning Ordinance Table 2-12
Front = 30' as shown per MB 10-297
Rear = 20'
Side = Total of both side setbacks shall be equal or greater to 30% of lot width at front building line.
 $199.19' \times 0.30 = 60' \text{ TOTAL}$

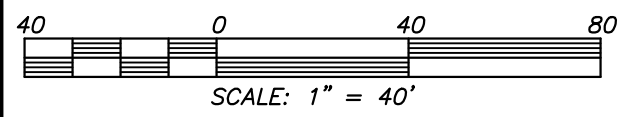
CURVE TABLE					
NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	35°24'07"	61.79'	100.00'	S59°09'56"E	60.81'

5/23/2017 - PROPOSED ADDITION
7/31/2018 - PROPOSED GARAGE
I, Thomas E. Williams, certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed description recorded in Book 26973, Page 124, or other reference source AS NOTED); that the boundaries not surveyed are shown as broken lines drawn from information found in adjoining deeds and plats as noted; that the ratio of precision is 1 : 10,000+; and that this plat meets the requirements of The Standards of Practice for Land Surveying in North Carolina according to North Carolina Administrative Code Title 21, Chapter 56, Section 1600.
This survey is of an existing parcel or parcels of land and does not create a new street or change an existing street.

This 17th day of March, 2017.
Thomas E. Williams
Thomas E. Williams, NCPLS 4718

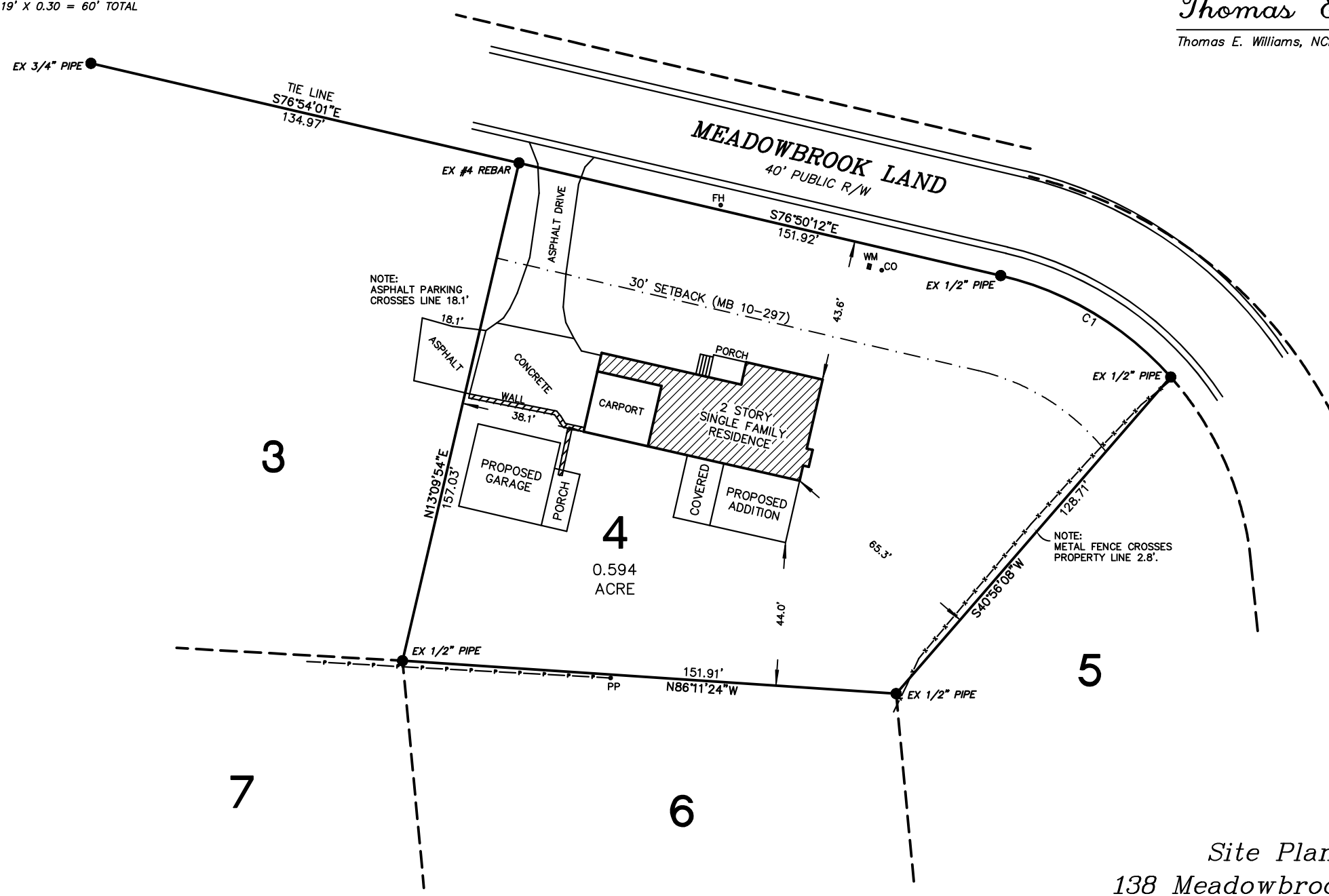


- LEGEND
- PROPERTY LINE (P/L)
 - RIGHT OF WAY (R/W)
 - TIE LINE
 - ADJOINING PROPERTY LINE FROM DEED OR PLAT
 - FENCE
 - POWER LINE
 - EX EXISTING
 - PP POWER POLE
 - WM WATER METER
 - CO SEWER CLEANOUT
 - CONC CONCRETE
 - FH FIRE HYDRANT



NOTE: IRON STAKES AND MONUMENTS AS SHOWN (●), ALL OTHERS CALCULATED POINTS (○).
Williams Land Surveying, Inc.
License Number C-3638
274 Baymount Drive, Statesville, NC 28625
phone:(704) 876-3996 ~ email:runningonfaith@bellsouth.net
file: 17\TERACRE4

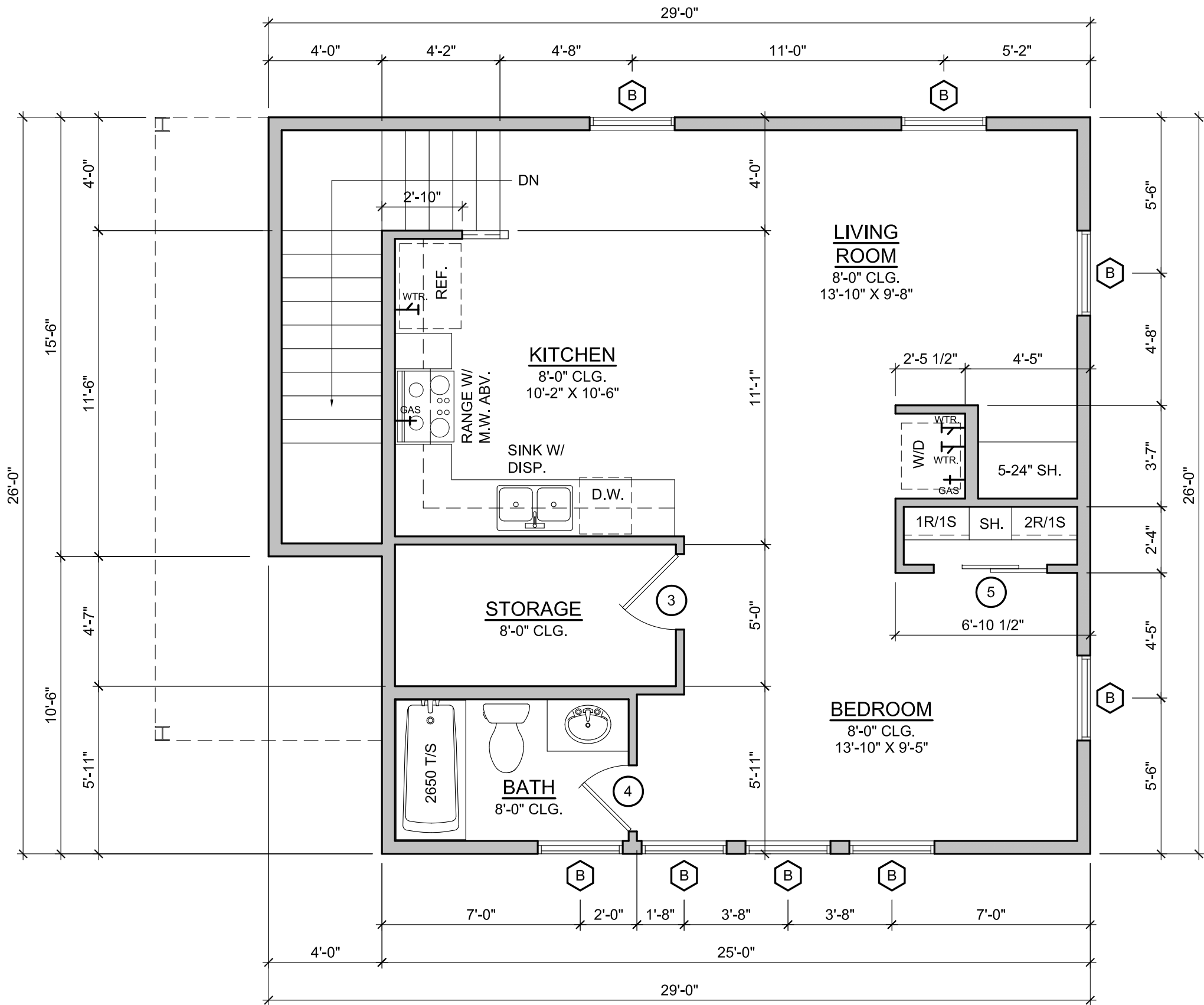
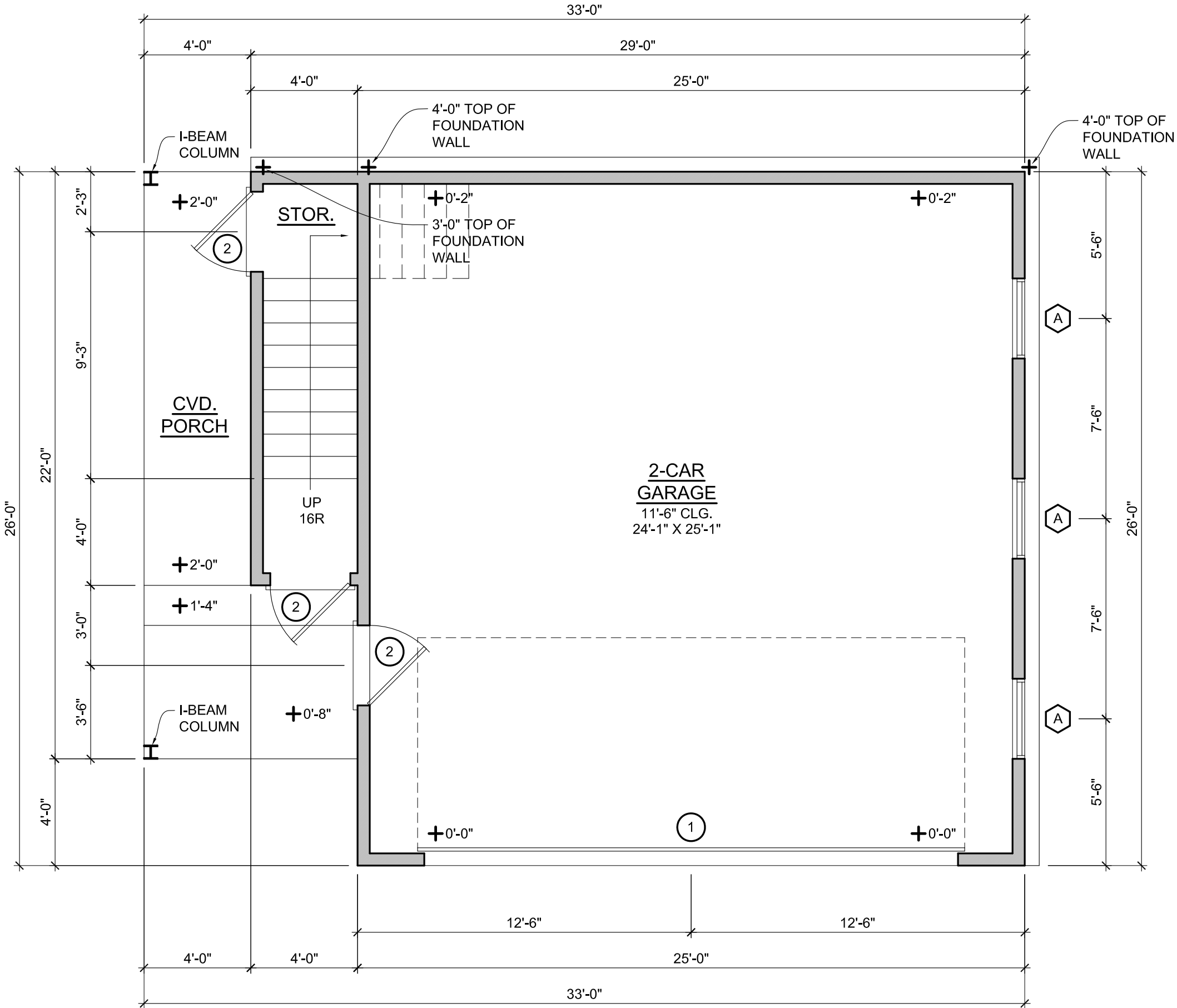
AREA SUMMARY
LOT 4
0.594 ACRE
25,867 S.F.



Site Plan
138 Meadowbrook Lane
TERRACE ACRES
BLOCK A - LOT 4

Town of Davidson, Mecklenburg County, NC
Parcel# 00705210 ~ DB 31733-604 ~ MB 10-297
Property of: Rachelle Thompson & Brent Zande

- GENERAL NOTES:
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL HURRICANE STRAPPING, ANCHOR BOLTS, TIES, SHEAR WALLS, ETC., AS REQUIRED BY THE CURRENT INTERNATIONAL RESIDENTIAL BUILDING CODE (I.R.C.) AND ALL AUTHORITIES HAVING JURISDICTION.
 - THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL PERMITS, DRAWING REVIEWS, INSPECTIONS, ETC. AS REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION PRIOR TO ANY WORK.
 - ANY REFERENCE TO FOUNDATION WORK WITHIN THESE DRAWINGS SHALL BE USED AS A REFERENCE ONLY. ALL FOUNDATION DESIGN SHALL BE PERFORMED BY A LICENSED ENGINEER. THE OWNER SHALL OBTAIN A SOILS ANALYSIS, REPORT AND RECOMMENDATION FROM A LICENSED ENGINEER AND PROVIDE COPIES TO THE CONTRACTOR AND THE FOUNDATION ENGINEER PRIOR TO CONSTRUCTION.
 - ALL STRUCTURE SHOWN ON THE ARCHITECTURAL SHEETS FOR THIS RESIDENTIAL PROJECT ARE FOR DESIGN INTENT ONLY. FOR ACTUAL DETAILS, SIZES AND DIMENSIONS OF STRUCTURAL ELEMENTS, SEE STRUCTURAL DRAWINGS PROVIDED BY CONTRACTOR PREPARED BY LICENSED STRUCTURAL ENGINEER. THIS INCLUDES SIZES OF INTERIOR JOISTS, BEAMS, WALL CONSTRUCTION, FOUNDATION DESIGN, PIERS, GIRDERS, AND ANY TRUSSES REQUIRED FOR THIS PROJECT. ANY ALTERATION TO JOIST SIZE, SPACING OR SPAN MUST BE APPROVED BY LICENSED STRUCTURAL ENGINEER PRIOR TO START OF CONSTRUCTION.
 - ALL PLAN DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
 - ALL TOILET & LAUNDRY WET WALL FRAMING SHALL BE 2X6 MIN.
 - VERIFY FINAL APPLIANCE AND ROOM FINISH SELECTIONS WITH OWNER.
 - VERIFY WINDOW SIZE, HEADER, AND LITE DIVISION PRIOR TO ORDERING UNITS. ALL WINDOWS SHALL BE A MINIMUM 1/2" THICK INSULATED LOW-E WINDOW UNITS WITH SGHC OF 39 OR LESS.
 - AIR CONDITIONING UNITS LOCATED IN ATTIC SET IN A GALVANIZED IRON SAFETY PAN WITH DRAIN TO SOFFIT. VERIFY SIZE AND LOCATION WITH MECHANICAL CONTRACTOR.
 - WATER HEATERS LOCATED IN ATTIC IN 3' X 3' X 6" GALVANIZED IRON SAFETY PAN WITH DRAIN TO EXTERIOR. VERIFY SIZE AND LOCATION WITH PLUMBING CONTRACTOR.
 - PROVIDE 3/4" PLYWOOD FLOORING AT ATTIC. VERIFY AMOUNT AND LOCATION WITH OWNER.
 - LAYOUT FOUNDATION FROM ARCHITECTURAL DRAWINGS ONLY!!!
 - VERIFY FINISHED FLOOR ELEVATIONS PRIOR TO POURING SLAB.
 - SLOPE FLOOR AT GARAGE, PORCHES, ETC. AS INDICATED ON PLANS.
 - ANY ALTERATION OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF DESIGNER VOIDS ANY LIABILITY PERTAINING TO THESE CHANGES OR WHAT THEY MAY AFFECT.
 - CONTRACTOR SHALL COORDINATE A/C - HEATING SYSTEM WITH MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION. VERIFY JOIST SPACING AND DIRECTION OF SPAN WITH DUCT ROUTE REQUIREMENTS PRIOR TO CONSTRUCTION.
 - ALL PLUMBING VENTS ARE TO BE ROUTED TO THE REAR ROOFS AND SHALL NOT BE VISIBLE FROM THE STREET. PAINT EACH TO MATCH THE ROOF.



DOOR SCHEDULE

MARK	SIZE	DESCRIPTION	QTY.
1	20'-0" X 7'-0"	EXTERIOR GARAGE DOOR	1
2	3'-0" X 6'-8"	EXTERIOR RAISED PANEL DOOR	3
3	2'-8" X 6'-8"	INTERIOR RAISED PANEL DOOR	1
4	2'-4" X 6'-8"	INTERIOR RAISED PANEL DOOR	1
5	4'-0" X 6'-8"	INTERIOR RAISED PANEL SLIDING DOOR	1

- OPENING NOTES:
- VERIFY ALL FINISHES, DOOR STYLES & MATERIALS W/ OWNER PRIOR TO BIDDING.
 - ALL GLASS IN DOORS SHALL BE TEMPERED

WINDOW SCHEDULE

MARK	SIZE	HDR. HT.	DESCRIPTION	QTY.
A	3'-0" X 6'-0"	9'-10" A.F.F.	VINYL 1 LITE SINGLE HUNG WINDOW, 1/2" INSULATED LOW "E"	3
B	3'-0" X 6'-0"	7'-0" A.F.F.	VINYL 1 LITE SINGLE HUNG WINDOW, 1/2" INSULATED LOW "E"	8

- WINDOW NOTES:
- VERIFY ALL FINISHES & MATERIALS PRIOR TO BIDDING.
 - ALL WINDOWS SHALL BE 1/2" LOW "E" INSULATED WINDOWS.
 - ALL WINDOWS AT BEDROOMS SHALL MEET THE MINIMUM EGRESS OPENING REQUIREMENTS OF THE I.R.C. THE GENERAL CONTRACTOR SHALL VERIFY THE UNITS MEET THESE REQUIREMENTS PRIOR TO ORDERING. PROVIDE LARGER UNITS WHERE REQUIRED.
 - PROVIDE TEMPERED GLASS FOR ALL GLASS UNIT LESS THAN 18" A.F.F. AND WITHIN 24" OF ANY DOOR. CONTRACTOR AND SUPPLIER SHALL VERIFY AND MEET ALL WINDOW AND GLASS REQUIREMENTS WITH THE CURRENT INTERNATIONAL RESIDENTIAL BUILDING CODE (I.R.C.) FOR ALL INSTALLED WINDOW UNIT SYSTEMS.

SQUARE FOOTAGE:

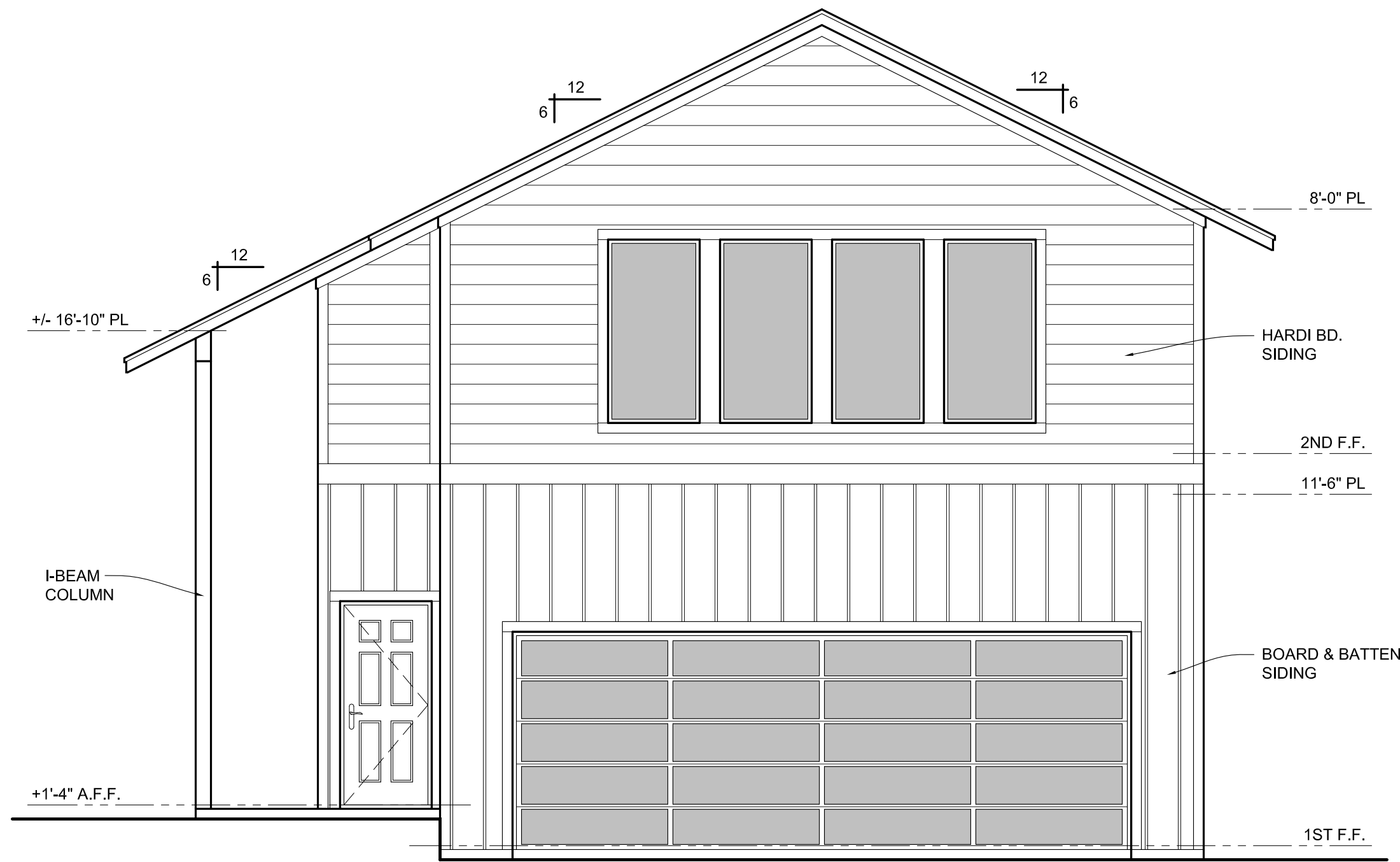
FIRST FLOOR LIVING	69 SF
SECOND FLOOR LIVING	633 SF
TOTAL LIVING:	702 SF
CVD. PORCH	114 SF
2-CAR GARAGE	643 SF
TOTAL AREA UNDER ROOF:	1,459 SF

Kevin Simon
903.880.6636
kevinsimon@me.com

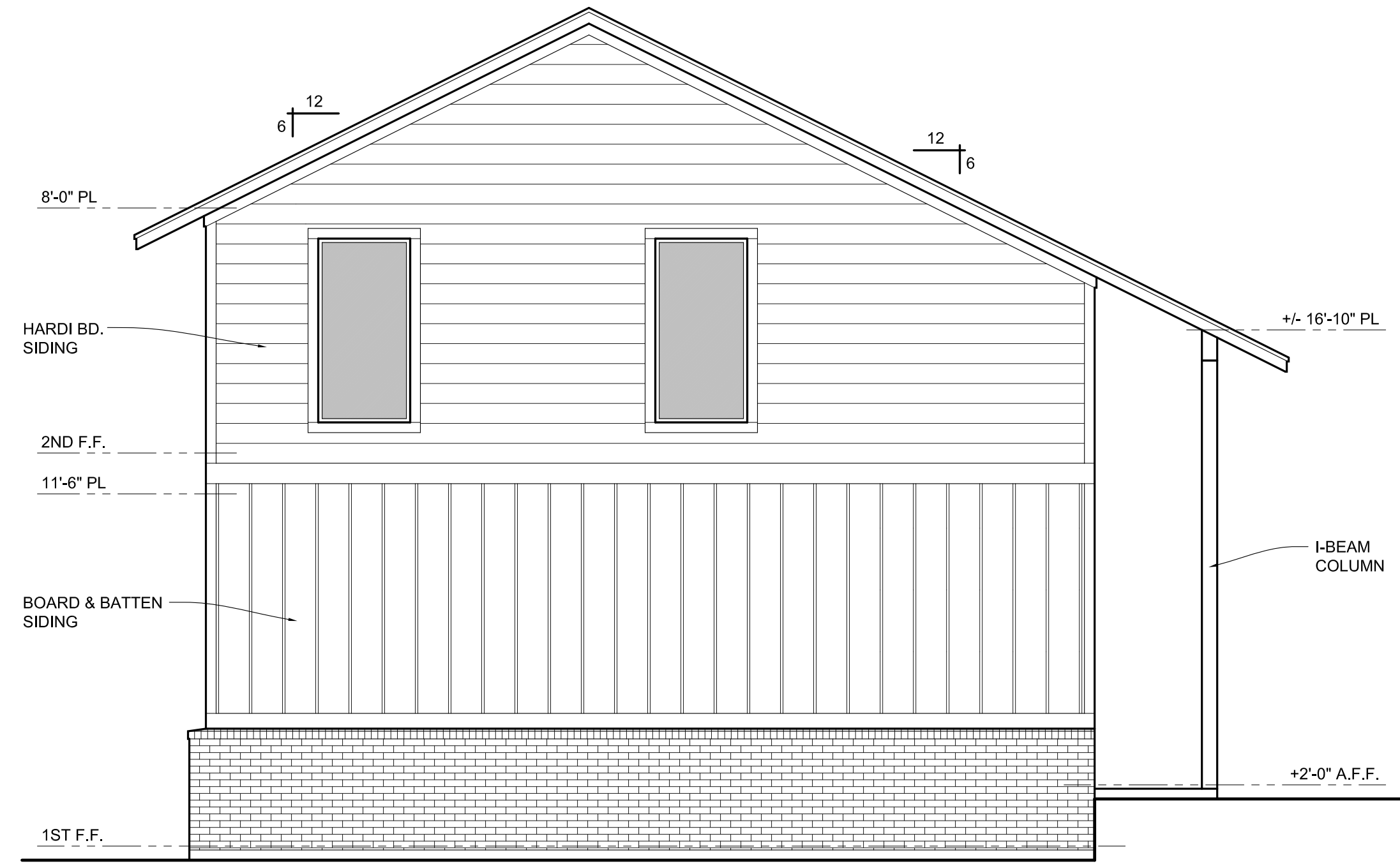
A NEW GARAGE ADDITION FOR:
138 MEADOWBROOK LANE
TERRACE ACRES - LOT 4 BLOCK A
DAVIDSON, NC 28036

DATE
11/07/18
SCALE
AS NOTED
SHEET

A1



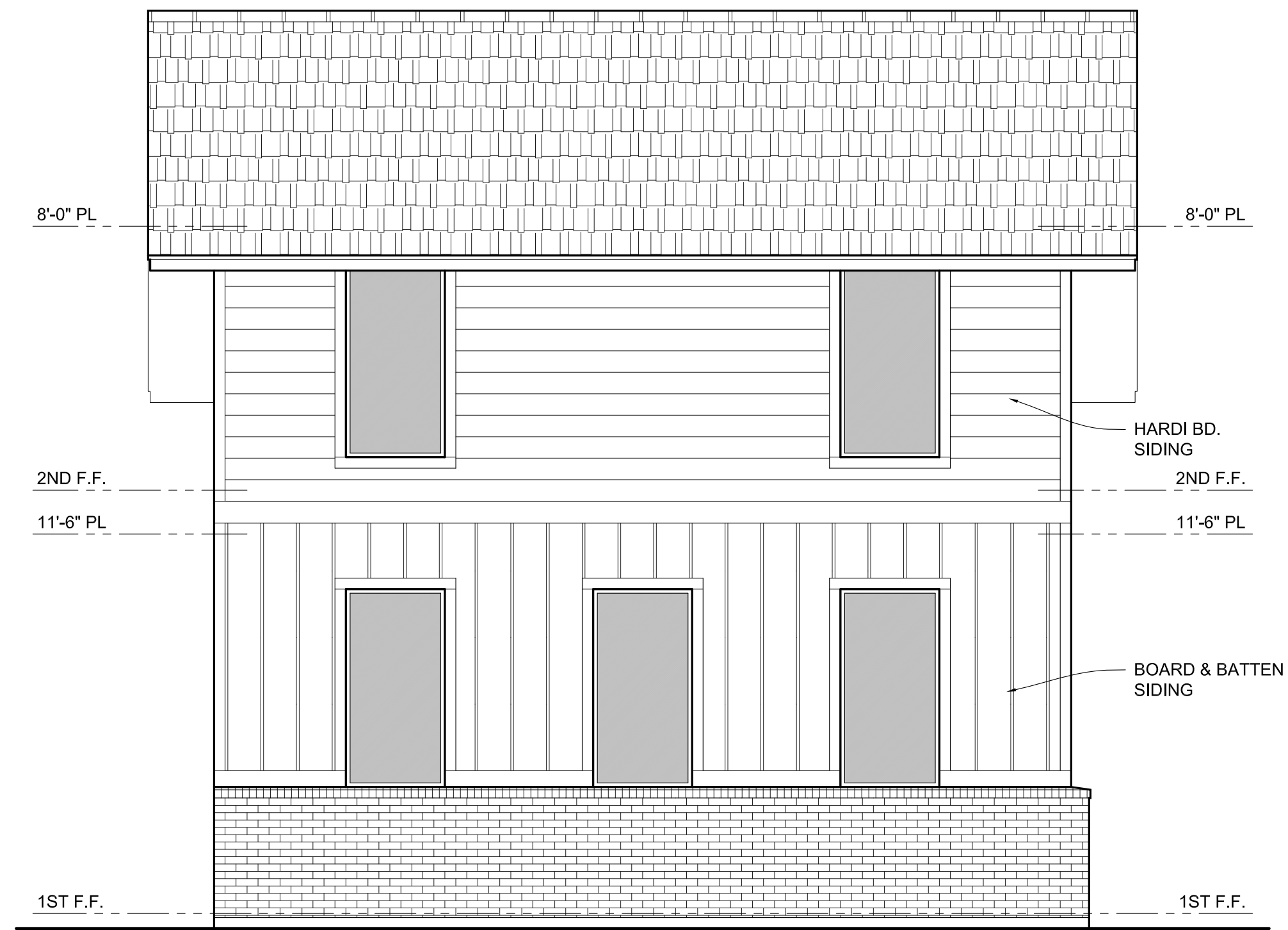
1 FRONT ELEVATION
A2 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
A2 SCALE: 1/4" = 1'-0"

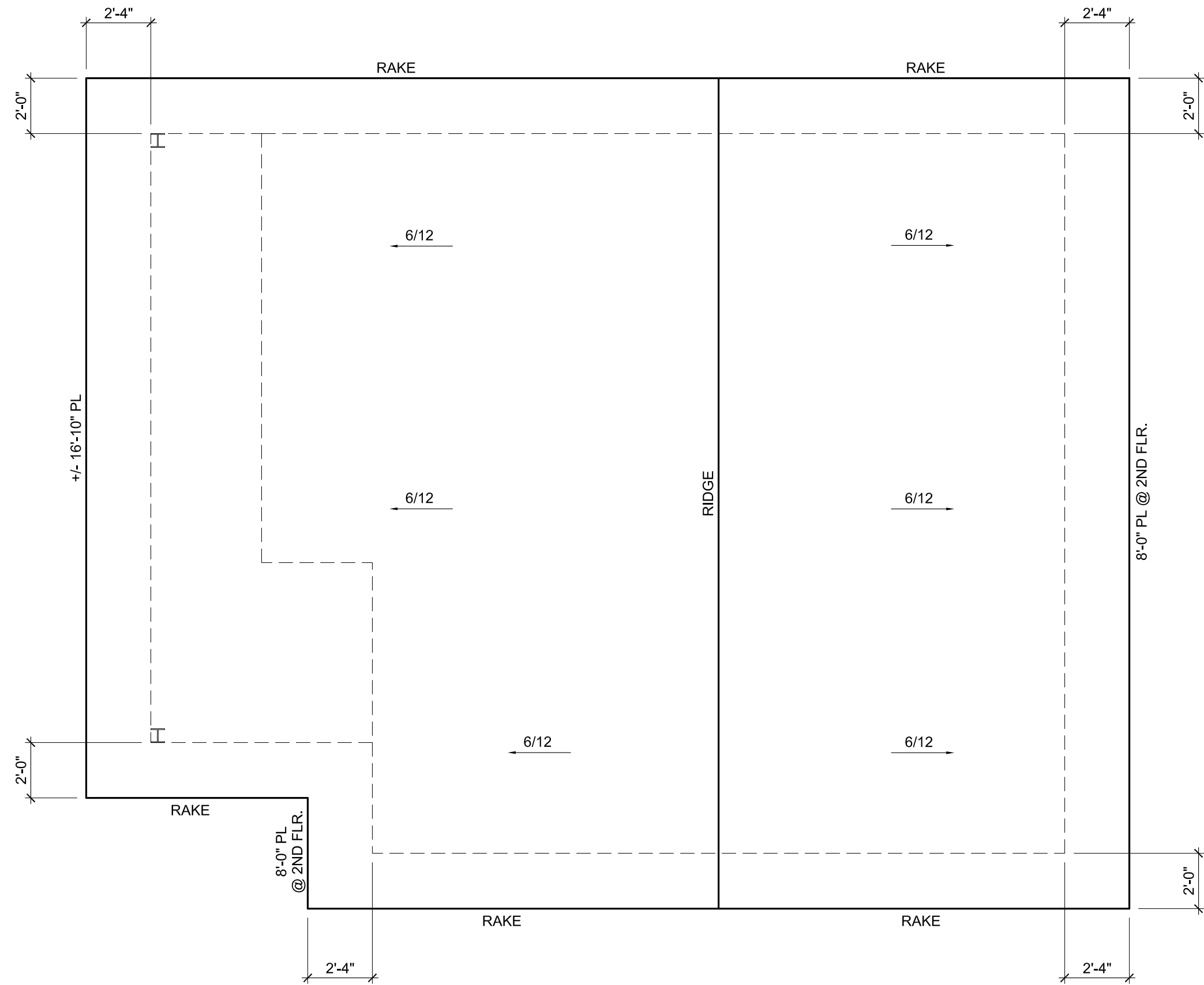


3 LEFT ELEVATION
A2 SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION
A2 SCALE: 1/4" = 1'-0"

A NEW GARAGE ADDITION FOR:
138 MEADOWBROOK LANE
TERRACE ACRES - LOT 4 BLOCK A
DAVIDSON, NC 28036

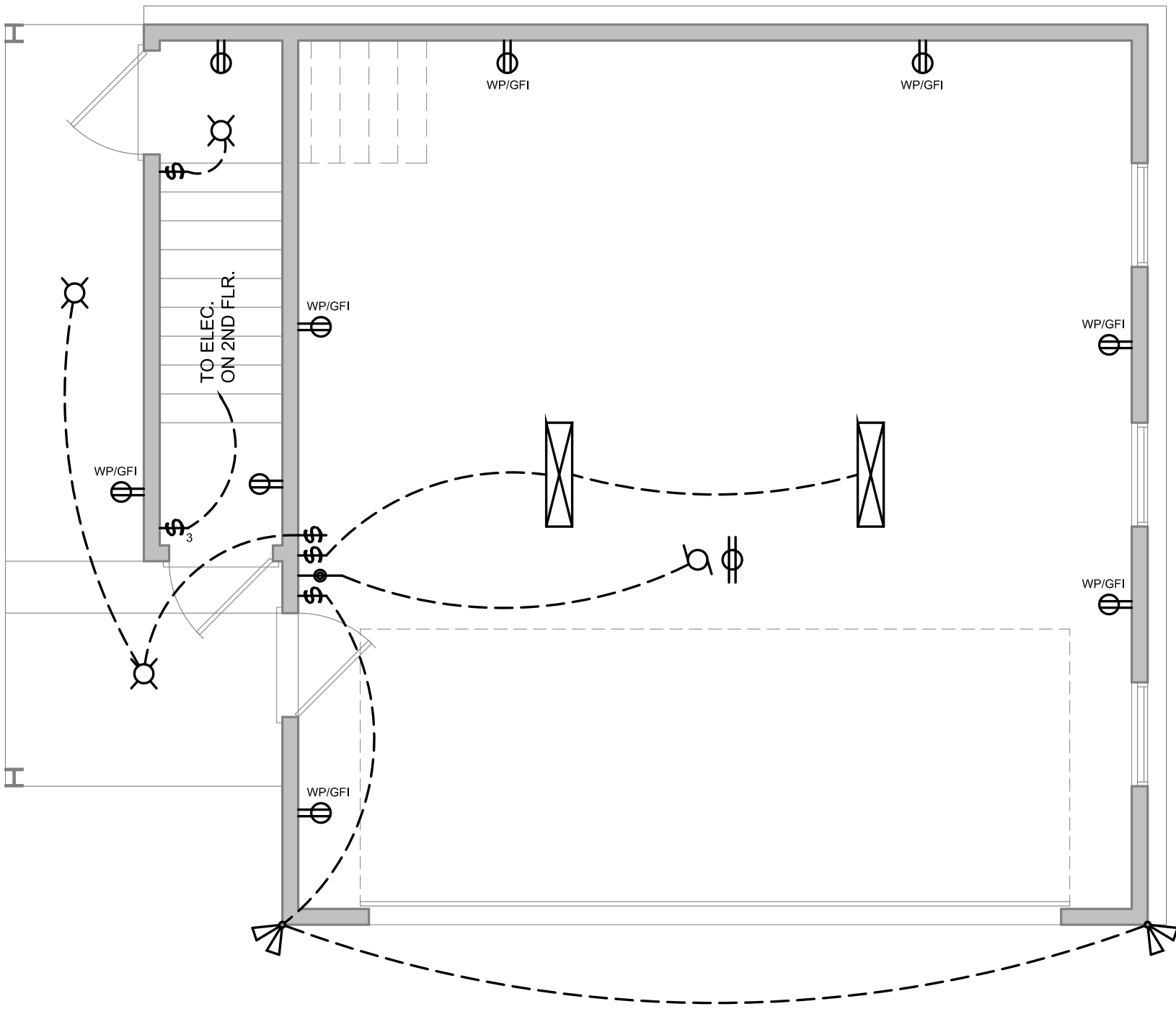


1

ROOF PLAN

SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL 1-HR. FIRE RATE ALL SOFFITS
WHICH EXTEND BEYOND THE BUILDING SETBACKS.
VERIFY ON JOB.

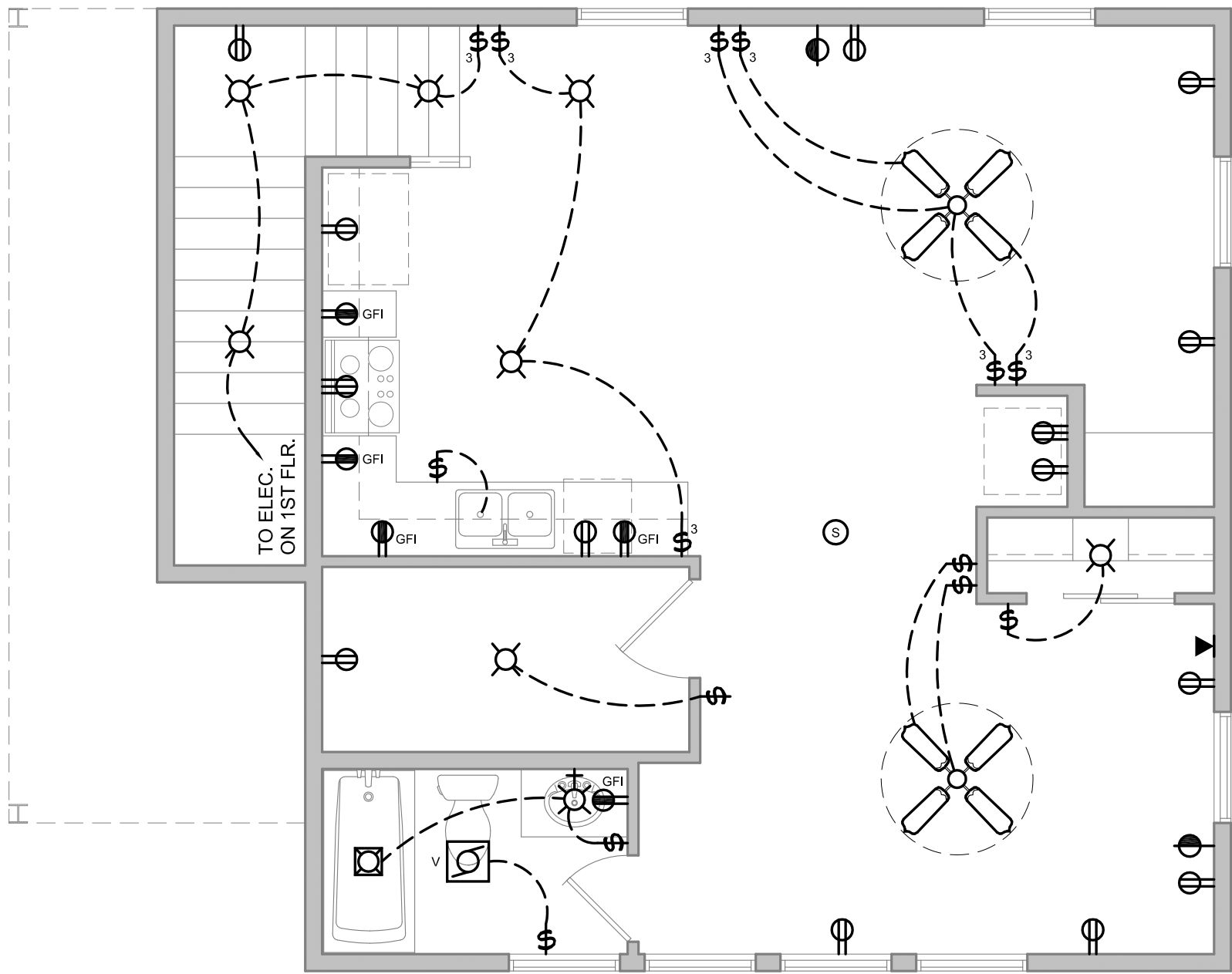


1

ELECTRICAL FIRST FLOOR PLAN

A4

SCALE: 1/4" = 1'-0"



2

ELECTRICAL SECOND FLOOR PLAN

A4

SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS	
	CEILING FAN W/ LIGHT FIXTURE
	110V DBL. RECEPTACLE
	GROUND FAULT INTERRUPT RECEPTACLE
	GROUND FAULT INTERRUPT RECEPTACLE @ COUNTERTOP HEIGHT
	WATERPROOF OUTLET
	220V RECEPTACLE
	110V CEILING RECEPTACLE
	110V FLOOR RECEPTACLE (VERIFY IN FIELD)
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	DIMMER SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE (EYEBALL)
	ELECTRIC MOTOR
	VENT / LIGHT
	HEAT / VENT / LIGHT
	FLUORESCENT LIGHT FIXTURE
	FLOOD LIGHT
	C.A.T.V. OUTLET
	TELEPHONE OUTLET
	DOOR CHIMES
	PUSH BUTTON
	THERMOSTAT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	UNDER CABINET LIGHT FIXTURE

- ELECTRICAL NOTES:
- ALL ELECTRICAL INSTALLATION SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND ALL STATE AND LOCAL CODES. ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OR APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
 - GROUND FAULT INTERRUPT SHALL BE PROVIDED AT ALL RECEPTACLES LOCATED IN BATHROOMS, EXTERIOR, GARAGE, OR WITHIN 5'-0" OF ANY SINK OR TUB.
 - VERIFY WITH OWNER AS TO LOCATIONS OF EXTERIOR LIGHTING AND SWITCHING LOCATIONS.
 - PROVIDE AT LEAST ONE SMOKE DETECTOR ON EVERY LEVEL, IN EACH SLEEPING AREA, AND OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM, MAXIMUM 12 FEET. SMOKE DETECTORS SHALL BE HARD WIRED, INTER-CONNECTED AND WITH BATTERY BACKUP AS PER IRC R317.1.