TOWN OF DAVIDSON
DESIGN REVIEW BOARD
216 S Main St, Davidson, NC

April 19, 2017

I. CALL TO ORDER

II. SILENT ROLL CALL

III. CHANGES TO THE AGENDA

IV. REVIEW/APPROVAL OF THE MINUTES

(a) February 15, 2017 DRAFT Minutes

V. NEW BUSINESS

(a) Davidson Commons Facade - Salon Lofts

(b) Farm2Family Canopy Sign

(c) The Stewart Group - Projecting and Door Signs

(d) Ben & Jerry's - Walls Signs and Awnings

(e) Pickled Peach - Side Door

(f) Sweet Shop Sign

VI. OLD BUSINESS

(a) Training Update

VII. ADJOURN

Agenda Title: February 15, 2017 DRAFT Minutes

Summary:

ATTACHMENTS:

	Description	Upload Date	Type
	20170215_DRB_Minutes_Draft	4/12/2017	Exhibit

Meeting Minutes
Design Review Board
Town of Davidson, NC
February 15, 2017

A meeting of the Town of Davidson ***Design Review Board*** was held in the Town Hall, Administrative Conference Room, 216 S. Main St.

Call to Order: 7:01 p.m.

Silent Roll Call and Determination of Quorum:

Members Present signified by☒:

☒ Bob Lauer, Chair	☒ Bruce Barteldt	☒ Brian Bumann
☒ John Burgess	☒ Tom Goodwin	☒ Stewart Gray
☒ Mike Kessler	☒ Bob Sipp	

Town Staff Present: Chad Hall (Senior Planner)
Others in Attendance: Glenn Kinken (Davidson United Methodist Church)

Changes to the Agenda: None.

Review/Approval of the Minutes
A motion was made (BS) to approve meeting minutes of January 12, 2017 as drafted. It was seconded (MK) and the motion was approved unanimously.

Consent Item: None

New Business:

1. **Davidson United Methodist Church**
   Located at 266 South Street
   Proposed Columbarium
   Represented by Glenn Kinken (DUMC)

   Chad Hall gave a brief introduction of the project, explaining how the columbarium will fit into the site, how the materials will match the existing church and how the project could be phased.

   Glenn Kinken provided samples of brick and concrete cap and responded to Board questions. Chad also clarified the requirements of this freestanding columbarium as opposed to and attached "wall" concept.

   Questions/Comments from the Board:
   - Could it be relocated? In ground relocation takes an "act of congress" to move.
     - *GK: Yes, but highly unlikely to do so. Above ground should be different.*
   - Will it be phased?
     - *GK: Not intended, but could. If so, ground hardscape will be installed*

all at once.

- Any significance of the ribbon/serpentine brick?
    - *GK: Just a design element. May have inscription or prayer etched.*
- Any lighting?
    - *GK: No.*
- The Board noted that they really appreciated the tree save design and overall thought the project was very attractive.

A motion was made to approve the design as submitted (SG) and seconded (BBarteldt). The motion was approved unanimously.

After reviewing this case, a motion was made (BL) and seconded (MK) to have Brian Bumann rejoin the Board. The motion was approved.

Adjourn: A motion was made to adjourn (BBumann), seconded (MK), and approved unanimously. The meeting was adjourned at 7:17 pm.

Approval of Minutes:

Date: _____ By: _____

Please note: This is a summary of the meeting and not to be considered a complete transcript.

Agenda Title: Davidson Commons Facade - Salon Lofts

Summary:

ATTACHMENTS:

	Description	Upload Date	Type
	Application	4/12/2017	Exhibit
	Statement of Intent	4/12/2017	Exhibit
	Statement of Compliance	4/12/2017	Exhibit
	Architectural Sheets	4/12/2017	Exhibit
	Existing Storefront	4/12/2017	Exhibit
	Proposed Storefront	4/12/2017	Exhibit
	Staff Analysis	4/12/2017	Backup Material

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Design Review

Salon Lofts - Davidson Commons
(Name of Project)

Application Requirements

Date Received		
	☒	Application Fee per Town of Davidson Fee Schedule
	☒	Contact Information
	☒	General Statement of Intent *(Use, building type, approx. square footage, height, design features)*
	☒	Statement of Compliance with Section 2
	☐	Master Plan or Conditional Planning Area N/A *(Including all documents, plans, maps, and conditions of approval)*
	☐	Environmental Inventory in accordance with Section 14.15.1 N/A *(Including adjacent properties and buildings)*
	☒	General Description *(Including a description and color photographs to existing / adjacent site)*
	☐	Site Schematic Design in accordance with Section 14.15.7 N/A
	☒	Building Schematic Design in accordance with Section 14.15.3 *(Including rendered elevations of each façade per 14.15.3 C)* APPLICABLE FACADE ONLY.
	☐	Landscape Schematic Design in accordance with Section 14.15.5 N/A
	☒	Building Perspective
	☒	Building Materials/Colors *(Roofing, siding, doors, windows, etc.)*

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

Michael [signature]
Applicant's Signature

20 March 2017
Date

Design Review

Salon Lofts - Davidson Commons
(Name of Project)

Contact Information

Applicant's Information

Name: SALON LOFTS (ATTN. MICHAEL DECK)

E-Mail: mdeck@salonloftscorp.com

Mailing Address: 226 N. FIFTH ST. SUITE 530
COLUMBUS, OH 43215

Business Phone: (same as mobile) Mobile Phone: (614) 266-0158

Property Owner's Information

(If Different from Applicant)

Name: KIMCO REALTY (ATTN. BEN BRIDGES)

E-Mail: bbridges@kimcorealty.com

Mailing Address: 6060 PIEDMONT ROW DRIVE S. SUITE 200
CHARLOTTE, NC 28210

Business Phone: (704) 362-6131 Mobile Phone: (919) 280-1869

Architect's Information

Name of Firm: Rebecca Olson Architect, PLLC

Architect's Name: REBECCA OLSON

E-Mail: becky@finn-daniels.com

Mailing Address: 2145 Ford Parkway, Suite 301
Saint Paul, MN 55116

Business Phone: (651) 888-6885 Mobile Phone: (651) 485-2787

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Design Review

Salon Lofts - Davidson Commons
(Name of Project)

Project Description

Application Date: MARCH 20, 2017

Project Location: 624 JETTON STREET

Tax Parcel(s): 00323184

Planning Area: CONDITIONAL

Overlay District: NONE

Master or Cond.Plan EXISTING TO REMAIN
(Attach Conditions of Approval)

Gen. Statement of Intent: 1ST GENERATION TENANT UPFIT OF A 2ND FLOOR SPACE TO HAIR SALON (GROUP B), STOREFRONT MODIFICATION

Project Details:

- Project Type: ☐ Individual Bldg. ☐ Master Plan ☐ Conditional Planning Area ☐ Sign
- Building Type: ☐ Detached House ☐ Townhouse ☐ Attached House (Tri- or Quadplex) ☐ Institutional ☐ Live/Work ☐ Multi-family (Apts., Condos, Flats) ☐ Workplace ☒ Storefront ☐ Accessory Structure
- Use(s): B-BUSINESS
- Height & Stories: 51'-11½" EXISTING TO REMAIN
- Square Footage: 4,007 LEASE SPACE
- Building Materials: EXISTING TO REMAIN - STOREFRONT TO MATCH EXISTING

Architectural Features: EXISTING TO REMAIN → STOREFRONT DOORS TO STOREFRONT MODIFICATION

Existing Site Conditions: EXISTING TO REMAIN. ONLY STOREFRONT MODIFICATION TO MATCH EXISTING.
See 14.12.2.D

Design Review

Salon Lofts-Davidson Commons

(Name of Project)

Statement of Compliance

	For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.
EXISTING	☒ **Planning Ordinance** http://www.townofdavidson.org/1006/Planning-Ordinance (Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)
N/A	☒ **Section 2 Planning Areas**
EXISTING	☒ Permitted Use/Add'l Req. ☐ Not Permitted
EXISTING	☒ Permitted Building Type ☐ Not Permitted
EXISTING	☒ Meets Setback Criteria ☐ Does Not Meet
EXISTING	☒ Meets Open Space Criteria ☐ Does Not Meet
EXISTING	☒ Meets Density Criteria ☐ Does Not Meet
	☒ **Section 4 Design Standards**
EXISTING	☒ General Site Design Criteria (4.3)
	☒ General Building Design Criteria (4.4)
	☒ Specific Building Type Criteria (4.5)
N/A	☐ Existing Industrial Campuses Criteria (4.6)
	☒ Renovation of Existing Structures Criteria (4.7)
N/A	☐ **Section 8 Parking & Driveways**
N/A	☐ **Section 9 Tree Preservation, Landscaping & Screening**
N/A	☐ **Section 10 Lighting**
N/A	☐ **Section 22 Local Historic District Guidelines**

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Design Review

Salon Lofts - Davidson Commons
(Name of Project)

Development Process

Date Completed	Outline of Steps & Checklist
_____	☒ 1. Initial Meeting
_____	☒ 2. Application and Fee
_____	☒ 3. Design Review Board Preliminary Review (Informational)
_____	☐ 4. Planning Director Site Schematic Design Review
_____	☐ 5. Design Review Board Approval
_____	☐ 6. Building Construction Documents
_____	☐ 7. Site and Landscape Construction Documents
_____	☐ 8. Architect's Letter of Verification (Construction Documents)
_____	☐ 9. Building Permit Approval
_____	☐ 10. CD Submittal with PDF of All Approved Documents *Required within 45 Days of Approval*
_____	☐ 11. Architect's Letter of Verification (Construction/As-Built)
_____	☐ 12. Certificate of Occupancy

** For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*

Rebecca Olson
ARCHITECT

Rebecca Olson Architect, PLLC
2145 Ford Parkway, Suite 301
Saint Paul, Minnesota 55116
651.888.6885

March 20, 2017

Salon Lofts – Davidson Commons

General Statement of Intent

This is a first generation tenant upfit of a second floor space to a hair salon (Group B). The building type is existing II-B. The tenant lease space is 4,007 square feet. Existing first and second floor total 42,754 square feet. There is no increase to square footage to the shell building under this work. The existing shell drawing show the height of this building at 51'-11 ½". No height increase is proposed under this work.

The scope that has triggered this review is proposed storefront modifications in order to operate the hair salon. There are currently four storefront bays within the space along the parking façade. Each currently have double doors within each storefront. We are proposing to replace two of the double doors with storefront and replace the other two double doors with a single door and storefront. We also propose the use of frosted glazing film at one of the doors to hide utility equipment from the public's eye when walking outside of the space.

Rebecca Olson
ARCHITECT

Rebecca Olson Architect, PLLC
2145 Ford Parkway, Suite 301
Saint Paul, Minnesota 55116
651.888.6885

March 20, 2017

Salon Lofts – Davidson Commons
Statement of Compliance

Planning Ordinance.
Project complies with Town of Davidson Planning Ordinance.

Section 2 Planning Areas
Project is within Conditional Planning Area. Permitted use, building type, setbacks, open space, and density are all existing conditions to remain unchanged.

Section 4 Design Standards
4.3 General Site Design Criteria
Site design is not affected by this project.

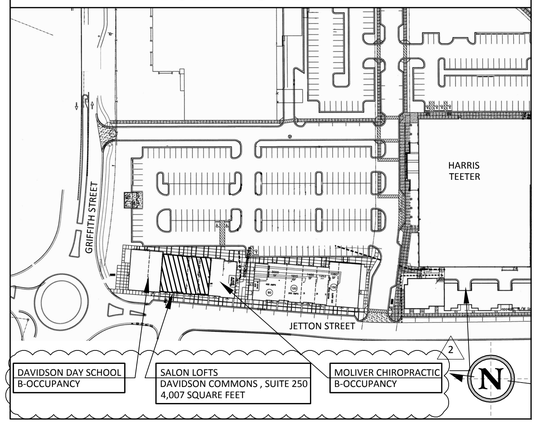
4.4 General Building Design Criteria
4.4.1 C. Façade articulation is not affected by this project. All wall materials are existing to remain. The storefront on the parking side is all that will be modified and made to match existing.

4.5 Specific Building Type Requirements
The existing shell building at Davidson Commons, building C. is required to have 30% of the upper floors façade between 3'-0" and 120'-0" above finished floor be transparent. The proposed opaque film on the work area door '104' is less than 12 square feet. Per the existing shell drawings from August, 19th 2006, the upper level façade is approximately 7,750 square feet. The area for the proposed film is then approximately 1/10th of 1% of the Building C parking side façade.

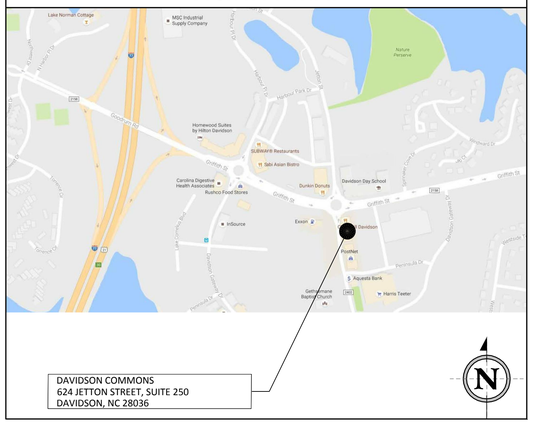
4.6 Existing Industrial Campuses is not applicable.

4.7 Renovation of Existing Structures
Only the parking lot facade shall comply as this change to an existing storefront is less than 50% of the façade.

BUILDING KEY PLAN



VICINITY MAP



SALON LOFTS®

DAVIDSON COMMONS
624 JETTON STREET
SUITE 250
DAVIDSON, NC 28036

GENERAL NOTES

1. THE COMPLETE CONSTRUCTION DOCUMENT SET IS INCLUSIVE OF THE DRAWING SHEETS LISTED IN THE DRAWING SCHEDULE, THE INVITATION TO BID PACKAGE, AND ALL LANDLORD CONSTRUCTION REQUIREMENTS.
2. THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE OWNER'S REPRESENTATIVE & ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION. THE CONTRACTOR COMMENCING WORK ACCEPTS THE CONDITIONS OF THE PROJECT AND THE COMPLETENESS OF THE CONSTRUCTION DOCUMENTS. NO EXTRAS SHALL BE ALLOWED FOR DISCREPANCIES AFTER THE WORK HAS BEGUN, EXCEPT WHERE THE CONDITION COULD NOT HAVE BEEN DISCERNABLE WITHOUT THE REMOVAL OF THE CONCEALING CONDITION.
3. GENERAL CONTRACTOR AND ITS SUBCONTRACTORS (INCLUDING BUT NOT LIMITED TO HVAC, ELECTRICAL, PLUMBING, SPRINKLERS, ETC.) SHALL BE RESPONSIBLE FOR ALL PERMITS, INSPECTIONS AND ASSOCIATED FEES AS REQUIRED TO COMPLETE THE WORK.
4. ALL WORK SHALL BE IN COMPLIANCE WITH THE PROVISIONS OF THE ICC/ANSI A117.1-2009 .
5. WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN CONTRACT, HE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.
6. THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
7. DURING ALL PHASES OF WORK, DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF ADJACENT AND NEIGHBORING TENANTS . NOTIFY BY LETTER TO ADJACENT TENANTS OF ANYTHING THAT MAY HINDER THEIR BUSINESS OPERATIONS PRIOR TO START OF CONSTRUCTION.
8. 'TYP.' SHOULD MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. UNLESS OTHERWISE NOTED, DETAILS ARE USUALLY KEYED & NOTED 'TYP.' ONLY ONCE WHEN THEY FIRST OCCUR.
9. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL ALERT THE ARCHITECT OF ANY GROSS INCONSISTENCIES BETWEEN SCALED DIMENSIONS AND WRITTEN DIMENSIONS.
10. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER OTHER DRAWINGS FOR LAYOUT DIMENSIONS AND NUMBER OF ITEMS PROVIDED. UPON DISCOVERY OF DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS AND ENGINEERING DRAWINGS, THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY.
11. HORIZONTAL DIMENSIONS ARE SHOWN FROM THE FINISHED FACE OF CONSTRUCTION, UNLESS NOTED OTHERWISE.
12. VERTICAL DIMENSIONS ARE FROM THE TOP OF FLOOR FINISH, ESTABLISHED BY THE CONTRACTOR SUBJECT TO THE APPROVAL OF THE OWNER OR ARCHITECT, UNLESS NOTED OTHERWISE.
13. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE OR THE ARCHITECT UNLESS NOTED +/-.
14. DO NOT SUBSTITUTE, REVISE, OR CHANGE THE WORK WITHOUT THE WRITTEN CONSENT OF THE OWNER'S PROJECT REPRESENTATIVE.
15. COORDINATE ALL WORK AS REQUIRED WITH THE LANDLORD'S REPRESENTATIVE INCLUDING COMPLIANCE WITH "LANDLORDS WORKING RULES", LOCAL NOISE ORDINANCES, THE USE OF ELEVATORS, TEMPORARY STORAGE, LOADING DOCKS, BUILDING KEYING SYSTEMS, ETC. PROVIDE NECESSARY BARRICADES, LIGHTING, SIGNAGE, AND GUARDRAILS AS REQUIRED BY OWNER AND/OR APPLICABLE REGULATORY ADVISORY FOR THE PROTECTION OF BUILDING OCCUPANTS, WORKERS AND PEDESTRIANS.
16. GENERAL CONTRACTOR SHALL, IN THE WORK OF ALL TRADES, PERFORM ANY AND ALL CUTTING, PATCHING, RESTORING, REPAIRING AND THE LIKE NECESSARY TO COMPLETE THE WORK AND RESTORE ANY DAMAGED SURFACES RESULTING FROM THE WORK TO THEIR ORIGINAL CONDITION. ALL ROOF PATCHING SHALL RETURN AREA TO "LIKE NEW" CONDITION. PRIOR TO BIDDING, G.C. TO VERIFY ANY ROOF WARRANTIES WITH LANDLORD AND INCLUDE IN CONTRACT. G.C. TO COORDINATE ALL MEANS AND METHODS OF DEMOLITION, SAW CUTTING, CORING AND PATCHING LANDLORD CONSTRUCTION AND MATERIALS WITH LANDLORD PRIOR TO CONSTRUCTION.
17. IN THE EVENT HAZARDOUS MATERIALS ARE ENCOUNTERED ON THE PREMISES DURING THE EXECUTION OF THE WORK, NOTIFY THE OWNER'S REPRESENTATIVE & LANDLORD IMMEDIATELY BEFORE PROCEEDING WITH WORK.
18. CONTRACTOR TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A/10BC WITHIN 75' TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING DURING CONSTRUCTION.
19. PATCH AND REPAIR ALL FIREPROOFING DAMAGED OR REMOVED DURING THE PERFORMANCE OF THE WORK.
20. EACH CONTRACTOR SHALL LEAVE THE SITE IN A NEAT, CLEAN AND ORDERLY CONDITION UPON THE COMPLETION OF HIS WORK ON A DAILY BASIS. ALL WASTE, RUBBISH AND EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE PROMPTLY. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL & DISPOSAL OF ALL TRASH, INCLUDING OWNER-FURNISHED ITEMS & TRASH GENERATED BY OWNER'S CONTRACTORS FOR THE DURATION OF THE PROJECT.
21. IT IS THE RESPONSIBILITY OF THE G.C. TO OBTAIN LANDLORD/CITY APPROVED DRAWINGS PRIOR TO CONSTRUCTION. LANDLORD/CITY APPROVED DRAWINGS SHALL BE RECEIVED FULLY BY THE G.C. PRIOR TO CONSTRUCTION AND ANY PROVISIONS, ADJUSTMENTS OR MODIFICATIONS AS REQ'D. BY LANDLORD/CITY SHALL BE COORDINATED WITH THE TENANT/LANDLORD/CITY PRIOR TO CONSTRUCTION IF NOT CLEARLY INDICATED IN THE CONSTRUCTION DRAWINGS. LANDLORD/CITY APPROVED DRAWINGS SHALL BE AVAILABLE ON SITE FROM START OF CONSTRUCTION TO COMPLETION AND FINAL PUNCH.
22. THE CONTRACTOR WILL OBTAIN A CURRENT COPY OF THE LANDLORD CONSTRUCTION CRITERIA FROM THE LANDLORD & COORDINATE WITH LANDLORD FOR USE OF ALL REQUIRED SUBCONTRACTORS AND CONSULTANTS.
23. CONTRACTOR TO VERIFY INTEGRITY OF EXISTING CONDITIONS, INCLUDING ALL STRUCTURAL ELEMENTS, AFTER COMPLETION OF DEMOLITION AND NOTIFY THE OWNER'S AND LANDLORD'S REPRESENTATIVES IMMEDIATELY OF ANY DAMAGES AND/OR INSTABILITY.
24. GENERAL CONTRACTOR SHALL INSPECT ALL LANDLORD'S WORK TO ENSURE COMPLIANCE WITH LANDLORDS WORK LETTER. ALL LANDLORDS WORK SHALL BE IN FULL CODE COMPLIANCE AND GOOD WORKMAN LIKE ORDER - GENERAL CONTRACTOR SHALL ACCEPT RESPONSIBILITY FOR ALL WORK AT TIME OF LANDLORD TURN OVER FOR TENANT'S CONSTRUCTION.
25. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF THE PERSONS AND PROPERTY AND FOR ALL INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S, ENGINEER'S AND/OR TENANT'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES
26. ALL DRILLING, WELDING, OR OTHER ATTACHMENT TO THE STRUCTURAL SYSTEM MUST BE APPROVED BY THE LANDLORD IN WRITING BEFORE WORK IS BEGUN. THE CONTRACTOR TO COORDINATE WITH LANDLORD.
27. ADEQUATE FIRE RETARDANT BLOCKING, BRACING, BACKING AND/OR ADDITIONAL STUDS MUST BE PROVIDED BY THE CONTRACTOR TO SUPPORT ANY STORE FIXTURES, SHELVES, MILLWORK, OR DECORATIVE ELEMENTS, TRIM FASTENED TO THE WALLS. THE CONTRACTOR TO COORDINATE WITH FIXTURE SUPPLIER AS NECESSARY.
28. THE USE OF WOOD OR OTHER COMBUSTIBLE MATERIALS ABOVE THE CEILING IS PROHIBITED, UNLESS NOTED OTHERWISE.
29. GENERAL CONTRACTOR SHALL HAVE OBTAINED ALL REGULAR INSPECTIONS WITH AT LEAST A TEMPORARY 'CERTIFICATE OF OCCUPANCY' IN POSSESSION PRIOR TO THE CONSTRUCTION PUNCH DATE.
30. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO HAVE THE ENTIRE PROJECT AREA FINAL CLEANED (SPOTLESS) AT THE TIME OF TURNOVER TO THE OWNER.

ABBREVIATIONS

ABBRV.	TERM	ABBRV.	TERM	ABBRV.	TERM
A.F.F.	ABOVE FINISHED FLOOR	F.A.	FIRE ALARM	PART.	PARTIAL
ACC.	ACCESSIBLE	F.E.	FIRE EXTINGUISHER	PART. BD.	PARTICLE BOARD
A.C.T.	ACOUSTICAL CEILING TILE	F.E.C.	FIRE EXTINGUISHER CABINET	P.LAM.	PLASTIC LAMINATE
ADD'L.	ADDITIONAL	F.R.T.	FIRE RESISTANT TREATED	PLYWD.	PLYWOOD
ADJ.	ADJACENT	FLR.	FLOOR	PREFIN.	PREFINISHED
ALT.	ALTERNATE	F.D.	FLOOR DRAIN	PRELIM.	PRELIMINARY
ALUM.	ALUMINUM	FLUOR.	FLUORESCENT	R.	RADIUS/RISER
A.C.M.	ALUMINUM COMPOSITE MATERIAL	FT.	FOOT/FEET	R.W.L.	RAIN WATER LEADER
A.D.A.	AMERICANS WITH DISABILITIES ACT	FTG.	FOOTING	REC.	RECESSED
ANOD.	ANODIZED	FDTN.	FOUNDATION	R.C.P.	REFLECTED CEILING PLAN
APPROX.	APPROXIMATE	FR.	FRAME	REINF.	REINFORCED
ARCH.	ARCHITECT	FURR.	FURRING	REQ'D.	REQUIRED
BSMT.	BASEMENT	GALV.	GALVANIZED	REV.	REVISION / REVERSE
BM.	BEAM	GA.	GAUGE	RTU	ROOF TOP UNIT
BTWN.	BETWEEN	G.C.	GENERAL CONTRACTOR	RM.	ROOM
BLKG.	BLOCKING	GLZ.	GLAZING	R.O.	ROUGH OPENING
BD.	BOARD	G.B.	GRAB BAR	SCHED.	SCHEDULE
B.O.	BOTTOM OF	GYP. BD.	GYPSUM BOARD	SECT.	SECTION
BLDG.	BUILDING	HDCP.	HANDICAP	SHTHG.	SHEATHING
CPT.	CARPET	HDW.	HARDWARE	S.V.	SHEET VINYL
CLG.	CEILING	HVAC	HEATING, VENTILATING, & AIR CONDITIONING	SIM.	SIMILAR
CL	CENTER LINE	HT./H.	HEIGHT/HIGH	S.C.	SOLID CORE
C.T.	CERAMIC TILE	H.C.	HOLLOW CORE	SND.	SOUND
C.O.	CLEAN OUT	H.M.	HOLLOW METAL	S.T.C.	SOUND TRANSMISSION COEFFICIENT
CLR.	CLEAR	HORIZ.	HORIZONTAL	SPEC.	SPECIFICATION
COL.	COLUMN	INCL.	INCLUDE(D) (ING)	SPKLR.	SPRINKLER
CONC.	CONCRETE	INSUL.	INSULATION	S.F.	SQUARE FOOT
CMU	CONCRETE MASONRY UNIT	INT.	INTERIOR	STL.	STEEL
CONSTR.	CONSTRUCTION	ISO.	ISOCYANURATE	STRUCT.	STRUCTURAL
CONT.	CONTINUOUS	JT.	JOINT	SUSP.	SUSPENDED
C.J.	CONTROL JOINT	LAM.	LAMINATE	TEMP.	TEMPERED
COORD.	COORDINATE	LDG.	LANDING	T.B.D.	TO BE DETERMINED
DMSG.	DEMISING	LL.	LANDLORD	T.O.	TOP OF
DEMO.	DEMOLITION	LAV.	LAVATORY	TRTD.	TREATED
D.	DEPTH/DEEP	L.L.	LEASE LINE	T.D.	TRENCH DRAIN
DTL.	DETAIL	L.	LENGTH/LONG	TYP.	TYPICAL
DIA.	DIAMETER	LTG.	LIGHTING	U.N.O.	UNLESS NOTED OTHERWISE
DIM.	DIMENSION	MFR.	MANUFACTURER	V.B.	VAPOR BARRIER/VINYL BASE
DR.	DOOR	MFR. REC.	MANUFACTURER RECOMMENDED	VAR.	VARIES
DN.	DOWN	M.O.	MASONRY OPENING	VFY.	VERIFY
D.S.	DOWNSPOUT	MAT'L.	MATERIAL	V.I.F.	VERIFY IN FIELD
DWG.	DRAWING	MAX.	MAXIMUM	VERT.	VERTICAL
D.F.	DRINKING FOUNTAIN	MECH.	MECHANICAL	V.C.T.	VINYL COMPOSITION TILE
EA.	EACH	M.D.F.	MEDIUM DENSITY FIBERBOARD	V.W.C.	VINYL WALL COVERING
ELEC.	ELECTRIC(AL)	MTL.	METAL	W.C.	WATER CLOSET/WALL COVERING
EL.	ELEVATION	MEZZ.	MEZZANINE	WT.	WEIGHT
ELEV.	ELEVATOR	MIN.	MINIMUM	W.	WIDE/WIDTH
EMER.	EMERGENCY	MISC.	MISCELLANEOUS	WDW.	WINDOW
EQ.	EQUAL	MTD.	MOUNTED	W/	WITH
EQUIP.	EQUIPMENT	(N)	NEW	W/O	WITHOUT
EPDM	ETHYLENE/PROPYLENE/DIENE/MONOMER ROOF MEMBRANE	NOM.	NOMINAL	WD.	WOOD
		N/A	NOT APPLICABLE		
(E)/EXIST.	EXISTING	N.I.C.	NOT IN CONTRACT		
E.J.	EXPANSION JOINT	N.T.S.	NOT TO SCALE	AAMA	Architectural Alum. Manufacturer's Assoc.
EXT.	EXTERIOR	O.C.	ON CENTER	AISC	American Institute of Steel Construction
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	OPNG.	OPENING	ANSI	American National Standards Institute
F.R.P.	FIBERGLASS REINFORCED PLASTIC/PANEL	O.A.	OVERALL	ASTM	American Society for Testing Materials
FIN.	FINISH	OH.	OVERHEAD	NAAMM	National Association of Arch. Metal Mfr.'s
F.F.E.	FINISH FLOOR ELEVATION	PT.	PAINT	NFPA	National Fire Protection Association
F.O.	FINISHED OPENING	PR.	PAIR	UL	Underwriters Laboratory

Abbreviations used in referring standards that apply to the work include, but are not limited to the following:

SYMBOLS LEGEND

X / XXX	Section Reference Sheet Number	X	Existing Grid Number
X / AXXX	Elevation Reference Sheet Number	X	New Grid Number
X / XXX	Detail Reference Sheet Number	ROOM / XXX	Room Tag
LOCATION EL.=XXX'-X"	Elevation Reference Elevation Height	XXXx	Door / Glazing Opening Mark
B.M. EL.=XXX'-X"	Bench Mark Elevation Height	X	Key Note / Glass Type
X	Revision Number	XXX	Finish Key
		XXX	Furniture & Casework Item Tag (Supplied By Others)
		X	Wall Type

PROJECT DIRECTORY

TENANT:
SALON LOFTS
226 N. FIFTH ST., SUITE 530
COLUMBUS, OHIO 43215
614.371.8441 (VOICE)
614.227.3280 (FACSIMILE)
CONTACT: KEITH MELARAGNO
EMAIL: kmelaragno@salonloftscorp.com

LANDLORD/ BUILDING OWNER:
KIMCO REALTY
6060 PIEDMONT ROW DRIVE S.
SUITE 200
704.362.6131 (VOICE)
CONTACT: Ben Bridges
EMAIL: bbridges@kimcorealty.com

ARCHITECT:
REBECCA OLSON ARCHITECT, PLLC
2145 FORD PARKWAY, SUITE 301
ST. PAUL, MINNESOTA 55116
651.690.5525 (VOICE)
651.690.5545 (FACSIMILE)
CONTACT: SCOTT WIESTLING
EMAIL: swiestling@finn-daniels.com

GOVERNING AUTHORITY:
MECKLENBURG COUNTY CODE ENFORCEMENT
700 N. TRYON STREET
CHARLOTTE, NC 28202
704.336.3830 (VOICE)

MEP ENGINEER:
MCVEIGH & MANGUM ENGINEERING, INC
1610 E. MOREHEAD ST., SUITE 100
CHARLOTTE, NC 28207
704.547.9035 EXT 2409 (VOICE)
CONTACT: LARRY MCWILLIAMS
EMAIL: lmcwilliams@mcveighmangum.com

PLAN REVIEW FOR CODE COMPLIANCE

GENERAL INFORMATION:
FIRST GENERATION TENANT UPFIT OF AN EXISTING SECOND FLOOR TENANT SPACE TO A HAIR SALON (GROUP B).

THE PROJECT IS LOCATED WITHIN THE BUILDING SHELL LOCATED AT 624 JETTON STREET, DAVIDSON, NC AS PREVIOUSLY REVIEWED BY MECKLENBURG COUNTY CODE ENFORCEMENT.

APPLICABLE CODES:

A.	INTERNATIONAL BUILDING CODE (IBC)	2009
B.	INTERNATIONAL EXISTING BUILDING CODE (IEBC)	2015
C.	NORTH CAROLINA STATE BUILDING CODE (NCSBC)	2012
D.	NORTH CAROLINA STATE EXISTING BUILDING CODE	2015
E.	NORTH CAROLINA STATE MECHANICAL CODE (NCSMC)	2012
F.	NORTH CAROLINA STATE PLUMBING CODE (NCSPC)	2012
G.	NORTH CAROLINA STATE FUEL GAS CODE	2012
H.	NATIONAL ELECTRICAL CODE (NEC)	2014
I.	NORTH CAROLINA STATE FIRE PREVENTION CODE	2012
J.	ICC/ANSI A117.1	2009
K.	NORTH CAROLINA STATE ENERGY CODE	2012
L.	NORTH CAROLINA ADMINISTRATIVE CODE	2012
M.	MECKLENBURG COUNTY	CURRENT

BUILDING CLASSIFICATION:
A. TENANT SPACE OCCUPANCY USE GROUP: B - BUSINESS
B. BUILDING/SPACE CONSTRUCTION TYPE: TYPE II-B (EXISTING)
C. SALON LOFTS OCCUPANT LOAD: 41 (BASED ON 1 OCC. PER 100 S.F. @ 4,007 S.F.)
D. QUANTITY OF EXITS REQUIRED: 2
E. QUANTITY OF EXITS PROVIDED: 2
F. SPRINKLER SYSTEM: YES
G. FIRE ALARM SYSTEM REQUIRED: YES
H. SEISMIC DESIGN CATEGORY: B (PER 2012 IBC)

PLUMBING FIXTURES:
A. NUMBER FIXTURES REQUIRED (IBC Chapter 2902.1)

Based on 41 Occupants - B Occupancy
- 21 Female Occupants - 21 Male Occupants

Fixture	Required		Provided	
	Men	Women	Men	Women
Water Closets (1 Per 25 Occupants)	1	1	1	1
Lavatories (1 Per 40 Occupants)	1	1	1	1
Drinking Fountains (1 Per 100 Occupants)	1		1	
Service Sink	1		1	

SIGNAGE:
A. SIGNAGE IS NOT WITHIN THE SCOPE OF THIS PERMIT. SUBMIT DRAWINGS TO LOCAL JURISDICTION FOR REVIEW AND APPROVAL IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES PRIOR TO INSTALLATION.

DRAWING SCHEDULE

02.02.2017 CLIENT REVIEW SET	02.13.2017 FOR CONSTRUCTION	02.27.2017 PLUMBING REVISION	03.06.2017 COUNTY COMMENTS		
			2		
☐	●	◕	◕	G000	PROJECT INFORMATION & CODE REVIEW
☐	●		◕	G001	APPENDIX B
☐	●			G002	LANDLORD WORK PLAN & NOTES
☐	●	◕		A000	RESPONSIBILITY SCHEDULE
☐	●		◕	A001	OPENING SCHEDULES
☐	●		◕	A002	FINISH SCHEDULES & LIFE SAFETY PLAN
☐	●			A100	DEMOLITION FLOOR PLAN
☐	●			A101	BUILDING MODIFICATIONS PLAN & ELEVATIONS
☐	●	◕		A102	PLUMBING ROUGH-IN PLAN & DETAILS
☐	●			A200	DIMENSION FLOOR PLAN
☐	●			A201	FLOOR PLAN
☐	●			A202	TOILET ROOM PLAN, ELEVATIONS & ACCESSIBILITY
☐	●			A203	FINISH FLOOR PLAN
☐	●			A204	FURNITURE PLAN
☐	●			A300	REFLECTED CEILING PLAN
☐	●			A400	INTERIOR ELEVATIONS
☐	●			A401	INTERIOR ELEVATIONS
☐	●			A500	DOOR & SIDELIGHT ELEVATIONS & DETAILS
☐	●			A501	DOOR & SIDELIGHT ELEVATIONS & DETAILS
☐	●			A502	CONSTRUCTION DETAILS
☐	●			A503	CONSTRUCTION DETAILS
☐	●			A600	ARCHITECTURAL CASEWORK DETAILS
☐	●			A700	SPECIFICATIONS
☐	●			A701	SPECIFICATIONS
☐	●			A702	SPECIFICATIONS
				ARCHITECTURAL	
☐	●			M000	MECHANICAL TITLE SHEET
☐	●			M100	HVAC PLAN
☐	●	◕		M700	MECHANICAL DETAILS
☐	●			M900	MECHANICAL SPECIFICATIONS
				MECHANICAL	
☐	●	◕		P100	PLUMBING PLAN - WASTE AND VENT
☐	●			P200	PLUMBING PLAN - DOMESTIC WATER
☐	●	◕		P600	SANITARY AND VENT PLUMBING RISER
☐	●			P601	DOMESTIC WATER PLUMBING RISER
				PLUMBING	
	●			FP100	FIRE PROTECTION PLAN
				FIRE PROTECTION	
☐	●			E001	ELECTRICAL SYMBOL LEGEND & NOTES
☐	●			E002	ELECTRICAL RISER & PANEL SCHEDULES
☐	●			E003	LIGHTING FIXTURE SCHEDULE & NOTES
☐	●			E004	ELECTRICAL SPECIFICATIONS
☐	●			E101	FLOOR PLAN - LIGHTING
☐	●			E102	FLOOR PLAN - POWER
☐	●			E103	FLOOR PLAN - HVAC POWER & FIRE ALARM
				ELECTRICAL	

☐ ISSUED FOR PRELIMINARY REVIEW
● ISSUED FOR PERMIT/CONSTRUCTION
○ ISSUED FOR REFERENCE ONLY
◕ ISSUED FOR CONSTRUCTION W/ REVISED INFO.

Rebecca Olson
ARCHITECT
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2145 Ford Parkway, Suite 301
Saint Paul, Minnesota 55116
651.888.6885

SEAL/SIGNATURE:

Rebecca Olson Architect, PLLC REGISTERED ARCHITECTURAL COMPANY 53018 NORTH CAROLINA Saint Paul, MN

BECKY OLSON REGISTERED ARCHITECT 13066 NORTH CAROLINA Saint Paul, MN 03.06.2017

PROJECT:

SALON LOFTS

DAVIDSON COMMONS

624 JETTON STREET
SUITE 250
DAVIDSON, NC 28036

SALON LOFTS PROJECT NO.:

PROJECT NO.:	SL1622
DRAWN BY:	JNH
CHECKED BY:	SAW / RLO

ISSUES AND REVISIONS:

CLIENT REVIEW	02.02.2017
FOR CONSTRUCTION	02.13.2017
1 PLUMBING REV.	02.27.2017
2 COUNTY COMMENTS	03.06.2017

SHEET TITLE:

PROJECT INFORMATION & CODE REVIEW

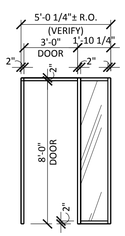
G000

DOOR SCHEDULE

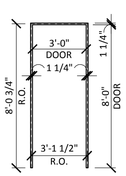
MARK	LOCATION	SIZE (NOMINAL) width x height x thickness	DOOR MATERIAL	FRAME MATERIAL	RATING	DOOR TYPE	HDWARE GROUP	FRAME TYPE	DETAIL NUMBER HEAD	DETAIL NUMBER JAMB	DETAIL NUMBER SILL	REMARKS / NOTES
01	LOFT '01'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	8 A500	6sim. A501	6'-10" LONG DOOR TRACK
02	LOFT '02'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	2 A500	6sim. A501	9'-10" LONG DOOR TRACK
03	LOFT '03'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	2 A500	6sim. A501	9'-10" LONG DOOR TRACK
04	LOFT '04'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	2 A500	6sim. A501	9'-10" LONG DOOR TRACK
05	LOFT '05'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	2 A500	6sim. A501	9'-10" LONG DOOR TRACK
06	LOFT '06'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	2 A500	6sim. A501	9'-10" LONG DOOR TRACK
07	NAIL '07'	3'-0" x 8'-0" x 1 3/4"	S.C. WOOD/GLAZING	H.M.	-	A	6	2	-	-	-	-
08	DOUBLE LOFT '08'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	2 A500	6sim. A501	9'-10" LONG DOOR TRACK
09	SPA LOFT '09'	3'-0" x 8'-0" x 1 3/4"	S.C. WOOD	H.M.	-	B	6	2	-	1 A501	-	-
10	SPA LOFT '10'	3'-0" x 8'-0" x 1 3/4"	S.C. WOOD	H.M.	-	B	6	2	-	1 A501	-	-
11	LOFT '11'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	2 A500	6sim. A501	9'-10" LONG DOOR TRACK
12	LOFT '12'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	2 A500	6sim. A501	9'-10" LONG DOOR TRACK
13	LOFT '13'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	2 A500	6sim. A501	9'-10" LONG DOOR TRACK
14	LOFT '14'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	2 A500	6sim. A501	9'-10" LONG DOOR TRACK
15	LOFT '15'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	2 A500	6sim. A501	9'-10" LONG DOOR TRACK
16	LOFT '16'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	2 A500	6sim. A501	9'-10" LONG DOOR TRACK
17	LOFT '17'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	8 A500	6sim. A501	6'-10" LONG DOOR TRACK
18	LOFT '18'	3'-0" x 8'-0" x 1 3/4"	S.C. WOOD/GLAZING	H.M.	-	A	6	2	-	-	-	-
19	LOFT '19'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	2 A500	6sim. A501	9'-10" LONG DOOR TRACK
20	LOFT '20'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	2 A500	6sim. A501	9'-10" LONG DOOR TRACK
21	LOFT '21'	3'-6" x 8'-0" x 1 3/4"	H.C. WOOD	-	-	C	5	-	6 A500	2 A500	6sim. A501	9'-10" LONG DOOR TRACK
22	LOFT '22'	3'-0" x 8'-0" x 1 3/4"	S.C. WOOD/GLAZING	H.M.	-	A	6	2	-	-	-	-
101A	VESTIBULE '101'	3'-0" x 7'-0"	ALUM./GLZ	ALUM.	-	D	1	EXIST.	-	-	-	SEE NOTE #3
101B	VESTIBULE '101'	3'-0" x 8'-0" x 1 3/4"	S.C. WOOD/GLAZING	ALUM.	-	A	2	1	6 A502	-	-	SEE NOTE #2
104	WORK AREA '104'	3'-0" x 7'-0" (EXIST./SALVAGED)	EXIST. ALUM./GLZ	ALUM.	-	EXIST./ SALVAGED	8	3	-	-	-	SEE NOTE #4
106	WOMEN'S '106'	3'-0" x 8'-0" x 1 3/4"	S.C. WOOD	H.M.	-	B	3	2	-	-	-	-
107	MEN'S '107'	3'-0" x 8'-0" x 1 3/4"	S.C. WOOD	H.M.	-	B	3	2	-	-	-	-
109	SPA VESTIBULE '109'	3'-0" x 8'-0" x 1 3/4"	S.C.WOOD/GLAZING	H.M.	-	A	7	2	-	1 A501	-	-

1. SEE SPECIFICATIONS AND SHEETS A500 & A501 FOR DOOR DETAILS.
2. COORDINATE HINGE LOCATION ON ALUMINUM FRAME WITH HINGE LOCATIONS ON DOOR.
3. REMOVE EXISTING DOOR AND HARDWARE. PATCH, REPAIR, AND PREP FRAME AS REQUIRED FOR NEW DOOR INSTALLATION.
4. COORDINATE SALVAGED DOOR/FRAME INSTALLATION (DOOR #104).

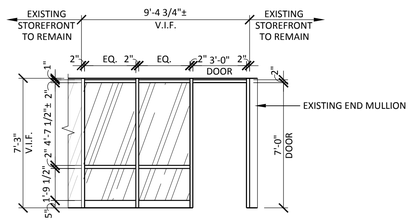
FRAME TYPES



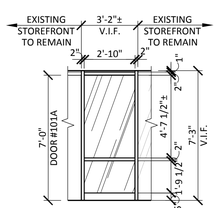
1 ALUM. GLAZING SYSTEM
2" x 4 1/2" CLEAR ANODIZED ALUMINUM FRAME W/ 1/4" CLEAR TEMP. GLAZING



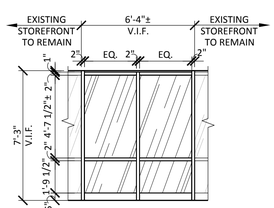
2 HOLLOW METAL
(1 1/4" NARROW PROFILE FRAMES) PAINT PS



3 ALUM. GLAZING SYSTEM
2" x 4 1/2" FACTORY PAINTED TO MATCH EXISTING (THERMALLY BROKEN) ALUMINUM FRAME W/ 1" CLEAR INSULATED GLAZING (TEMP. WHERE REQUIRED BY CODE) (VERIFY ALL DIMENSIONS TO MATCH EXISTING)



W-1 ALUM. GLAZING SYSTEM
2" x 4 1/2" FACTORY PAINTED TO MATCH EXISTING (THERMALLY BROKEN) ALUMINUM FRAME W/ 1" CLEAR INSULATED GLAZING (TEMP. WHERE REQUIRED BY CODE)(VERIFY ALL DIMENSIONS TO MATCH EXISTING)



W-2 ALUM. GLAZING SYSTEM
2" x 4 1/2" FACTORY PAINTED TO MATCH EXISTING (THERMALLY BROKEN) ALUMINUM FRAME W/ 1" CLEAR INSULATED GLAZING (TEMP. WHERE REQUIRED BY CODE) (VERIFY ALL TO MATCH EXISTING)

2 ALL GLAZING AT HAZARDOUS LOCATIONS SHALL COMPLY WITH NCSBC 2012 2406.4

HARDWARE GROUPS

'1' VESTIBULE SUPPLIED / INSTALLED BY G.C. (U.N.O.)
(2) - HINGES (TOP AND BOTTOM PIVOT)
(1) - CLOSER
(1) - PUSH BAR
(1) - PULL HANDLE (BY SALON LOFTS - T.O. HANDLE @5'-6" A.F.F.)
(1) - WEATHERSTRIPPING
(1) - DOOR SWEEP
(1) - ALUMINUM THRESHOLD - SEE 1/A002
(1) - CYLINDER - MUST ACCEPT SMALL FORMAT INTERCHANGEABLE CORES
(1) - SMALL FORMAT INTERCHANGEABLE CORE SUPPLIED BY SALON LOFTS / INSTALLED BY G.C.
(1) - "DOOR TO REMAIN UNLOCKED DURING STORE OPERATION" SIGNAGE BY SALON LOFTS.
(1) - ACCESS CONTROL HARDWARE PACKAGE INCLUDING ELECTRIC STRIKE AND EXIT PADDLE BY SALON LOFTS VENDOR. SEE ACCESS CONTROL HARDWARE SPEC. BELOW FOR ADDITIONAL INFORMATION.

'2' VESTIBULE
(4) - HINGES (4 ½"x4 ½")
(1) - PULL - (T.O. HANDLE @ 5'-6" A.F.F.)
(1) - PUSH PLATE - IVES 8200 (US32D)
(1) - CLOSER - LCN 4000 SERIES
(1) - FLOOR STOP - IVES FS448 US26D
(2) - KICK PLATE - IVES 8400 PA28 8"x34"

'3' TOILET
(4) - HINGES - HAGER BB1279 (4 ½"x4 ½") 26D
(1) - PRIVACY LATCHSET - SCHLAGE S40 (NEP) 626
(1) - OCCUPANCY INDICATOR - SCHLAGE B571
(1) - WALL STOP - HAGER 236W (32D)
(1) - CLOSER - HAGER 5200 (AL)
(1) - A.D.A. ACCESSIBLE UNISEX RESTROOM SIGNAGE. (MATTE BLACK W/ WHITE LETTERS - 6"W. X 9"H.)
(1) - COAT HOOK (MOUNTED VERTICALLY @ 4'-0" A.F.F., CENTER HOOK HORIZ. ON INSIDE FACE OF DOOR), SIRO DESIGNS 44-342

'4' NOT USED

'5' LOFT ENTRY
(1) - HEAVY DUTY TRACK W/ BRACKETS
(8) - SET TRACK MOUNT 5/8" SPACERS
(4) - 5" MIN. L. STAINLESS STL. LAG SCREWS
(2) - HEAVY DUTY DOOR HANGERS
(2) - BEARING ASSEMBLIES
(1) - PULL - SUPPLIED BY S.L./INSTALLED BY G.C.
(2) - BOTTOM GUIDE #1705 (SEE 6sim./AS01)
(1) - CYLINDER-OPERATED FLUSHBOLT #1877
(1) - INTERIOR THUMBTURN DRA22BS CRL ALUMINUM
(1) - ALUM. ANGLE- BLUM OR EQ. (SEE DETAILS FOR SIZE)
(1) - HARDWOOD SILL GUIDE TRACK W/ INTEGRAL STRIKE

'6' LOFT ENTRY
(4) - HINGES - HAGER BB1279 (4 ½"x4 ½") 26D
(1) - ENTRY LOCKSET - SCHLAGE S51 (NEP) 626
(1) - WALL STOP - HAGER 236W (32D)
(*) - SMOKE/SOUND GASKETING AT SPA LOFT ONLY
(*) - DOOR BOTTOM SWEEP - PEMKO 321CN AT SPA LOFT ONLY
(*) - OCCUPANCY INDICATOR - SCHLAGE B571 AT SPA LOFT ONLY

'7' SPA VESTIBULE ENTRY
(4) - HINGES - HAGER BB1279 (4 ½"x4 ½") 26D
(1) - PASSAGE LATCHSET - SCHLAGE S10D (NEP) 626
(1) - CLOSER - HAGER 5200 (AL)
(1) - SMOKE/SOUND GASKETING
(1) - DOOR BOTTOM SWEEP - PEMKO 321CN
(1) - WALL STOP - HAGER 236W (32D)

'8' REAR STOREFRONT ENTRY -REUSE EXISTING IF POSSIBLE OR PROVIDE NEW TO MATCH IF NEEDED
(E) - HINGES
(E) - CLOSER
(E) - PUSH BAR
(E) - OFFSET PULL
(1) - ALUMINUM THRESHOLD
(1) - WEATHERSTRIPPING
(1) - DOOR SWEEP
(1) - CYLINDER - MUST ACCEPT SMALL FORMAT INTERCHANGEABLE CORES
(1) - SMALL FORMAT INTERCHANGEABLE CORE SUPPLIED BY SALON LOFTS / INSTALLED BY G.C.
(1) - "DOOR TO REMAIN UNLOCKED DURING STORE OPERATION" SIGNAGE BY SALON LOFTS.
(1) - EXIT PADDLE

NOTE: FINAL HARDWARE PACKAGE TO BE DETERMINED BY MANUF./SUPPLIER BASED ON DESIGN DETAILS THESE DWGS.

DOOR OPENING & HARDWARE NOTES

1. ALL DOOR HARDWARE SHALL COMPLY WITH FEDERAL AND STATE ACCESSIBILITY REQUIREMENTS INCLUDING THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
2. ALL EXIT DOORS TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.
3. THE MAXIMUM FORCE REQUIRED TO OPERATE ANY DOOR SHALL COMPLY AS FOLLOWS:
   A. INTERIOR DOORS = 5 LBS.
   B. EXTERIOR DOORS = 8.5 LBS.
   C. FIRE-RATED DOORS = MINIMUM ALLOWABLE BY APPROPRIATE ADMINISTRATIVE AUTHORITY.
4. WHEN EXISTING, G.C. TO REVIEW EXISTING HARDWARE CONDITIONS & MAKE RECOMMENDATIONS ON REPLACEMENTS AS REQ'D. PRIOR TO CONSTRUCTION.
5. REFURBISH ALL EXISTING DOORS LISTED AS "TO REMAIN" TO "LIKE NEW" CONDITION.
6. PROVIDE (1) SET SMOKE GASKETING @ ALL RATED DOOR ASSEMBLIES.
7. GENERAL CONTRACTOR SHALL COORDINATE ALL HARDWARE GROUPS AND FINISHES W/ OWNER PRIOR TO ORDERING.
8. COORDINATE THE KEYING OF LOCKS WITH OWNER.
9. HARDWARE SHALL INCLUDE ALL NECESSARY ACCESSORIES SUCH AS SCREWS, BOLTS, NUTS, ANCHORS, TOGGLE BOLTS, AND OTHER FASTENERS AS REQUIRED FOR A COMPLETE INSTALLATION.
10. INSTALL HARDWARE PER MANUFACTURER'S RECOMMENDATIONS.
11. ALL DOORS WHICH OPEN TOWARDS AN ADJACENT WALL SHALL BE SUPPLIED WITH WALL, DOOR, OR OVERHEAD STOPS.
12. CONTRACTOR SHALL VERIFY ALL DOOR HARDWARE PER SPECIFIC CODE REQUIREMENTS FOR THIS FACILITY.
13. CONTRACTOR SHALL COORDINATE THE INSTALLING OF ALL CYLINDER LOCKS W/ OWNER.
14. PROVIDE HARDWARE SUBMITTAL TO ARCHITECT & TENANT FOR APPROVAL PRIOR TO CONSTRUCTION.
15. ALL HARDWARE ON ALUMINUM DOORS & FRAMES SHALL BE FINISHED TO MATCH DOOR & FRAME FINISH, TYP. U.N.O.
16. INTERIOR DOOR HARDWARE SHALL BE US26D FINISH, TYPICALLY, U.N.O.

GENERAL DOOR & FRAME NOTES

1. TENANT'S GENERAL CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND ALTER SPECIFICATIONS AS REQUIRED TO MATCH EXISTING BUILDING SHELL WHEN INDICATED. CONTACT TENANT & ARCHITECT IMMEDIATELY TO NOTIFY.
2. SEE SPECIFICATIONS FOR STOREFRONT GLAZING SYSTEM & GLASS SPECIFICATIONS.
3. COORDINATE H.M. FRAME WIDTH REQUIRED WITH ACTUAL WALL TYPE THICKNESS OF SCHEDULED WALL TYPE.
4. VERIFY ALL ROUGH OPENING SIZES WITH DOOR/FRAME MANUFACTURER.
5. INSTALL ALL FRAMES AND DOORS PER MANUFACTURERS DETAILS & RECOMMENDATIONS.
6. SLIDING DOORS TO PROVIDE 2'-10" (34") MIN. CLEAR WIDTH IN THE FULL OPEN POSITION.
7. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO SYSTEM FABRICATION, INCLUDING CONTACT INFORMATION FOR QUESTIONS.
8. ALL FRAMES ARE SHOWN FROM EXTERIOR, TYP.
9. ALUM. GLAZING SYSTEM COLOR TO MATCH EXIST. ADJACENT STOREFRONT GLAZING SYSTEMS (VERIFY IN FIELD).
10. HORIZONTAL GLAZING MULLIONS TO BE PROVIDED AND INSTALLED SUCH THAT THE ELEVATION OF THE MULLIONS MATCHES EXISTING STOREFRONT SYSTEMS. G.C. TO VERIFY IN FIELD.
11. CONTRACTOR SHALL VERIFY CONDITION OF ALL EXISTING DOORS AND HARDWARE TO REMAIN. REPLACE OR REFURBISH ALL REQUIRED TO ENSURE DOOR & HARDWARE IS FULLY FUNCTIONAL & WEATHERTIGHT. REMOVE ANY EXISTING SIGNAGE / DECALS.

ACCESS CONTROL HARDWARE SPECIFICATIONS

A. GENERAL: PROVIDE THE S2 NETBOX SECURITY PLATFORM SYSTEM AT ACCESS CONTROL DOORS WITH COMPLETE HARDWARE AND ACCESSORIES AS REQUIRED BY MANUFACTURER.

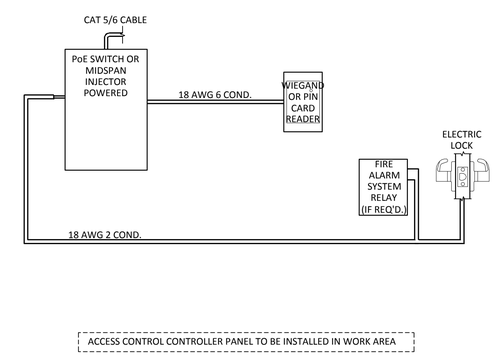
B. ACCESS CONTROL PERFORMANCE IN THE EVENT OF AN EMERGENCY:
   1. IN THE EVENT OF A FIRE ALARM OR SPRINKLER SYSTEM ACTIVATION, A DRY CONTACT FIRE RATED RELAY INSTALLED BY THE FIRE ALARM VENDOR WILL CHANGE STATE FROM "NORMALLY CLOSED" TO "NORMALLY OPEN" AND DISRUPT THE POSITIVE LEG OF THE LOCKING DEVICE POWER. THE RELAY WILL CHANGE STATE BACK TO "NORMALLY CLOSED" ONCE THE FIRE ALARM ACTIVATION HAS BEEN RESET, AT WHICH TIME THE LOCKING DEVICE WILL REENGAGE.
   2. IN THE EVENT OF A LOSS OF BUILDING POWER, THE LOCKING DEVICE WILL DISENGAGE. THERE IS NO BACKUP BATTERY CONNECTED TO THE POWER SUPPLY. ONCE THE POWER IS RESTORED, THE SYSTEM WILL REBOOT AND REENGAGE THE LOCKING DEVICE.

C. INSTALLATION: COMPLY WITH MANUFACTURER RECOMMENDATIONS, BHMA, AND APPLICABLE REQUIREMENTS FOR ACCESS AND FOR FIRE RATINGS.
   1. HEIGHTS TO COMPLY WITH APPLICABLE CODES AND BHMA RECOMMENDATIONS.
   2. ADJUST HARDWARE FOR SMOOTH OPERATION.
   3. SEE ELECTRICAL & SHEET A300 FOR POWER AND DATA CONNECTIONS REQUIRED AT ACCESS CONTROLLED DOORS.
   4. SEE DIAGRAM FOR TYPICAL FIRE ALARM RELAY CONFIGURATION.

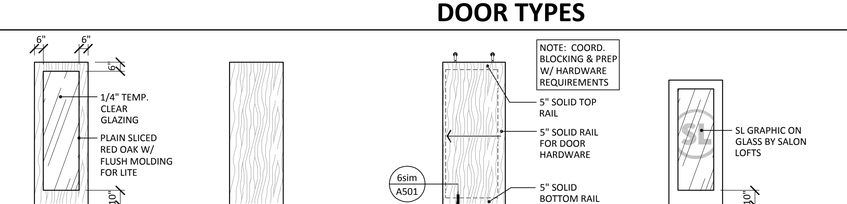
D. EQUIPMENT: ACCESS CONTROL HARDWARE TO BE PROVIDED BY ACCESS CONTROL VENDOR. EQUIPMENT INCLUDED, BUT IS NOT LIMITED TO:
   1. STOREFRONT MOUNTED EXTERIOR PROXIMITY CARD READER
   2. ELECTRONIC LATCH & STRIKE
   3. EXIT PADDLE
   4. ACCESS CONTROL CONTROLLER PANEL WITH FIRE ALARM SYSTEM RELAY (IF REQUIRED)
   5. ELECTRIC HINGE AS NECESSARY AT PAIR OF DOORS.
   6. VENDOR TO SUPPLY TO SALON LOFTS FIFTY (50) KEY FOBS.

E. ELECTRIC TO ELECTRIC STRIKE / HARDWARE SHALL BE PROVIDED BY ELECTRICAL CONTRACTOR.

F. CONTACT SALON LOFTS FOR VENDOR.



DOOR TYPES



A FLUSH DOOR (SWING)
S.C. WOOD (STAIN/SEAL)
PLAIN SLICED RED OAK W/ CUSTOM STAIN TO MATCH PL-4
W/ GLASS PANEL

B FLUSH DOOR (SWING)
S.C. WOOD (STAIN/SEAL)
PLAIN SLICED RED OAK W/ CUSTOM STAIN TO MATCH PL-4

C FLUSH DOOR (SLIDING)
H.C. WOOD (STAIN/SEAL)
PLAIN SLICED RED OAK W/ CUSTOM STAIN TO MATCH PL-4

D ALUMINUM / GLAZING ENTRY
BLACK ANODIZED THERMALLY BROKEN WIDE STILE ALUMINUM DOOR W/ 1/4" CLEAR TEMP. GLASS

Rebecca Olson ARCHITECT
Rebecca Olson Architect, PLLC
2145 Ford Parkway, Suite 301
Saint Paul, Minnesota 55116
651.888.6885

SEAL/SIGNATURE:

Rebecca Olson Architect, PLLC REGISTERED ARCHITECTURAL COMPANY 53018 NORTH CAROLINA Saint Paul, MN

BECKY OLSON REGISTERED ARCHITECT 13066 NORTH CAROLINA Saint Paul, MN 03.06.2017

PROJECT:

SALON LOFTS

DAVIDSON COMMONS

624 JETTON STREET
SUITE 250
DAVIDSON, NC 28036

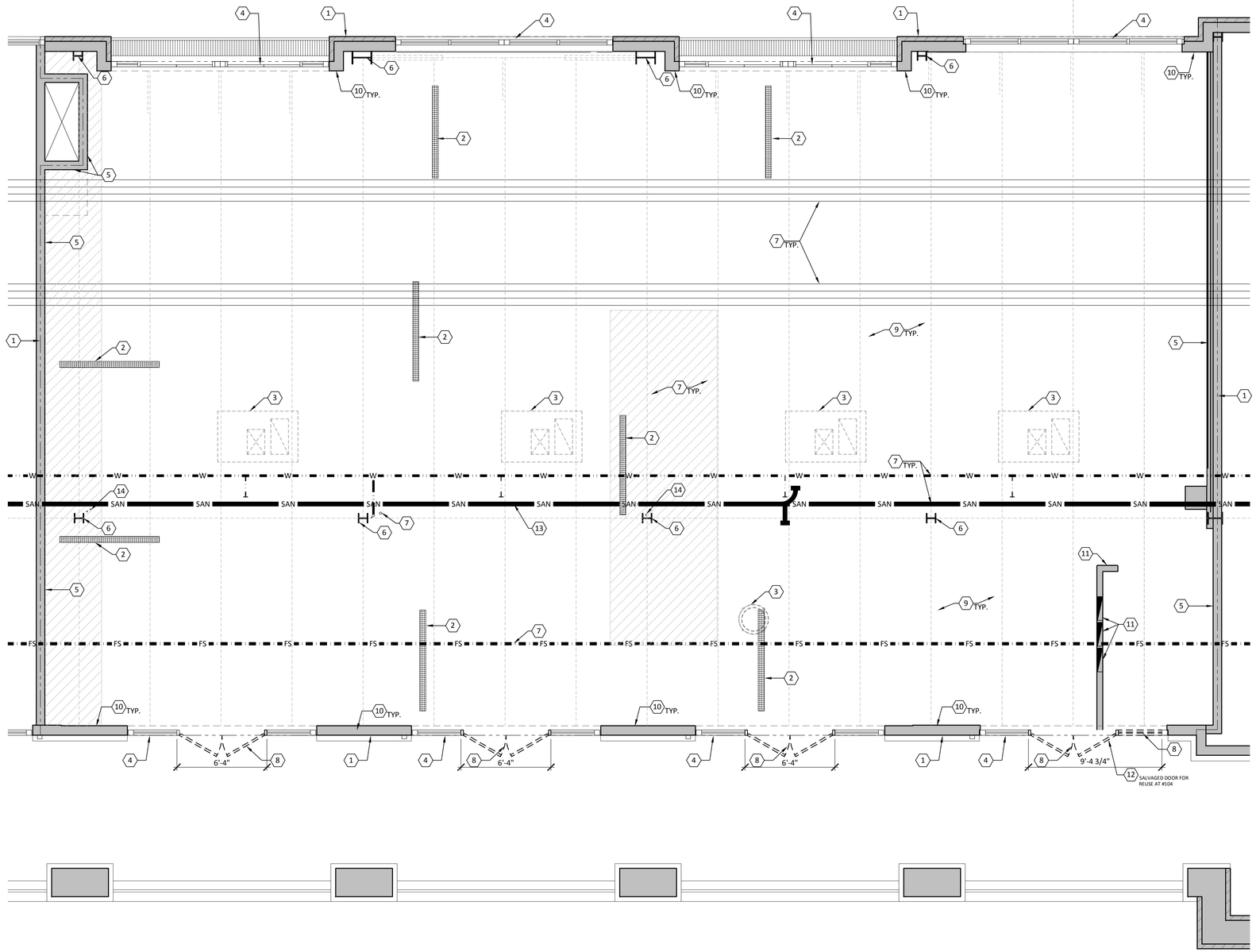
SALON LOFTS PROJECT NO.:

PROJECT NO.:	SL1622
DRAWN BY:	JNH
CHECKED BY:	SAW / RLO
ISSUES AND REVISIONS:	
CLIENT REVIEW	02.02.2017
FOR CONSTRUCTION	02.13.2017
2 COUNTY COMMENTS	03.06.2017

SHEET TITLE:

OPENING SCHEDULES

A001



1 A100 DEMOLITION FLOOR PLAN
1/4"=1'-0"

DEMOLITION PLAN KEY NOTES

1. LEASE LINE.
2. LOCATION OF FUTURE WALL KNOCK-OUT. NO ELECTRICAL, DATA, TELEPHONE, AND/OR LOW VOLTAGE WIRES OR ITEMS TO BE LOCATED WITHIN AREA OF FRAMING AT FUTURE OPENING (EXCEPT ELECTRICAL OUTLETS INDICATED ON ELECTRICAL PLANS), INCLUDING FROM UNDER SLAB UP INTO THE WALL. SEE SHEET A200 FOR ADDITIONAL INFORMATION.
3. NEW RTU / EXHAUST FAN BY LANDLORD. PROTECT UNIT, DUCTWORK DROPS, AND ASSOCIATED UTILITIES AS REQUIRED DURING CONSTRUCTION.
4. EXISTING STOREFRONT WINDOWS AND FRAMES TO REMAIN, U.N.O. CONTRACTOR IS RESPONSIBLE FOR ALL STOREFRONT REPAIR NEEDED. ENSURE ALL SEALS, GASKETS, GLASS, FRAMING, ETC. ARE IN GOOD CONDITION. REPLACE ALL DAMAGED PARTS, REMOVE THROUGH WALL/GLASS PENETRATIONS AND WINDOW GRAPHICS / BLACKOUT FILM (IF ANY), AND PATCH GLASS/FRAMING SYSTEM TO MATCH EXISTING AS REQUIRED.
5. EXISTING DEMISING WALL TO REMAIN, SHOWN SHADED. PROTECT AND MAINTAIN ANY RATINGS AS REQUIRED DURING DEMOLITION AND CONSTRUCTION, TYP. DAMAGED SURFACES TO BE REPAIRED TO 'LIKE NEW' CONDITION AS REQUIRED.
6. EXISTING STEEL COLUMN TO REMAIN. PROTECT AS REQUIRED DURING DEMOLITION.
7. EXISTING UTILITY LINES TO REMAIN U.N.O. INCLUDING, BUT NOT LIMITED TO: ELECTRICAL LINES ABOVE SERVING ADJACENT TENANT SPACES, SPRINKLER MAINS & RISERS, WATER MAINS, SANITARY LINES, RAIN WATER LEADERS, ETC. PROTECT AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
8. REMOVE EXISTING STOREFRONT DOOR(S) AND FRAMES TO EXTENTS INDICATED. ADJACENT GLAZING & FRAMES TO REMAIN, PROTECT AS REQUIRED DURING DEMOLITION. PREP OPENING FOR NEW STOREFRONT INFILL AS SCHEDULED. SEE A101.
9. EXISTING CONCRETE FLOOR SLAB TO REMAIN. REMOVE ANY EXISTING FLOOR COVERINGS / COATINGS / ELECTRICAL OUTLETS / PLUMBING PENETRATIONS AS REQUIRED (CAP BELOW FLOOR SLAB) & PATCH, REPAIR & INFILL FLOOR SLAB AS NEEDED TO 'LIKE NEW' CONDITION. CONCRETE SLAB TO BE SMOOTH AND LEVEL PRIOR TO NEW CONSTRUCTION.
10. EXISTING GYP. BD. FURRING (BY LANDLORD). PROTECT AS REQUIRED DURING DEMOLITION.
11. NEW WALL AND ELECTRICAL PANELS BY LANDLORD TO REMAIN. PROTECT AS REQUIRED DURING DEMOLITION.
12. REMOVE AND SALVAGE STOREFRONT DOOR FOR REUSE.
13. EXIST. SANITARY LINE BELOW FLOOR (SHOWN FOR REFERENCE)
14. EXISTING CONDUITS, REFRIGERANT LINES, VENT PIPES, ETC. SERVING ADJACENT OR TENANT SPACES BELOW TO REMAIN. PROTECT REQUIRED DURING DEMOLITION AND NEW CONSTRUCTION.

Rebecca Olson
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BECKY OLSON REGISTERED ARCHITECT 13066 NORTH CAROLINA St. Paul, MN 02.13.2017

PROJECT:

SALON LOFTS

DAVIDSON COMMONS

624 JETTON STREET
SUITE 250
DAVIDSON, NC 28036

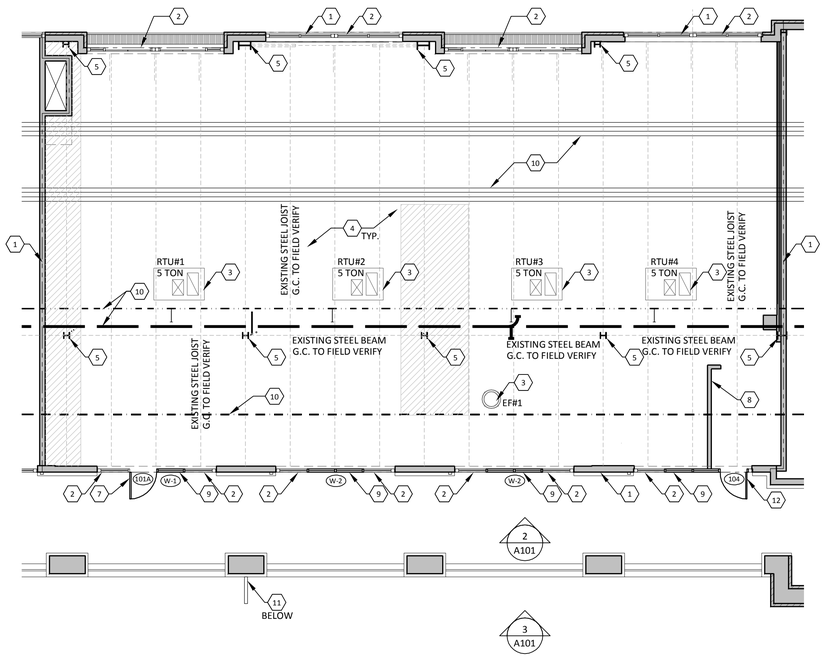
SALON LOFTS PROJECT NO.:

PROJECT NO.:	SL1622
DRAWN BY:	JNH
CHECKED BY:	SAW / RLO
ISSUES AND REVISIONS:	
CLIENT REVIEW	02.02.2017
FOR CONSTRUCTION	02.13.2017

SHEET TITLE:

DEMOLITION FLOOR PLAN

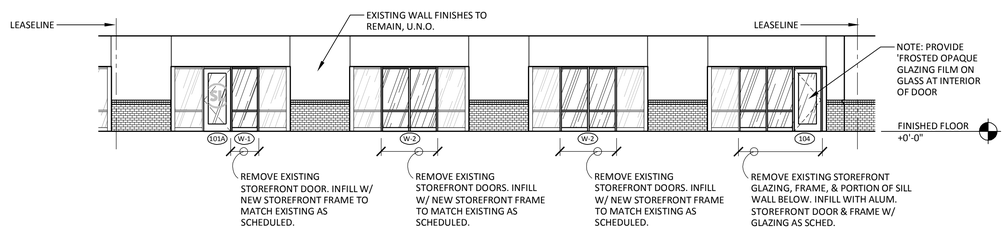
A100



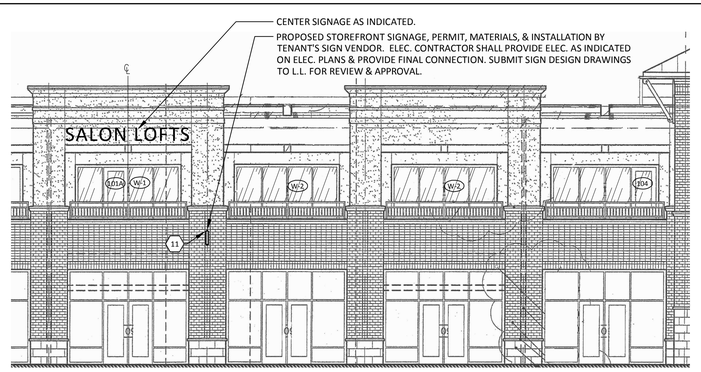
1 A101 BUILDING SHELL MODIFICATIONS PLAN
1/8"=1'-0"

KEY NOTES

1. LEASELINE.
2. EXISTING STOREFRONT GLAZING SYSTEM TO REMAIN. PROTECT FROM DAMAGE DURING DEMOLITION & CONSTRUCTION.
3. NEW GAS ROOF TOP HVAC UNIT/EXHAUST FAN, CURBS AND STRUCTURAL SUPPORTS AS REQUIRED BY LANDLORD. ALL ASSOCIATED UTILITY CONNECTIONS, CONDENSATE LINES, AND SPLASHBLOCKS BY LANDLORD. UNITS TO BE LOCATED WITH DROPS IN JOIST BAYS AS INDICATED. SEE G002 & MECHANICAL DRAWING FOR MORE INFORMATION.
4. PATCH & REPAIR EXISTING ROOF DUE TO NEW CONSTRUCTION AS REQ'D. COORDINATE WORK WITH MECHANICAL. USE LANDLORD APPROVED ROOFER IF REQ'D. SEE G002.
5. EXISTING STEEL COLUMN. PROTECT DURING NEW CONSTRUCTION AS REQ'D. PREP EXPOSED STEEL AS REQ'.D TO RECEIVE NEW FINISHES AS SCHEDULED.
6. NOT USED.
7. NEW ALUMINUM / GLAZING DOOR AS SCHEDULED IN EXISTING FRAME. PREP FRAME AS REQUIRED TO RECEIVE NEW DOOR AND HARDWARE.
8. EXISTING LANDLORD PROVIDED WALL FOR LANDLORD PROVIDED ELECTRICAL PANELS. PROTECT DURING DEMOLITION & NEW CONSTRUCTION AS REQ'D.
9. NEW ALUMINUM FRAME WITH GLAZING AS SCHEDULED TO MATCH EXISTING.
10. EXISTING SPRINKLER MAINS, WATER MAINS, SANITARY LINES, AND OVERHEAD ELECTRICAL CONDUITS SERVING ADJACENT TENANTS TO REMAIN. PROTECT AS REQUIRED DURING DEMOLITION AND NEW CONSTRUCTION.
11. NEW BLADE SIGN WITH 'SL' LOGO TO MEET LANDLORD'S BUILDING STANDARDS, SUPPLIED AND INSTALLED BY SALON LOFTS SIGNAGE VENDOR.
12. INSTALL SALVAGED STOREFRONT (DOOR #104). PROVIDE 'FROSTED OPAQUE' GLAZING FILM ON GLASS AT INTERIOR OF DOOR.



2 A101 EAST EXTERIOR STOREFRONT ELEVATION
1/8"=1'-0"



3 A101 EAST EXTERIOR ELEVATION
N.T.S.

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Saint Paul, MN

BECKY OLSON
REGISTERED ARCHITECT
13066
NORTH CAROLINA
St. Paul, MN
02.13.2017

PROJECT:

SALON LOFTS

DAVIDSON COMMONS

624 JETTON STREET
SUITE 250
DAVIDSON, NC 28036

SALON LOFTS PROJECT NO.:

PROJECT NO.:	SL1622
DRAWN BY:	JNH
CHECKED BY:	SAW / RLO

ISSUES AND REVISIONS:

CLIENT REVIEW	02.02.2017
FOR CONSTRUCTION	02.13.2017

SHEET TITLE:

BUILDING MODIFICATIONS PLAN, ELEVATIONS, & DETAILS

A101

SALON LOFTS

Rebecca Olson
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Rebecca Olson Architect, PLLC
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Saint Paul, Minnesota 55116
651.888.6885

March 20, 2017

Salon Lofts – Davidson Commons
Existing Storefront

SALON LOFTS

Rebecca Olson
ARCHITECT

Rebecca Olson Architect, PLLC
2145 Ford Parkway, Suite 301
Saint Paul, Minnesota 55116
651.888.6885

March 20, 2017

Salon Lofts – Davidson Commons
Proposed Storefront

Town of Davidson, NC
Design Review Board: Staff Analysis
Project Manager: Chad Hall
April 19, 2017

Project:	Changing façade at Davidson Commons
Location:	624 Jetton Street
Applicant:	Salon Lofts
Designer:	Rebecca Olsen, Architect
Planning Area:	Conditional

The applicant proposes changes to four upper level storefronts on the parking lot façade at Davidson Commons. No changes are proposed to the Jetton Street side. The requested change alters the function of entryways by removing certain doors and relocating others.

It appears that all transparency will remain the same, minus one door which is labelled to have a "frosted opaque" film. All framing is to match existing in color and style.

When the DRB reviewed this project in January 2008, it was stated that stick-on film would not be permissible on the Jetton Street façade. It was also mentioned that the parking lot side of the building was considered as secondary.

DAVIDSON PLANNING ORDINANCE:

Section 4.4.1.D. Facade Transparency

3. *All windows and glazing used to meet the minimum first floor requirements must allow views from habitable areas within the building to the street or property line and must allow passers-by a view into the habitable area of the building. Shelves and/or fixtures may not obstruct the view to the interior. Neither permanent nor temporary signage may reduce the window transparency requirement.*

Section 4.4.1.F. Architectural Details

4. *Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*

Section 4.5.6 STOREFRONT BUILDINGS TYPE

B. *At least 65% of the first floor facade between 2'-0" and 10'-0" above grade facing the primary streets must be transparent. At least 30% of the upper floors facades between 3'-0" and 120'-0" above finished floor must be transparent.*

T:\Planning_Shared_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2017 DRB Agendas\20170419_DRB Agenda\Davidson Commons Facade\20170411_DC Facade_Staff_Analysis.doc

Agenda Title: Farm2Family Canopy Sign

Summary:

ATTACHMENTS:

	Description	Upload Date	Type
	Application	4/12/2017	Exhibit
	Schematic	4/12/2017	Exhibit
	Existing Canopy	4/12/2017	Exhibit
	Proposed Sign on Canopy	4/12/2017	Exhibit
	Staff Analysis	4/12/2017	Exhibit

The Town of Davidson
College Town. Lake Town. Your Town.

Design Review

Farm 2 Family Foods
(Name of Project)

Contact Information

Applicant's Information

Name: Patrick Loyzelle- Hyperformance Graphics

E-Mail: Patrick@HPGHICKORYNC.COM

Mailing Address: 425 N. McLin Creek Rd.
Conover NC 28613

Business Phone: (828)294·1180 Mobile Phone: (828)851·9311

Property Owner's Information
(If Different from Applicant)

Name: Mark Estes

E-Mail: MESTES@healthyhomemkt.COM

Mailing Address: 261 Griffith St.
Davidson NC 28036

Business Phone: _____ Mobile Phone: _____

Architect's Information

Name of Firm: N/A

Architect's Name: _____

E-Mail: _____

Mailing Address: _____

_____

Business Phone: _____ Mobile Phone: _____

The Town of Davidson
College Town. Lake Town. Your Town.

Design Review

Farm 2 Family Foods
(Name of Project)

Sign - Project Description

Application Date: 3/22/17

Project Location: SADLER SQ. - 261 GRIFFITH
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s): 00325506

Planning Area: VILLAGE COMMERCE

Planning Area Overlay District: N/A

Master or Conditional Plan: —
(Include any conditions of approval)

General Statement of Intent: NEW AWNING/CANOPY SIGN

Project Details:

Project Type: ☐ individual sign ☒ multi-tenant building ☐ sign plan development

Sign Type: ☐ wall sign ☐ projecting sign ☐ hanging sign

☐ freestanding sign ☒ canopy/awning sign ☐ window/door sign

☐ building name ☐ sidewalk sign ☐ temporary sign

Other sign type:

Dimensions: 144" X 66" = 66# 1.5" THICK

Square Footage: 1320# X .05 = 66#

Height from grade: +/- 11'

Sign materials: ALUMINUM

Lighting: N/A

Existing Signs, include signs to remain and signs to be removed:

The Town of Davidson
College Town. Lake Town. Your Town.

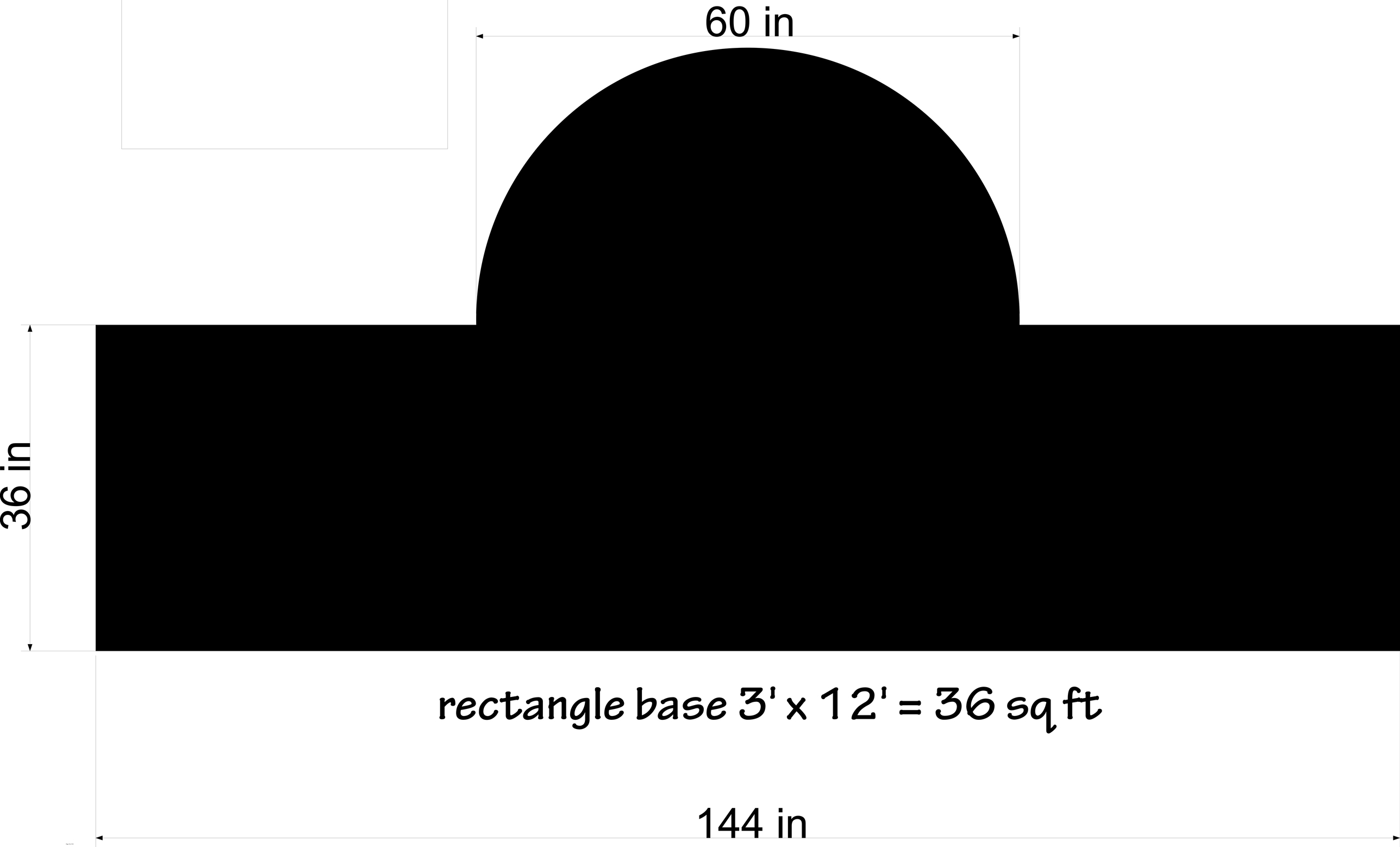
Design Review

(Name of Project)

Sign - Development Process

Date Completed	
3/15	☑ Initial Meeting
3/22	☑ Application and Fee
—	☐ Design Review Board Preliminary Review, if applicable
—	☐ Planning Director Review for Compliance with Planning Ordinance
	☐ Design Review Board Approval
	☐ Sign Permit Approval

1/2 circle top 5' full circle = 10 sq ft



rectangle base 3' x 12' = 36 sq ft

RESERVED PARKING
MAXIMUM PENALTY $ 250
VAN ACCESSIBLE
RESERVED PARKING
MAXIMUM PENALTY $ 250
VAN ACCESSIBLE

FARM 2 FAMILY FOODS
BY HEALTHY HOME MARKET
RESERVED PARKING
MAXIMUM PENALTY $ 250
VAN ACCESSIBLE
RESERVED PARKING
MAXIMUM PENALTY $ 250
VAN ACCESSIBLE

Town of Davidson, NC
Design Review Board: Staff Analysis
Project Manager: Chad Hall
April 19, 2017

Project:	Canopy Sign at Sadler Square
Location:	261 Griffith Street
Applicant:	Farm2Family Foods
Designer:	Hyperformance Graphics (Patrick Loyzelle)
Planning Area:	Village Commerce

The applicant proposes a new canopy sign at the entrance to the rebranded Farm2Family Foods store, facing Griffith Street. The bottom of the sign will be located approximately eleven feet above grade.

The proposed sign shape is rectangular with a half circle atop; as measured per the Davidson Planning Ordinance (DPO), this sign area is 66 square feet, also matching the maximum allowed sign size of five percent of the front façade area (1,320 sf).

The proposed sign is to be aluminum pan at 1.5 inches thick. The sign color is basically white, with a faux brick and mortar pattern as a background. The letter coloring is brown and green.

Lighting is already provided as a downlight from the awning structure.

The proposed canopy sign meets all dimensional requirements of the Davidson Planning Ordinance.

DAVIDSON PLANNING ORDINANCE:

Section 11.3.1.2 Multi-Tenant Buildings

Each tenant on the street on ground-level may display one of the following signs on each façade: wall, projecting, hanging, freestanding, and two additional from the following: sidewalk, awning, canopy, window, or door.

Section 11.4.1.5 CANOPY SIGN

A sign attached to, painted on, or printed onto a canopy.

1. ***Permitted Location***
    - *On the canopy fascia or above the canopy of any canopies above entryways or storefront windows.*
2. ***Area & Dimensions***
    - *Maximum sign area is five percent of the ground floor facade area on which the sign is located OR 24 square feet, whichever is greater. The Design Review Board must approve all signs greater than 24 square feet.*

- *If used in combination with wall signs, the total combined square footage may not exceed the total allowable wall sign area.*
- *Maximum area may be split into no more than three signs - the front and two sides of the canopy.*

3. Height

- *18 feet maximum - applies to both the sign and the canopy.*
- *A minimum of seven feet of clearance must be maintained between the bottom of the sign and the grade.*

4. Additional Requirements

- *Internally illuminated signs, including LED signs are not permitted.*

T:\Planning_Shared_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2017 DRB Agendas\20170419_DRB Agenda\Farm2Family Sign_Sadler Sq\20170411_F2F Sign_Staff_Analysis.doc

Agenda Title: The Stewart Group - Projecting and Door Signs

Summary:

ATTACHMENTS:

	Description	Upload Date	Type
	Application and Exhibits	4/12/2017	Cover Memo
	Staff Analysis	4/12/2017	Cover Memo

Design Review

The Town of Davidson
College Town. Lake Town. Your Town.

TS6 Residential
(Name of Project)

Sign - Application Requirements

Date Received		
	☒	Application Fee per Town of Davidson Fee Schedule
	☒	Contact Information
	☒	Project Description (including General Statement of Intent)
	☐	Statement of Compliance with Section 9 N/A
	☐	Any Approved Sign Plan or Conditional Planning Area for Signs (including all renderings, plans, and conditions of approval) N/A
	☒	Site and Building Plan Indicating the Location of all Signs
	☒	Color Photos (including existing and adjacent sites and building(s) showing signage taken from the perspective of the public streets adjacent to the site)
	☒	List of all Existing Signs with their Location and Dimensions
	☒	Color Photo of Building(s) with Proposed Sign(s) Superimposed
	☐	Landscape Schematic Design in accordance with Section 8.6 N/A
	☒	Representative Materials and Colors
	☐	Proposed Lighting Type and Location N/A
	☐	Statement of Compliance with Planning Ordinance Section 14 N/A

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

Applicant's Signature

3/19/17
Date

The Town of Davidson
College Town. Lake Town. Your Town.

Design Review

TSG Residential / [redacted]
(Name of Project)

Contact Information

Applicant's Information

Name: Michael Orlando

E-Mail: mike@tsgresidential.com

Mailing Address: PO Box 1017
Davidson, NC 28036

Business Phone: _____ Mobile Phone: 704-293-3957

Property Owner's Information
(If Different from Applicant)

Name: Vogen Properties, LLC - Eric Vogen

E-Mail: ev.vision@gmail.com

Mailing Address: 108 S. Main St, Suite E
Davidson, NC 28036

Business Phone: _____ Mobile Phone: 704-604-4901

Architect's Information

Name of Firm: Artisan Signs and Graphics

Architect's Name: Designer: Gary Ackens

E-Mail: gary@artisansignsandgraphics.com

Mailing Address: 18335 Old Statesville Rd
Cornelius, NC 28031

Business Phone: 704-765-1764 Mobile Phone: _____

Design Review

The Town of Davidson
College Town. Lake Town. *Your Town.*

TSG Residential
(Name of Project)

Sign - Project Description

Application Date: March 16, 2017

Project Location: 108 S. Main Street, Suite A
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s): 003 25 813

Planning Area: Infill - Village Center

Planning Area Overlay District: Historic District

Master or Conditional Plan: N/A
(Include any conditions of approval)

General Statement of Intent: To replace existing Sanctuary Gallery signs with similarly sized signs for our business

Project Details:

Project Type: ☐ individual sign ☐ multi-tenant building ☐ sign plan development

Sign Type: ☐ wall sign ☐ projecting sign ☒ hanging sign

☐ freestanding sign ☐ canopy/awning sign ☒ window/door sign

☐ building name ☐ sidewalk sign ☐ temporary sign

Other sign type:

Dimensions: 36" x 36" hanging

Square Footage: 9 SF

Height from grade: 10.5 feet

Sign materials: Aluminum - Double sided

Lighting: Existing lights on building will stay - no new lighting

Existing Signs, include signs to remain and signs to be removed:

Removing "Sanctuary Art Gallery" sign + replacing with exact same sized sign - removing Sanctuary lettering on door

And replacing with TSG Residential Logo. Please note we are leaving room above the logo for the gallery logo once complete. Gallery application will be separate.

1103

TSG RESIDENTIAL LLC
P.O. BOX 1017
DAVIDSON, NC 28036

BB&T
BRANCH BANKING AND TRUST COMPANY
NORTH CAROLINA
66-112-531

3/16/2017

PAY TO THE ORDER OF Town of Davidson $ **225.00

Two Hundred Twenty-Five and 00/100********** DOLLARS

Security features. Details on back.

MEMO

AUTHORIZED SIGNATURE

⑈00001103⑈ ⑆053101121⑆0005201622532⑈

TSG Residential Sign/Lettering Application

General Statement of Intent/Project Description:

TSG Residential will be occupying the back 1/3rd of 108 S. Main Street, Suite A. The Ava Gallery will be occupying the front 2/3rds of the space and will submit a separate application for its sign. Please note that gallery signs will occupy only space on the glass door and the three exterior windows. TSG Residential will replace the existing projecting 3ft x 3ft Sanctuary Art Gallery sign with a sign of exact same dimensions in the exact same location. We will not be replacing lighting nor altering the building exterior in any way.

Please note the following existing sign/door lettering that will be replaced on the front facade of the building facing Main Street:

Proposed New Sign Info: The new projecting sign will be 3ft x 3ft x 2in (9 Total Square feet) and project less than 48" from the building including rail from which it hangs. The sign will be high quality aluminum with acrylic logo and lettering in relief similar to the Sanctuary Art Gallery Sign. The door will be a simple vinyl logo lettering. The sign will be the same distance from the ground as the existing sign (10 feet) and meets the criteria described in Planning Ordinance Section 11.4.1.7 for Projecting Signs (Less than 12 square feet, three foot maximum width, four feet maximum width from building, height less than 18 feet but higher than seven feet from the grade, and must be perpendicular to the building facade).

TSG Residential Sign/Lettering Application

Proposed New Signs:

Artisan signs&graphics
Creatively promoting your brand.

18335 Old Statesville Rd.
Cornelius, NC 28031
704-655-9100
www.artisansignsandgraphics.com

Proof Date: 02/27/2017_R0

Filepath: \ TSG Residential\DLT_HangingSign_DF.ai

Project Specifications:

Specs

Color Use: NO PMS

PMS
PMS
PMS
PMS

The drawing and all designs herein are the sole property of Artisan Graphics and may not be reproduced, transferred, published or used in any way without prior written consent.

Note that glass will not be blacked out.
This was just to illustrate the logo without
All of the Sanctuary's information behind.

16" x 18" Digital Vinyl Print

Artisan signs&graphics
Creatively promoting your brand.

18335 Old Statesville Rd.
Cornelius, NC 28031
704-655-9100
www.artisansignsandgraphics.com

Proof Date: 03/22/2017_R0

Filepath: \ TSG Residential / RTA_GlassDoor_DF.ai

Project Specifications:

Specs

Color Use: NO PMS

☐ PMS
☐ PMS
☐ PMS
☐ PMS

The drawing and all designs herein are the sole property of Artisan Graphics and may not be reproduced, transferred, published or used in any way without prior written consent.

Town of Davidson, NC
Design Review Board: Staff Analysis
Project Manager: Chad Hall
April 19, 2017

Project:	Projecting Sign and Door Sign
Location:	108 South Main Street
Applicant:	The Stewart Group
Designer:	Artisan Sign and Graphics (Gary Dickens)
Planning Area:	Village Center within Local Historic District

The applicant proposes two new signs at the entrance to 108 South Main Street (formerly Sanctuary). The two signs are a Projecting Sign and a Door Sign.

PROJECTING SIGN

The proposed projecting sign shape is three foot square (9 square feet per side), is two inches thick and will be mounted on the existing arm projecting from the building. It will project less than 48 inches from the building and the bottom of the sign will be approximately ten feet from grade. Lighting is already provided as a downlight from the building.

The proposed sign is to be aluminum box at 2 inches thick. The sign color features a gray background, with white lettering and an orange TSG logo. The endplate, facing Main Street, will read "real estate" in orange.

The proposed projecting sign meets all dimensional requirements of the Davidson Planning Ordinance.

DOOR SIGN

The proposed door sign is a 16 inch by 18 inch vinyl print that will be affixed to the front door. It features the same white letters and orange TSG logo as from the projecting sign.

This door sign also meets all dimensional requirements of the Davidson Planning Ordinance.

The building is located within the Village Center Planning Area. This building is considered to be a storefront building and is a contributing structure in the Local Historic District. As such, the Historic Preservation Commission (HPC) may use its Design Guidelines to ensure that facades, site and their features meet the spirit and intent of the Davidson Planning Ordinance, even if all aspects do not necessarily meet the requirements for façades.

DAVIDSON PLANNING ORDINANCE:

Section 11.2.2.B Required Permits

All signs proposed to be affixed to a structure in the Local Historic Overlay District must be approved by the Design & Historic Review Board to determine that the signage meets the provisions of this section and any additional historic district requirements.

Section 11.3.1.2 Multi-Tenant Buildings
Each tenant on the street on ground-level may display one of the following signs on each façade: wall, projecting, hanging, freestanding, and two additional from the following: sidewalk, awning, canopy, window, or door.

Section 11.4.1.7 Projecting Sign
A sign directly attached and not parallel to a building facade or dependent upon a building for its support.

1. *Permitted Location*
    - *Building facades that front a right-of-way, pedestrian passageway, and/or parking associated with the establishment*
2. *Area & Dimensions*
    - *12 square feet maximum, per side*
    - *Three feet maximum width*
    - *Four feet maximum projection from building*
3. *Height*
    - *18 feet maximum*
    - *A minimum of seven feet of clearance must be maintained between the bottom of the sign and the grade*
4. *Additional Requirements*
    - *Must be perpendicular to the building facade. Internally illuminated signs are not permitted. Any external illumination may not be attached to the sign.*

Section 11.4.1.4 Door Sign
A sign applied, mounted or painted on the solid portion of a door; or a sign that is attached, applied, painted, silk screened, or etched onto the glass pane of a door.

1. *Permitted Location*
    - *Storefront doors only*
2. *Area & Dimensions*
    - *Two square feet maximum per door*
3. *Height*
    - *None*
4. *Additional Requirements*
    - *Internally illuminated signs, including LED signs, are not permitted*

HISTORIC DISTRICT DESIGN GUIDELINES:

Signs

5. *Introduce new signs, if needed, in traditional locations where they do not diminish or compromise the overall historic character of the building, site, or district. Design new signs to be compatible in location, configuration, orientation, height, material, scale, and detail with the historic character of the building, site, and district.*

7. *Construct new signs in traditional materials, such as wood, stone, or metal, or apply lettering and graphics on display windows or awning fabric. It is not appropriate to introduce signage in contemporary materials such as plastics or to introduce internally lighted signage that is incompatible with the overall historic character of the district.*

Agenda Title: Ben & Jerry's - Walls Signs and Awnings

Summary:

ATTACHMENTS:

	Description	Upload Date	Type
	Application	4/12/2017	Exhibit
	Proposed Signs	4/12/2017	Cover Memo
	Awning Example	4/12/2017	Exhibit
	Small Awning Example	4/12/2017	Exhibit
	Staff Analysis	4/12/2017	Exhibit

Design Review

Ben + Jerry's Signage
(Name of Project)

Sign - Project Description

Application Date: 4/10/2017

Project Location: Side/front of Building/awning
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s): 00325837

Planning Area: VILLAGE CENTER. LOCAL HISTORIC DISTRICT

Planning Area Overlay District: LHD

Master or Conditional Plan: —
(Include any conditions of approval)

General Statement of Intent: REPLACE FRONT SIGN; NEW SIDE WALL SIGN. NEW AWNINGS (2).

Project Details:

Project Type: ☐ individual sign ☐ multi-tenant building ☐ sign plan development

Sign Type: ☒ wall sign ☐ projecting sign ☐ hanging sign
☐ freestanding sign ☒ canopy/awning sign ☐ window/door sign
☐ building name ☐ sidewalk sign ☐ temporary sign

Other sign type: Cloud awning

Dimensions: Small cone sign

Square Footage: Replacement Sf. front sign.

Height from grade: SEE DRAWINGS

Sign materials: MATL

Lighting: DOWNLIGHT (EXISTING)

Existing Signs, include signs to remain and signs to be removed:
Replace existing

The Town of Davidson
College Town. Lake Town. Your Town.

Design Review

Ben & Jerry's Signage
(Name of Project)

Contact Information

Applicant's Information

Name: Karen Toney Aka Ben & Jerry's Ice Cream

E-Mail: Scoopss44@gmail.com

Mailing Address: P.O. Box 1761
Dav. 28036

Business Phone: 704 892 0604 Mobile Phone: 704 877-3007

Property Owner's Information
(If Different from Applicant)

Name: Jentz Pickled Peach

E-Mail: oikodomeproperties@gmail.com

Mailing Address:

Business Phone: Mobile Phone: 704 975 4235

Architect's Information

Name of Firm:

Architect's Name:

E-Mail:

Mailing Address:

Business Phone: Mobile Phone:

The Town of Davidson

College Town. Lake Town. *Your Town.*

Design Review

Ben & Jerrys Signage
(Name of Project)

Sign - Application Requirements

Date Received		
4/11 2017	☑	Application Fee per Town of Davidson Fee Schedule
	☑	Contact Information
	☑	Project Description (including General Statement of Intent)
	☐	Statement of Compliance with Section 9
	☐	Any Approved Sign Plan or Conditional Planning Area for Signs (including all renderings, plans, and conditions of approval)
	☐	Site and Building Plan Indicating the Location of all Signs
	☑	Color Photos (including existing and adjacent sites and building(s) showing signage taken from the perspective of the public streets adjacent to the site)
	☐	List of all Existing Signs with their Location and Dimensions
	☑	Color Photo of Building(s) with Proposed Sign(s) Superimposed
	☐	Landscape Schematic Design in accordance with Section 8.6
	☑	Representative Materials and Colors
	☐	Proposed Lighting Type and Location
	☐	Statement of Compliance with Planning Ordinance Section 14

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

Applicant's Signature _____ Date _____

The Town of Davidson

College Town. Lake Town. *Your Town.*

Design Review

Ben + Jerry's Signage

(Name of Project)

Sign - Development Process

Date Completed	
4/5	☑ Initial Meeting
4/11	☑ Application and Fee
—	☐ Design Review Board Preliminary Review, if applicable
—	☐ Planning Director Review for Compliance with Planning Ordinance
	☐ Design Review Board Approval
	☐ Sign Permit Approval

Town of Davidson
Post Office Box 579
Davidson, NC 28036
(704) 892-7591

14344

DATE 11 Apr 2017

RECEIVED FROM Ken Williams

50 (fifty)

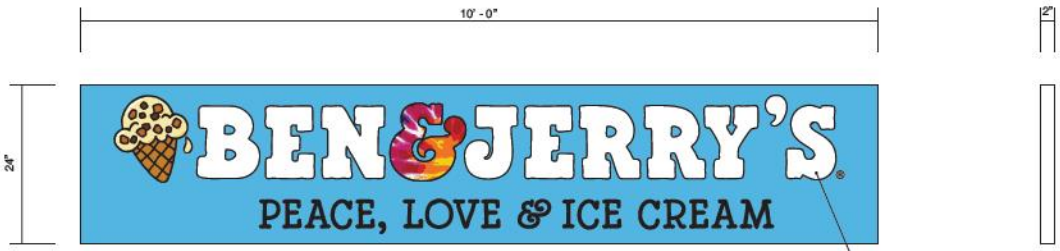
DOLLARS

Account Total $ 50

Amount Paid $ 50

Balance Due $ –

☐ Visa ☐ Mastercard

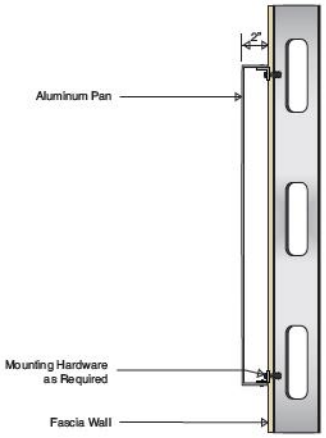


S/F Non-Illuminated Pan Sign
Scale: 3/4" = 1' - 0"

Photographic Rendering
Not to Scale

Color Notes:

Aluminum Pan	
• Pan	Painted PMS 298C Blue
• Border & Return	Painted PMS 298C Blue
• Copy	Black Vinyl & Digital Print Overlay



Detail of Side Section
Not to Scale

Note: All illuminated signs are manufactured for 120 volt circuits. Letter strokes may be modified as required to accept light source.

Page: 1

RITELITE SIGNS, INC.
1000 Biscayne Drive
Concord, NC 28027
704.788.7097
fax: 704.788.7091

Client:
BEN&JERRY'S
PEACE, LOVE & ICE CREAM

Job Location:
Cornelius, NC

Designer:	Salesperson:
YPV	RL
Project #: 15215	Date: 22 Feb 17

Revision Date:
1 March 17YPV

Drawing # & File Location:
2017 All/BBen & Jerry's/15215

Customer Approval: Date:

Land Lord Approval: Date:

Production Approval: Date:

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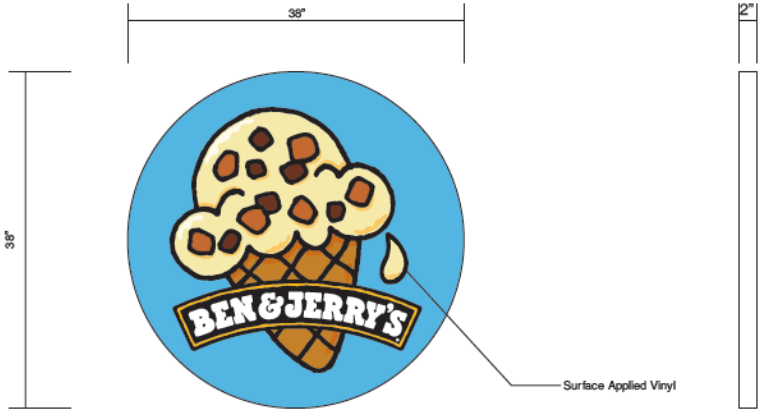
UNDERWRITERS LABORATORIES



S/F Non-Illuminated Pan Sign

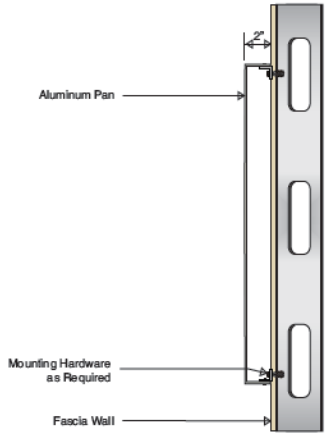
Scale: 1" = 1' - 0"

Photographic Rendering

Not to Scale

Color Notes:

Aluminum Pan	
• Pan	White
• Border & Return	White
• Copy	Digital Print Overlay



Detail of Side Section

Not to Scale

Note: All illuminated signs are manufactured for 120 volt circuits. Letter strokes may be modified as required to accept light source.

RITE LITE SIGNS, INC.
1000 Biscayne Drive
Concord, NC 28027
704.788.7097
fax: 704.788.7091

Client: BEN & JERRY'S PEACE, LOVE & ICE CREAM

Job Location: Cornelius, NC

Designer:	Salesperson:
YPV	RL
Project #: 15215	Date: 22 Feb 17

Revision Date: 1 March 17YPV

Drawing # & File Location: 2017 Art/B/Ben & Jerry's/15215

Customer Approval: Date:

Land Lord Approval: Date:

Production Approval: Date:

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UNDERWRITERS LABORATORIES

BEN & JERRY'S
7800

BEN & JERRY'S
ICE CREAM & FROZEN YOGURT

Town of Davidson, NC
Design Review Board: Staff Analysis
Project Manager: Chad Hall
April 19, 2017

Project:	Wall Signs and Awnings
Location:	202 South Main Street
Applicant:	Ben & Jerry's (Karen Toney)
Designer:	Ben & Jerry's Corporate
Planning Area:	Village Center within Local Historic District

The applicant proposes signage changes to the front and side elevations of Ben & Jerry's, located at 202 South Main Street. The changes include two new wall signs and replacement of the awnings on each façade.

WALL SIGN – MAIN STREET

The proposed wall sign facing Main Street is a rectangular in-kind replacement of the sign that fell last year. The sign is 20 square feet (10'x2') and lighting is already provided as a downlight from the building. The proposed sign is to be aluminum pan at 2 inches thick. The sign color is blue, with white lettering, a tie-dye ampersand and an ice cream cone.

WALL SIGN – PARKING LOT

The proposed wall sign facing the parking lot is a round sign which will replace an existing multi-shaped sign. As measured per the Davidson Planning Ordinance (DPO), it is approximately ten square feet, which is under five percent of their façade. The proposed sign is to be aluminum pan at 2 inches thick. The sign color is blue, with white lettering and an ice cream cone.

Both proposed wall signs meet all dimensional requirements of the Davidson Planning Ordinance.

AWNINGS

There are three awnings that exist on the building, all with lettering on each side of each awning. One large awning is located over the window fronting Main Street. There are also two small awnings over windows on the parking lot side of the building. The proposal is to replace each awning with a blue awning featuring clouds; there would not be any lettering on the awnings and they would not be backlit.

The building is located within the Village Center Planning Area. This building is considered to be a storefront building and is a contributing structure in the Local Historic District. As such, the Historic Preservation Commission (HPC) may use its Design Guidelines to ensure that facades, sites and their features meet the spirit and intent of the Davidson Planning Ordinance, even if all aspects do not necessarily meet the requirements for façades.

DAVIDSON PLANNING ORDINANCE:

Section 11.2.2.B Required Permits

All signs proposed to be affixed to a structure in the Local Historic Overlay District must be approved by the Design & Historic Review Board to determine that the signage meets the provisions of this section and any additional historic district requirements.

Section 11.3.1.2 Multi-Tenant Buildings

Each tenant on the street on ground-level may display one of the following signs on each façade: wall, projecting, hanging, freestanding, and two additional from the following: sidewalk, awning, canopy, window, or door.

Section 11.4.1.2 Wall Sign

A sign directly attached and parallel to a building façade or dependent upon a building for its support. Wall signs may consist of sign board, metal, or channel letters mounted directly on wall or via raceway, neon, or paint directly on brick.

1. *Permitted Location*
    - *Building facades that face the right of way, pedestrian passageways, and/or parking associated with the establishment.*
2. *Area & Dimensions*
    - *Maximum sign area per facade is five percent of the ground floor facade area on which the sign is located OR 24 square feet, whichever is greater. The Design Review Board must approve all signs greater than 24 square feet.*
    - *For multi-bay, multi-tenant buildings, the facade area shall include only that portion of the facade designed for a specific tenant.*
3. *Height*
    - *The top of a wall sign shall not exceed 18 feet above grade.*
4. *Additional Requirements*
    - *Internally illuminated signs, including LED signs, are not permitted.*
    - *Signs must either be a minimum of 1.5 inches thick or include a 1.5 to 2 inch border.*

HISTORIC DISTRICT DESIGN GUIDELINES:

Signs

5. *Introduce new signs, if needed, in traditional locations where they do not diminish or compromise the overall historic character of the building, site, or district. Design new signs to be compatible in location, configuration, orientation, height, material, scale, and detail with the historic character of the building, site, and district.*

7. *Construct new signs in traditional materials, such as wood, stone, or metal, or apply lettering and graphics on display windows or awning fabric. It is not appropriate to introduce signage in contemporary materials such as plastics or to introduce internally lighted signage that is incompatible with the overall historic character of the district.*

Storefronts

7. *If desired and historically appropriate, install fabric awnings over storefronts so that historic features of the building are not obscured or damaged.*

Agenda Title: Pickled Peach - Side Door

Summary:

ATTACHMENTS:

	Description	Upload Date	Type
	Application	4/12/2017	Exhibit
	Existing Conditions 1	4/12/2017	Exhibit
	Existing Conditions 2	4/12/2017	Exhibit
	20170329_Pickled Peach Set	4/12/2017	Exhibit
	20170330_PP-Door Drawing	4/12/2017	Exhibit
	Staff Analysis	4/12/2017	Exhibit

The Town of Davidson
College Town. Lake Town. Your Town.

Certificate of Appropriateness

The Pickled Peach - new back door
(Name of Project)

Project Description

Application Date: 3/28/2017

Project Location: 202 S. Main St., Suite E
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s): 00 32 5837

Planning Area: Village Center

Master or Conditional Plan:
(Include any conditions of approval)

General Statement of Intent: We would like to add an additional door to the south side of the building on the addition.

Project Details:

Project Type:
- [ ] new structure
- [ ] addition
- [x] exterior alteration
- [ ] sign
- [ ] vendor cart
- [ ] demolition

Building Type: one story brick

Building Materials: brick, wood, glass; metal door

Colors: Sandyhook gray, iron mountain (Benjamin Moore)

Architectural Features:

Existing Site Conditions: (include significant physical, environmental, and cultural features; significant and heritage trees, existing structures; and infrastructure and street layout)

The Town of Davidson
College Town. Lake Town. Your Town.

Certificate of Appropriateness

The Pickled Peach - new back door
(Name of Project)

Contact Information

Applicant's Information

Name: Jen Jentz

E-Mail: jen@thepickledpeach.com

Mailing Address: PO Box 2193

Davidson, NC 28036

Business Phone: 704.765.2190 Mobile Phone: 704.975.4235

Property Owner's Information

(If Different from Applicant)

Name:

E-Mail:

Mailing Address:

Business Phone: Mobile Phone:

Architect's Information

Name of Firm:

Architect's Name:

E-Mail:

Mailing Address:

Business Phone: Mobile Phone:

The Town of Davidson
College Town. Lake Town. Your Town.

Design Review

The Pickled Peach - new back door
(Name of Project)

Project Description

Application Date: 3/29/2017

Project Location: 202. S. Main St., Suite E

Tax Parcel(s): 00325837

Planning Area: Village Center

Overlay District: Local Historic

Master or Cond.Plan
(Attach Conditions of Approval)

Gen. Statement of Intent: We would like to add an additional door to the south side of the building on the addition.

Project Details:

- Project Type: [X] Individual Bldg. [ ] Master Plan [ ] Conditional Planning Area [ ] Sign
- Building Type: [ ] Detached House [ ] Townhouse [ ] Attached House (Tri- or Quadplex) [ ] Institutional [ ] Live/Work [ ] Multi-family (Apts., Condos, Flats) [ ] Workplace [X] Storefront [ ] Accessory Structure
- Use(s): retail, restaurant
- Height & Stories: one story
- Square Footage: ≈ 4,000 sq. ft.
- Building Materials: brick, wood

Architectural Features:

Existing Site Conditions:
See 14.12.2.D

Design Review

The Town of Davidson
College Town. Lake Town. Your Town

The Pickled Peach - new back door
(Name of Project)

Contact Information

Applicant's Information

Name: Jen Jentz

E-Mail: jen@thepickledpeach.com

Mailing Address: PO Box 2193

Davidson, NC

Business Phone: 704.765.2190 Mobile Phone: 704.975.4235

Property Owner's Information

(If Different from Applicant)

Name:

E-Mail:

Mailing Address:

Business Phone: Mobile Phone:

Architect's Information

Name of Firm:

Architect's Name:

E-Mail:

Mailing Address:

Business Phone: Mobile Phone:

New metal door to be located to right of existing door.

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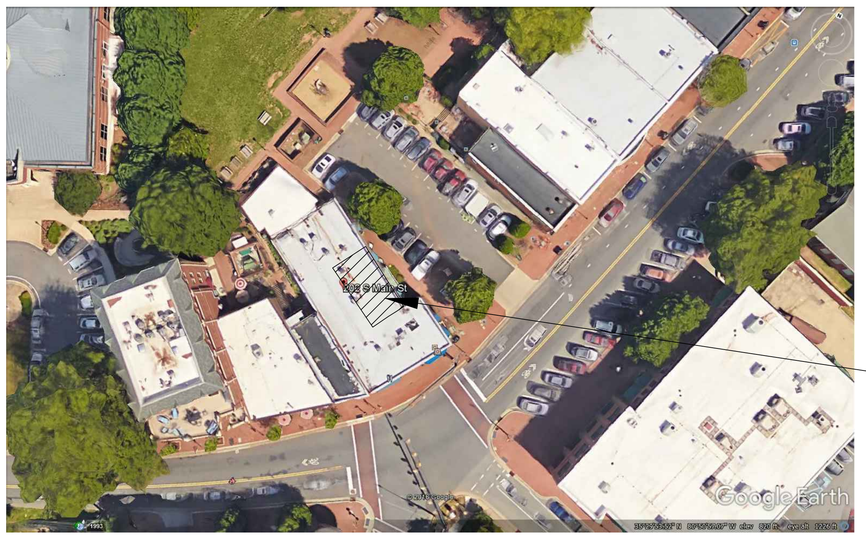
RENOVATION FOR PICKLED PEACH
202 S. MAIN STREET, SUITE E
DAVIDSON, NC 28036



SCOPE OF WORK

2 CV1 SCOPE OF WORK
SCALE: NTS

DESIGN TEAM

DESIGN TEAM:

OWNER
JEN JENTZ
202 S. MAIN ST.
SUITE E
DAVIDSON, NC 28036

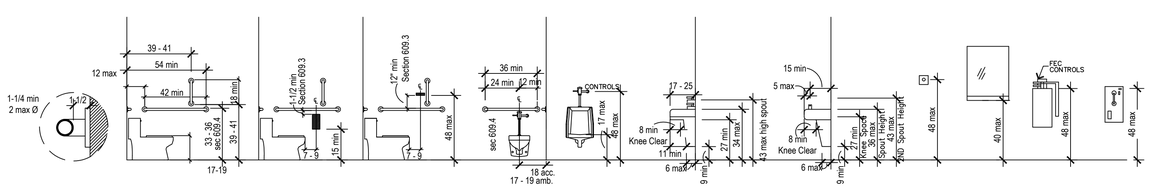
ARCHITECT & INTERIOR DESIGNER
RBA ARCHITECTURE & INTERIORS
122-B WEST BLAND STREET
CHARLOTTE, NC 28203
(704) 344-9098

PLUMBING, MECHANICAL & ELECTRICAL ENGINEER
WAVE ENGINEERING
122-A WEST BLAND STREET
CHARLOTTE, NC 28203
(980) 256-7728

###	DATE	DESCRIPTION
	03242016	SET

INDEX OF DRAWINGS

	COVER SHEETS	
CV1	COVER SHEET: SYMBOLS INDEX, DRAWING INDEX & NOTES	●
CV2	APPENDIX B, ENERGY SUMMARY & DIAGRAMS	●
CV3	ARCHITECTURAL NOTES	●
	ARCHITECTURAL SHEETS	
A0.1	KEY PLAN	●
A0.2	LIFE SAFETY PLAN	●
A1.0	DEMOLITION PLAN	●
A1.1	NEW FLOOR PLAN	●
A1.2	DEMO RCP	●
A1.3	NEW RCP	●
A2.0	FINISH FLOOR PLAN	●
A2.1	EQUIPMENT/POWER PLAN	●
A2.2	INTERIOR ELEVATIONS	●
A2.3	INTERIOR ELEVATIONS	●
A2.4	EXTERIOR ELEVATIONS	●
A3.0	MILLWORK DETAILS	●
	PLUMBING SHEETS	
P0.1	PLUMBING NOTES, SCHEDULES AND DETAILS	●
P1.1	PLUMBING FLOOR PLAN	●
	MECHANICAL SHEETS	
M0.1	MECHANICAL SCHEDULES, NOTES AND LEGEND	●
M1.1	MECHANICAL PLAN AND DETAILS	●
M2.1	MECHANICAL COMCHECK	●
	ELECTRICAL SHEETS	
E0.1	ELECTRICAL SYMBOLS AND SPECIFICATION	●
E1.1	LIGHTING PLAN & COMCHECK	●
E2.1	POWER PLAN AND DETAILS	●



1 CV1 MOUNTING HEIGHTS
SCALE: NTS

RBA GROUP
ARCHITECTURE
INTERIORS
122-B W. Bland St.
Charlotte, NC 28203
704.344.9098

THE RBA GROUP, INC. REGISTERED ARCHITECTURAL FIRM 51136 NORTH CAROLINA CHARLOTTE, N.C.

CHRISTOPHER HOLLOWELL BYERS REGISTERED ARCHITECT 7753 NORTH CAROLINA CHARLOTTE, N.C.
03.31.17

202 S. MAIN STREET
SUITE E
DAVIDSON, NC 28036

OWNER SET	#1
BID SET	#1
BUILDING DEPT	#0
FIRE MARSHAL	#0
HEALTH DEPT	#0

ISSUE DATE: 3.31.17

PICKLED PEACH

REVISION **DATE**

no.	date	comment
1		
2		
3		
4		
5		
6		
7		

DRAWN BY	**JF**
CHECKED BY	**AH**
PROJECT DATE	**3.31.2017**
PROJECT NUMBER	**17-1867R**

COVER SHEET

CV1

2012 APPENDIX B
BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS

(EXCEPT 1 & 2 FAMILY DWELLINGS & TOWNHOUSES)

a. PROJECT INFORMATION - (REQUIRED INFORMATION FOR ALL PROJECTS)

NAME OF PROJECT: PICKLED PEACH

ADDRESS: 202 S. MAIN STREET SUITE E ZIP CODE: 28036

PROPOSED USE: RETAIL AND JUICE BAR

OWNER/AUTHORIZED AGENT: JEN JENTZ PHONE #: (704)561-3059 EMAIL: jenjentz@gmail.com

OWNED BY: ☐ CITY / COUNTY ■ PRIVATE ☐ STATE

CODE ENFORCEMENT JURISDICTION: ☐ CITY _____ ■ COUNTY Mecklenburg ☐ STATE

b. PROJECT SUMMARY/ ALTERNATE MEANS OF COMPLIANCE- (REQUIRED INFORMATION FOR ALL PROJECTS)

BUILDING DESCRIPTION: THIS IS AN EXISTING BUILDING.

SCOPE OF WORK DETAILS: (IF PHASED CONST. SEE SUBMITTAL GUIDELINES):

EXPANDING INTO NEXT TENANT SPACE AS INTERIOR UP-FIT FOR NEW ADDITION TO EXISTING SPACE.

DOES THIS PROJECT HAVE AIR RIGHTS, EASEMENTS, AN ASSUMED OR DEEDED PROPERTY LINE, NO BUILD EASEMENTS OR OTHER CIRCUMSTANCES SIMILAR TO THE AFOREMENTIONED? ☐ NO ☐ YES (IF YES, PLEASE PROVIDE A COPY OF THE OFFICE DOCUMENTS)

RENOVATION PROJECTS ONLY: IF YOU ARE USING CHAPTER 34 (3412-EXISTING BUILDINGS) IN THE NCSBC OR NFPA 101 AS AN ALTERNATIVE FOR CODE COMPLIANCE PLEASE SCHEDULE A PRELIMINARY REVIEW BEFORE SUBMITTING YOUR PROJECT FOR REVIEW. NOTES FOR PLANS EXAMINER AND INSPECTORS: PLEASE REPRODUCE THE EVALUATION FORM ON THE PLANS.

N/A

ALTERNATE MEANS OF COMPLIANCE/ENGINEERING JUDGEMENT: (APPROVAL FROM THE CODE ADMINISTRATOR IS REQUIRED BEFORE SUBMITTING)

N/A

☐ INDUSTRIAL EQUIPMENT WITH DECLARATION DOCUMENT ATTACHED:

☐ RTAP (REVISIONS TO APPROVED PLANS)

c. DESIGN PROFESSIONAL INFORMATION (REQUIRED INFORMATION FOR ALL PROJECTS)

LEAD DESIGN PROFESSIONAL: CHRISTOPHER BYERS - THE RBA GROUP

DESIGNER	FIRM	NAME	LICENSE#	PHONE#	E-MAIL
ARCHITECTURAL	The RBA Group	Chris Byers	7753	(704 344.9098	cbyers@therbagroup.com
CIVIL					
ELECTRICAL	Wave Engineering	Michael J Senuda	037734	(980 256.7728	asolar@waveengineering.com
FIRE ALARM					
PLUMBING	Wave Engineering	Michael J Senuda	037734	(980 256.7728	asolar@waveengineering.com
MECHANICAL	Wave Engineering	Michael J Senuda	037734	(980 256.7728	asolar@waveengineering.com
SPRINKLER / STANDPIPE	Wave Engineering	Michael J Senuda	037734	(980 256.7728	asolar@waveengineering.com
STRUCTURAL					
RETAINING WALLS > 5' HIGH					
OTHER					

d. TYPE OF WORK BEING PERFORMED - (REQUIRED INFORMATION FOR ALL PROJECTS)

WHAT TYPE OF WORK IS BEING PERFORMED?

☐ NEW CONSTRUCTION: (A PROJECT FROM THE SITE WORK THROUGH THE COMPLETION OF WORK IS REQUIRED FOR TENANT OCCUPANCY) THIS INCLUDES SHELL BUILDINGS.

☐ ADDITION: (AN EXISTING BUILDING THAT IS ADDING HEATED OR UNHEATED SPACE. THIS COULD BE AN ADDITION TO THE FOOTPRINT OR A VERTICAL EXPANSION)

☐ UPFIT: (FIRST TIME INTERIOR COMPLETION)

■ ALTERATION/RENOVATION: (PREVIOUSLY OCCUPIED SPACE) THIS INCLUDES CHANGE OF USE.

e. CODE INFORMATION - NCSBC - (IF USING THE REHAB CODE GO TO SECTION F.)

BUILDING CODE: ■ 2012 NORTH CAROLINA STATE BUILDING CODE (NCSBC)
☐ 2012 CHAPTER 34 (attach building evaluation per section 3412)
☐ 2015 NC Existing Building Code

NEW BUILDING: ☐ NEW BUILDING ☐ SHELL BUILDING
☐ FIRST TIME INTERIOR COMPLETION (UPFIT)
☐ ADDITION

EXISTING BUILDING: ☐ CHANGE OF USE / OCCUPANCY
■ BUILDING / TENANT SPACE INTERIOR COMPLETION (ALTERATION/RENOVATION)

YEAR OF CONSTRUCTION: 1920 PREVIOUS USE: BUSINESS

ALTERATION/RENOVATIONS PROJECTS: PLEASE SEE 3411 NCSBC FOR COMPLIANCE FOR ACCESSIBILITY FOR EXISTING BUILDINGS. A LETTER FROM THE DESIGNER WILL BE REQUIRED TO BE REPRODUCED ON THE PLANS TO VERIFY HOW COMPLIANCE WILL BE ACHIEVED. THIS CAN BE PLACED ON THE PLANS AFTER THE APPENDIX B.

f. REHAB CODE (EXISTING BUILDING CODE)

☐ 2012 NC REHAB CODE INFORMATION: SCOPE OF WORK / WORK AREA MUST BE LISTED & DELINEATED ON PLANS

CHECK ALL THAT APPLY: ☐REPAIR ☐RENOVATION ☐ALTERATION ☐RECONSTRUCTION ☐CHANGE OF USE ☐ADDITION

☐ LAST KNOWN LEGAL OCCUPANCY: _____ HISTORIC PROPERTY: YES ☐ NO ☐

ORIGINAL BUILDING CONSTRUCTION DATE: _____ DATE OF PRELIMINARY MEETING: _____

JUSTIFICATIONS FOR USING THE REHAB CODE:

REVIEWERS NOTES FOR FIELD INSPECTOR:

g. BASIC BUILDING DATA - (REQUIRED INFORMATION FOR ALL PROJECTS)

CONSTRUCTION TYPE: (TABLE 601) (CHECK ALL THAT APPLY) ☐ I-A ☐ I-B ☐ II-A ☐ II-B ☐ III-A ☐ III-B ☐ IV ☐ V-A ■ V-B

SPRINKLERS: (CHAPTER 9) ■ NO ☐ PARTIAL ☐ YES ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D

STANDPIPES: (SECTION 905) ■ NO ☐ YES CLASS ☐ I ☐ II ☐ III ☐ WET ☐ DRY

FIRE DISTRICT: ■ NO ☐ YES (PRIMARY)

FLOOD HAZARD AREA: (APPENDIX G) ■ NO ☐ YES

BUILDING HEIGHT: (FEET) +/- 15'-5" (TABLE 503) STORIES 1 (EXISTING)

GROSS BUILDING AREA:

FLOOR	EXISTING (SQ. FT.)	NEW (SQ. FT.)	ALT./RE	SUBTOTAL
6TH FLOOR				
5TH FLOOR				
4TH FLOOR				
3RD FLOOR				
2ND FLOOR				
MEZZANINE				
1ST FLOOR	2037 SQFT	548 SQFT	N/A	2825 SQFT
BASEMENT				
PATIO				
TOTAL				2825 SQFT

h. ALLOWABLE AREA/OCCUPANCY CLASSIFICATION- (REQUIRED INFORMATION FOR ALL PROJECTS)

OCCUPANCY(S): (CHAPTER 3)

ASSEMBLY (303) ☐ A-1 ■ A-2 ☐ A-3 ☐ A-4 ☐ A-5
BUSINESS (304) ☐ B
EDUCATIONAL (305) ☐ E
FACTORY (306) ☐ F-1 MODERATE ☐ F-2 LOW
HAZARDOUS (307) ☐ H-1 DETONATE ☐ H-2 DELFRAGRATE ☐ H-3 COMBUST ☐ H-4 HEALTH ☐ H-5 HPM
INSTITUTIONAL (308) ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4
I-3 CONDITION ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5
MERCANTILE (309) ☐ M
RESIDENTIAL (310) ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
STORAGE (311) ☐ S-1 (MODERATE) ☐ S-2 (LOW) ☐ HIGH PILED
☐ PARKING GARAGE ☐ OPEN ☐ ENCLOSED ☐ REPAIR GARAGE
UTILITY AND MISCELLANEOUS (312) ☐ U

ACCESSORY OCCUPANCIES (<10): (508)

ASSEMBLY (303) ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
BUSINESS (304) ☐ B
EDUCATIONAL (305) ☐ E
FACTORY (306) ☐ F-1 MODERATE ☐ F-2 LOW
HAZARDOUS (307) ☐ H-1 DETONATE ☐ H-2 DELFRAGRATE ☐ H-3 COMBUST ☐ H-4 HEALTH
INSTITUTIONAL (308) ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4
I-3 CONDITION ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5
MERCANTILE (309) ☐ M
RESIDENTIAL (310) ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
STORAGE (311) ☐ S-1 (MODERATE) ☐ S-2 (LOW) ☐ HIGH PILED
☐ PARKING GARAGE ☐ OPEN ☐ ENCLOSED ☐ REPAIR GARAGE
UTILITY AND MISCELLANEOUS (312) ☐ U

INCIDENTAL USES: IF APPLICABLE- AREAS WITH ADDITIONAL REQUIREMENTS (TABLE 508.2.5)

☐ FURNACE ROOM WHERE ANY PIECE OF EQUIPMENT IS OVER 400,000 BTW PER HOUR INPUT
☐ ROOMS WITH BOILERS WHERE THE LARGEST PIECE OF EQUIPMENT IS OVER 15 PSI AND 10 HORSEPOWER
☐ REFRIGERANT MACHINE ROOM
☐ HYDROGEN CUTOFF ROOMS, NOT CLASSIFIED AS H
☐ INCINERATOR ROOMS
☐ PAINT SHOPS, NOT CLASSIFIED AS GROUP H, LOCATED IN OCCUPANCIES OTHER THAN GROUP F
☐ LABORATORIES AND VOCATIONAL SHOPS, NOT CLASSIFIED AS GROUP H, LOCATED IN A GROUP E OR I-2 OCCUPANCY
☐ LAUNDRY ROOMS OVER 100 SQUARE FEET
☐ GROUP I-3 CELLS EQUIPPED WITH PADDED SURFACES
☐ GROUP I-2 WASTE AND LINEN COLLECTION ROOMS
☐ WASTE AND LINEN COLLECTION ROOMS OVER 100 SF
☐ STATIONARY STORAGE BATTERY SYSTEMS HAVING A LIQUID ELECTROLYTE CAPACITY OF MORE THAN 50 GALLONS, OR A LITHIUM-ION CAPACITY OF 1,000 POUNDS USED FOR FACILITY STANDBY POWER OR UNINTERRUPTED POWER SUPPLIES
☐ ROOMS CONTAINING FIRE PUMPS
☐ GROUP I-2 STORAGE ROOMS OVER 100 SF
☐ GROUP I-2 COMMERCIAL KITCHENS
☐ GROUP I-2 LAUNDRIES OR EQUAL TO OR LESS THAN 100 SF
☐ GROUP I-2 ROOMS OR SPACES THAT CONTAIN FUEL-FIRED HEATING EQUIPMENT

SPECIAL USES: ☐ 402 ☐ 403 ☐ 404 ☐ 405 ☐ 406 ☐ 407 ☐ 408 ☐ 409 ☐ 410 ☐ 411 ☐ 412 ☐ 413 ☐ 414 ☐ 415 ☐ 416 ☐ 417 ☐ 418 ☐ 419 ☐ 420 ☐ 421 ☐ 422 ☐ 423 ☐ 424 ☐ 425 ☐ 426 ☐ 427

SPECIAL PROVISIONS: ☐ 509.2 ☐ 509.3 ☐ 509.4 ☐ 509.5 ☐ 509.6 ☐ 509.7 ☐ 509.8 ☐ 509.9

MIXED OCCUPANCY/USE: ■ NO ☐ YES SEPARATION: _____HR EXCEPTION: _____

☐ INCIDENTAL USE SEPERATION (508.2.5)
THIS SEPARATION IS NOT EXEMPT AS A NON - SEPARATED USE (SEE EXCEPTIONS).

☐ NON-SEPARATED MIXED OCCUPANCY (508.3)
THE REQUIRED TYPE OF CONSTRUCTION FOR THE BUILDING SHALL BE DETERMINED BY APPLYING THE HEIGHT AND AREA LIMITATIONS FOR EACH OF THE APPLICABLE OCCUPANCIES TO THE ENTIRE BUILDING. THE MOST RESTRICTIVE TYPE OF CONSTRUCTION, SO DETERMINED, SHALL APPLY TO THE ENTIRE BUILDING.

☐ SEPARATED USE (508.4) - SEE BELOW FOR AREA CALCULATIONS
FOR EACH STORY, THE AREA OF THE OCCUPANCY SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE ACTUAL FLOOR AREA OF EACH USE DIVIDED BY THE ALLOWABLE FLOOR AREA FOR EACH USE SHALL NOT EXCEED 1. (508.4.)

ACTUAL AREA OF OCCUPANCY A + ACTUAL AREA OF OCCUPANCY B = ≤ 1
ALLOWABLE AREA OF OCCUPANCY A ALLOWABLE AREA OF OCCUPANCY B

_____ + _____ = ≤ 1

STORY NO.	DESCRIPTION & USE	(A) BLDG. AREA PER STORY (ACTUAL)	(B) TABLE 503 AREA	(C) AREA FOR OPEN SPACE INCREASE 1	(D) AREA FOR SPRINKLER INCREASE 2	(E) ALLOWABLE AREA OR UNLIMITED 3	(F) MAXIMUM BLDG. AREA 4
1	A-2	2585 SQFT	N/A	N/A	N/A	N/A	2585
TOTAL							

1 FRONTAGE AREA INCREASES FROM SECTION 506.2 ARE COMPUTED THUS:
A. PERIMETER WHICH FRONTS A PUBLIC WAY OR OPEN SPACE HAVING 20' MIN. WIDTH = _____(F)
B. TOTAL BUILDING PERIMETER = _____(P)
C. RATIO (F/P) = _____ (F/P)
D. W = MINIMUM WIDTH OF PUBLIC WAY = _____ (W)
E. PERCENT OF FRONTAGE INCREASE Ifs = 100 [F/P - 0.25] X W/30 = _____ (%)

2 THE SPRINKLER INCREASE PER SECTION 506.3 IS AS FOLLOWS:
A. MULTISTORY BUILDING IS = 200%
B. SINGLE STORY BUILDING IS = 300%

3 UNLIMITED AREA APPLICABLE UNDER CONDITIONS OF OF SECTION 507

4 MAXIMUM BUILDING AREA = TOTAL # OF STORIES IN THE BUILDING x E (506.4)

5 THE MAXIMUM AREA OF OPEN PARKING GARAGES MUST COMPLY WITH TABLE 406.3.5. THE MAXIMUM AREA OF AIR TRAFFIC CONTROL TOWERS MUST COMPLY WITH TABLE 412.1.2.

i. ALLOWABLE HEIGHT (CHAPTER 5) (REQUIRED FOR ADDITIONS, NEW CONSTRUCTION)

	ALLOWABLE (TABLE 503)	INCREASE FOR SPRINKLERS (506.3)	SHOWN ON PLANS	CODE REF.
TYPE OF CONSTRUCTION	Type VB		Type VB	
BUILDING HEIGHT (FEET)	Feet 15-5"	Feet = H + 20 = 45'-5"	+/- 15'-5"	
BUILDING HEIGHT (STORIES)	Stories 1	Stories + 1 = 2	1	

j. FIRE PROTECTION REQUIREMENTS (CHAPTER 7) (REQUIRED INFORMATION FOR ALL PROJECTS) EXISTING - NO CHANGE

LIFE SAFETY PLAN SHEET #, IF PROVIDED: A0.1

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQ'D	RATING PROVIDED (W/ * REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY: RATED ASSEMBLY	DESIGN NUMBER FOR PENETRATION	DESIGN NUMBER FOR JOINTS	DESIGN NUMBER FOR RATED JOINTS
STRUCTURAL FRAME, INCLUDING COLUMNS, GRIDERS, TRUSSES			EXISTING					
BEARING WALLS: (SEE SEC. K (601-602) IF RATED)			EXISTING					
EXTERIOR								
NORTH	>30'		EXISTING					
EAST	>30'		EXISTING					
WEST	>30'		EXISTING					
SOUTH	>30'		EXISTING					
INTERIOR			EXISTING					
NON BEARING WALLS & PARTITIONS (SEE SECTION K(601-602) IF RATED) EXTERIOR WALLS								
NORTH	>30'		EXISTING					
EAST	>30'		EXISTING					
WEST	>30'		EXISTING					
SOUTH	>30'		EXISTING					
INTERIOR			EXISTING					
FLOOR CONSTRUCTION (INCLUDES SUPPORT BEAMS & JOISTS)			EXISTING					
ROOF CONSTRUCTION (INCLUDES SUPPORT BEAMS & JOISTS)			EXISTING					
SHAFT ENCLOSURES- EXIT			EXISTING					
SHAFT ENCLOSURES- OTHER								
CORRIDOR SEP. T1018.1			EXISTING					
OCCUPANCY SEP. T508.4			EXISTING					
PARTY / FIRE WALL SEP. T706.4			N/A					
SMOKE BARRIER SEP. S710			N/A					
TENANT SEP. S403.7.2	1 HR		EXISTING					
INCIDENTAL USE SEP. T508.2.5			EXISTING					

* INDICATE SECTION NUMBER PERMITTING REDUCTION

k. PERCENTAGE OF WALL OPENING CALCULATIONS- (NEW CONSTRUCTION, ADDITION AND CHANGE OF USE)

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
EXISTING - NO CHANGE	EXISTING - NO CHANGE	N/A	N/A

l. WALL LEGENDS- (REQUIRED FOR ALL PROJECTS)

CHECK IF THE FOLLOWING ARE PRESENT AND INDICATED BY A WALL LEGEND ON ALL PLANS:

☐ FIRE WALLS 706 ☐ FIRE BARRIERS 707 ☐ SHAFT ENCLOSURE 708 ☐ FIRE PARTITIONS 709 ☐ SMOKE BARRIERS 710
☐ SMOKE PARTITIONS 711 ■ NO RATED WALLS ARE PRESENT

m. LIFE SAFETY SYSTEMS (EXISTING OR NEW SYSTEMS) - (REQUIRED FOR ALL PROJECTS)

EMERGENCY LIGHTING: (S1006)	☐ NO	■ YES	
EXIT SIGNS: (S1011)	☐ NO	■ YES	
FIRE ALARM: (S907, NFPA 72-07)	■ NO	☐ YES	
SMOKE DETECTION SYSTEMS: (S907)	☐ NO	■ YES	☐ PARTIAL ____
PANIC HARDWARE: (S1008.1.10)	☐ NO	■ YES	
LIFE SAFETY SYSTEMS GENERATOR: (S2702.2)	■ NO	☐ YES	

n. LIFE SAFETY PLAN CHECK LIST FOR COMPLIANCE- (REQUIRED FOR ALL PROJECTS) CHECK ITEMS THAT ARE APPLICABLE

☐ FIRE AND/OR SMOKE RATED WALL LOCATIONS (CHAPTER 7)
☐ ASSUMED AND REAL PROPERTY LINE LOCATIONS
☐ EXTERIOR WALL OPENING AREA WITH RESPECT TO DISTANCE TO ASSUMED PROPERTY LINES (705.8)
☐ EXISTING STRUCTURES WITHIN 30' OF THE PROPOSED BUILDING
■ OCCUPANCY TYPES FOR EACH AREA AS IT RELATES TO OCCUPANT LOAD CALCULATION (TABLE 1004.1.1)
■ OCCUPANT LOADS FOR EACH AREA
■ EXIT ACCESS TRAVEL DISTANCES (1016)
■ COMMON PATH OF TRAVEL DISTANCES (1014.3 & 1028.8)
☐ DEAD END LENGTHS (1018.4)
■ CLEAR EXIT WIDTHS FOR EACH EXIT DOOR
■ MAX.CALCULATED OCCUPANT LOAD CAPACITY EACH EXIT DOOR CAN ACCOMMODATE BASED ON EGRESS WIDTH (1005.1)
☐ ACTUAL OCCUPANT LOAD FOR EACH EXIT DOOR
☐ A SEPARATE SCHEMATIC PLAN INDICATING WHERE FIRE RATED FLOOR/CEILING AND/OR ROOF STRUCTURE IS PROVIDED FOR PURPOSES OF OCCUPANCY SEPARATION
■ LOCATION OF DOORS WITH PANIC HARDWARE (1008.1.10)
☐ LOCATION OF DOORS WITH DELAYED EGRESS LOCKS AND THE AMOUNT OF DELAY (1008.1.9.7)
☐ LOCATION OF DOORS WITH ELECTROMAGNETIC EGRESS LOCKS (1008.1.9.8)
☐ LOCATION OF DOORS EQUIPPED WITH HOLD-OPEN DEVICES
☐ LOCATION OF EMERGENCY ESCAPE WINDOWS (1029)
☐ THE SQUARE FOOTAGE OF EACH FIRE AREA (902)
☐ THE SQUARE FOOTAGE OF EACH SMOKE COMPARTMENT (407.4)
☐ NOTE ANY CODE EXCEPTIONS OR TABLE NOTES THAT MAY HAVE BEEN UTILIZED REGARDING THE ITEMS ABOVE

o. EXIT REQUIREMENTS- (REQUIRED FOR ALL PROJECTS)

NUMBER AND ARRANGEMENT OF EXITS (TABLE 102.1)

FLOOR, ROOM OR SPACE DESIGNATION	MINIMUM # OF EXITS		TRAVEL DISTANCE		ARRANGEMENT MEANS OF EGRESS 1, 2 (SECTION 1015.2)	
	REQ T1021.2	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 1016.1)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQUIRED DISTANCE BETWEEN EXIT DOORS	ACTUAL DISTANCE OF EXITS SHOWN ON PLANS
JUICE BAR	1	1	200'-0"	43'-0"	11'-8 1/4"	19'-5"
RETAIL	1	1	200'-0"	20'-0"	7'-8 1/2"	13'-11"
JUICE BAR PREP	1	1	200'-0"	5'-0"	14'-0"	18'-6"

1 CORRIDOR DEAD ENDS (SECTION 1018.4)
2 BUILDINGS WITH SINGLE EXITS (TABLE 1021.2), SPACES WITH ONE MEANS OF EGRESS (TABLE 1015.1)
3 COMMON PATH OF TRAVEL (SECTION 1014.3)
NOTE: NCSBC TABLE 1015.1 SPACES W/ ONE MEANS OF EGRESS : B OCCUPANCY = 49 MAXIMUM OCCUPANTS

OCCUPANT LOAD AND EXIT WIDTH: -

USE GROUP OR SPACE DESCRIPTION 7	(A) AREA 1 (SQ. FT.)	(B) AREA PER OCCUPANT (TABLE 1004.1.1)	(1014.1.1) CALCULATED OCCUPANT LOAD (A / B)	(C) EGRESS WIDTH PER OCCUPANT LOAD (TABLE 1005.1)		EXIT WIDTH (IN) 2,3,4,5,6 REQUIRED WIDTH (SECTION 1005.1) (A / B) x C		ACTUAL WIDTH SHOWN ON PLANS	
				STAIR	LEVEL	STAIR	LEVEL	STAIR	LEVEL
JUICE BAR	276	15 N	5	N/A	.2	N/A	4.6	N/A	32
RETAIL	264	60 G	4	N/A	.2	N/A	3.4	N/A	32
JUICE BAR PREP	172	200 G	1	N/A	.2	N/A	1.2	N/A	32

1 SEE TABLE 1004.1.1 TO DETERMINE WHETHER NET OR GROSS AREA IS APPLICABLE SEE DEFINITION "AREA, GROSS" AND "AREA NET" (1002)
2 MINIMUM STAIRWAY WIDTH (SECTION 1009.1); MIN. CORRIDOR WIDTH (SECTION 1018.2); MIN. DOOR WIDTH (SECTION 1008.1.1)
3 MINIMUM WIDTH OF EXIT PASSAGEWAY (SECTION 1023.2)
4 SEE SECTION 1004.5 FOR CONVERGING EXITS.
5 THE LOSS OF ONE MEANS OF EGRESS SHALL NOT REDUCE THE AVAILABLE CAPACITY TO LESS THAN 50% OF THE TOTAL REQUIRED (1005.1)
6 ASSEMBLY OCCUPANCIES (SECTION 1028)
7 SPACES WITHIN OCCUPANCIES OR USE GROUPS SHALL BE CALCULATED INDEPENDENTLY. (EX. LOBBIES, LOUNGES, BREAK ROOMS, CONFERENCE ROOMS.)

p. ACCESSIBLE DWELLING UNITS (1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
-	-	-	-	-	-	-

SECTION 3411 COMPLIANCE

A. ESTIMATED OVERALL COST OF ALTERATIONS TO AREA OF PRIMARY FUNCTION: $70,000.00 (ELECTRICAL AND MECHANICAL COSTS ARE INCLUDED IN ABOVE FIGURE).

B. MAXIMUM REQUIRED COST OF IMPROVEMENTS TO ACCESSIBLE ROUTE (20% OF LINE "A" ABOVE: $84,000.00

ACCESSIBLE ROUTE EXPENDITURE LOG

- ADA HI/ LOW DRINKING FOUNTAIN $5,000.00
- EQUIPMENT $15,000.00
- COST OF CONSTRUCTION $50,000.00

TOTAL COST OF COMBINED IMPROVEMENTS TO EXISTING BUILDING: $70,000.00
*THE REQUIREMENTS OF THIS PORTION OF THE CODE HAVE BEEN MET AS THERE ARE NO FURTHER IMPROVEMENTS TO THE ACCESSIBLE ROUTE POSSIBLE.

q. ACCESSIBLE PARKING EXISTING/NO CHANGE- SEE 2/CV1

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES		# OF ACC. SPACES PROVIDED		TOTAL # ACCESSIBLE PROVIDED
	REQUIRED	PROVIDED	REG W/ 5'-0" ACCESS AISLE	VAN W/ 8'-0" ACCESS AISLE	
-	-	-	-	-	-

r. STRUCTURAL DESIGN EXISTING/NO CHANGE

(PRIMARILY FOR NEW CONSTRUCTION, ADDITIONS AND CHANGE OF USE) IF ADDING DEAD LOADS OR LIVE LOADS TO THE BUILDING STRUCTURAL SYSTEM INFORMATION IN ANY PROJECT WILL BE REQUIRED. THIS INFORMATION MAY BE LOCATED ON THE STRUCTURAL SHEETS. THE STRUCUTRAL SHEET MUST BE IN THE SAME FORMAT AS NOTED IN THIS SECTION. IF IT IS ON THE STRUCTURAL SHEETS PLEASE INDICATE HERE. (LOCATED ON STRUCTURAL SHEET NUMBER: __N/A__ YES _____ NO _____)

DESIGN LOADS: NOT APPLICABLE

IMPORTANCE FACTORS: WIND (Iw) _____ SNOW (Is) _____ SEISMIC (Ie) _____

LIVE LOAD: TABLE 1607.1 ROOF _____psf MEZZANINE _____psf FLOOR _____psf

GROUND SNOW LOAD: SECTION 1608 (PG) _____psf

WIND LOAD: SECTION 1609 BASIC SPEED _____(MPH) (ASCE-7-02) EXPOSURE CATAGORY _____ WIND BASE SHEARS (FOR MWFRS) V_X= _____ V_Y= _____

SEISMIC DESIGN CATEGORY ☐ B ☐ C ☐ D

PROVIDE THE FOLLOWING SEISMIC DESIGN PARAMETERS:

OCCUPANCY CATEGORY (T1604.5) _____
SPECTRAL RESPONSE ACCELERATION Sms_____ S1 _____%g
SITE CLASSIFICATION _____ ☐ FIELD TEST PRESUMPTIVE ☐ HISTORICAL DATA
BASIC STRUCTURAL SYSTEM (CHECK ONE) %g
_____ BEARING WALL _____ DUAL W/ SPECIAL MOMENT FRAME ☐ PRESUMPTIVE
_____ BUILDING FRAME _____ DUAL W/ INTERMEDIATE R/C OR SPECIAL STEEL
_____ MOMENT FRAME _____ INVERTED PENDULUM
SEISMIC BASE SHEAR V_X= _____ V_Y= _____
ANALYSIS PROCEDURE _____ SIMPLIFIED _____ EQUIVALENT LATERAL FORCE _____ MODAL
ARCHITECTURAL, MECHANICAL, COMPONENTS ANCHORED? _____

LATERAL DESIGN CONTROL: EARTHQUAKE _____ WIND _____

SOIL BEARING CAPACITIES:
FIELD TEST (PROVIDE COPY OF FIELD TEST REPORT) _____ psf
PRESUMPTIVE BEARING CAPACITY _____ psf
PILE SIZE, TYPE, AND CAPACITY _____

SPECIAL INSPECTIONS REQUIRED: ☐ YES ■ NO

s. SCHEDULE OF SPECIAL INSPECTION SERVICES

■ NO SPECIAL INSPECTIONS REQUIRED FOR THIS PROJECT ☐ SPECIAL INSPECTIONS REQUIRED

THE FOLLOWING COMPRISE THE REQUIRED SCHEDULE OF SPECIAL INSPECTIONS FOR THIS PROJECT. THE CONSTRUCTION DIVISIONS WHICH REQUIRE SPECIAL INSPECTIONS FOR THIS PROJECT ARE AS FOLLOWS:

☐ IT-1 VERIFICATION OF SOILS
☐ IT-2 EXCAVATION AND FILL
☐ IT-3 PILING AND DRILLING PIERS
☐ IT-4 MODULAR RETAINING WALLS
☐ IT-5 REINFORCED CONCRETE
☐ IT-6 POST TENSION SLAB
☐ IT-7 PRECAST CONCRETE ERECTION
☐ IT-8 PRESTRESSED CONCRETE
☐ IT-9 INSPECTION OF PRE CAST FABRICATORS
☐ IT-10 INSPECTION OF STRUCTURAL STEEL FABRICATORS
☐ IT-11 STRUCTURAL MASONRY
☐ IT-12 WELDING
☐ IT-13 HIGH STRENGTH BOLTS AND STEEL FRAMING INSP.
☐ IT-14 SPRAYED FIRE RESISTANCE MATERIALS
☐ IT-15 EXTERIOR INSULATION AND FINISH SYSTEM
☐ IT-16 SEISMIC RESISTANCE
☐ IT-17 SMOKE CONTROL
☐ IT-18 DETENION BASIN
☐ IT-19 SPECIAL CASES

CHECK THE ABOVE BOXES FOR THE SPECIAL INSPECTIONS FOR THIS PROJECT AND LIST BELOW SPECIFIC SPECIAL INSPECTIONS REQUIRED UNDER CHAPTER 17.

t. PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1) SEE CALCULATIONS BELOW: SEE A0.1 FOR OCCUPANT LOAD OF BUILDING SPACES

OCCUPANCY USE GROUP AND / OR SPACE DESIGNATION	WATERCLOSETS			LAVATORIES			DRINKING FOUNTAINS		SERVICE SINK
	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	REGULAR	ACCESSIBLE	
EXISTING	1	1	2	1	1	2	1	0	1
ADD/ REMOVE	0	0	1	0	0	1	1	0	0
TOTAL REQUIRED	1	1	0	1	1	0	1	1	1
TOTAL PROVIDED	1	1	1	1	1	1	1	1	1

*2902.2 SEPARATE FACILITIES SHALL NOT BE REQUIRED IN MERCANTILE OCCUPANCIES IN WHICH THE MAXIMUM OCCUPANT LOAD IS 100 OR LESS

u. SPECIAL APPROVALS (IF APPLICABLE)

SPECIAL APPROVAL: (LOCAL JURISDICTION, DEPARTMENT OF INSURANCE, OSC, DPI, DHHS, ETC. DESCRIBE BELOW)

v. ENERGY SUMMARY

ENERGY REQUIREMENTS:
THE FOLLOWING DATA SHALL BE CONSIDERED MIN. & ANY SPECIAL ATTRIBUTE REQUIRED TO MEET THE ENERGY CODE SHALL ALSO BE PROVIDED. EACH DESIGNER SHALL FURNISH THE REQUIRED PORTIONS OF THE PROJECT INFO FOR THE PLAN DATA SHEET. IF ENERGY COST BUDGET METHOD, STATE THE ANNUAL ENERGY COST BUDGET VS ALLOWABLE ENERGY COST BUDGET.

THERMAL ENVELOPE
METHOD OF COMPLIANCE:
PRESCRIPTIVE ■ PERFORMANCE ☐ ENERGY COST BUDGET ☐

(COMCHECK REPORT: REFER TO BASE BUILDING PLANS)

ELECTRICAL SUMMARY

*** SEE ELECTRICAL DOCUMENTS ***

MECHANICAL SUMMARY

*** SEE MECHANICAL DOCUMENTS ***

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CHRISTOPHER HOLLOWELL BYERS REGISTERED ARCHITECT 7753 NORTH CAROLINA CHARLOTTE, N.C.

03.31.17

THE PICKLED PEACH Handcrafted Foods

202 S. MAIN STREET
SUITE E
DAVIDSON, NC 28036

OWNER SET	#

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GENERAL ROOM FINISH SCHEDULE

ROOM NO	ROOM NAME	FLOOR		WALLS				CEILING		NOTES
		FLOOR	BASE	N	S	E	W	MATL	HEIGHT	
100	NEW RETAIL	CONC	RB	PT	PT	PT	PT	SEE RCP	SEE RCP	
101	NEW JUICE BAR	CONC	RB	PT	PT	PT	PT	SEE RCP	SEE RCP	
102	PREP JUCING STATION	CONC	RB	PT	PT	PT	PT	SEE RCP	SEE RCP	
103	NEW UNISEX	CONC	RB	PT	PT	PT	PT	SEE RCP	SEE RCP	

ABBREVIATIONS:

PT - WALL PAINT . REFER TO PLANS.

RB - RESILIENT BASE. REFER TO PLANS.

CONC - SEALED CONCRETE. REFER TO PLANS.

NOTES:

1. CONTRACTOR SHALL VERIFY FINISH SELECTIONS AND LOCATIONS WITH TENANT PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL PREPARE FLOORING THROUGHOUT AS REQUIRED TO RECEIVE NEW FLOOR FINISHES SPECIFIED.
3. CONTRACTOR SHALL INSTALL NEW LAY-IN CEILING GRID AND TILE SPECIFIED IN ORIENTATION SHOWN ON REFLECTED CEILING PLAN PER 1613 OF THE IBC.
4. DO NOT PAINT ANY STOREFRONT SURFACES. INTERIOR SIDE OF STOREFRONT WALL SHALL BE CLEANED AS REQUIRED ONLY.
5. ALL FINISHES MUST COMPLY WITH CLASS C OF TABLE 803.9 AS WELL AS TABLE 804 OF THE IBC.
6. RESTROOM FINISHES SHALL COMPLY WITH 1210.1 AND 1210.2 OF THE IBC.

GENERAL ID CONSTRUCTION NOTES

1. NEW WALL LOCATIONS AS SHOWN ON ARCHITECTURAL DOCUMENTS INDICATED BY SOLID HATCHED PATTERN. ANY ELEMENTS ARE DETAILED AND FOR PLACEMENT IN ADDITION TO ARCHITECTURAL WALLS.
   1.1. HALF HEIGHT WALLS INDICATED BY DIAGONALLY HATCHED PATTERN (SEE DETAILS ON A1.6/A1.7).
   1.2. BASE PLAN PROVIDED TO DESIGNER FROM ARCHITECT. GC TO CONFIRM ALL EXISTING WALL LOCATIONS, PRIOR TO CONSTRUCTION.
2. NORTH ARROW PROVIDED FOR REFERENCE TO ROOM FINISH SCHEDULE.
3. CONTRACTOR TO STRIP AND CLEAN AREAS OF EXPOSED SLAB IN PREPARATION OF NEW FLOOR FINISHES. PATCH ALL HOLES AND UNEVEN CONCRETE TO PROVIDE SMOOTH SURFACE. PREP SURFACE AS REQUIRED BY MANUFACTURING REQUIREMENTS.
4. INTERIOR SIGNAGE IS THE RESPONSIBILITY OF THE TENANT AND MUST COMPLY WITH SECTION 1110 OF THE NCSBC
5. GENERAL CONTRACTOR TO VERIFY LOCATION OF ALL EQUIPMENT AND MILLWORK WITH TENANT PRIOR TO INSTALLATION OF EQUIPMENT OR OUTLETS.
6. GC TO CLEAN INTERIOR WINDOWS AT THE CONCLUSION OF THE CONSTRUCTION PROCESS AS PART OF THE FINAL CLEAN.

FINISH NOTES:

1. CONTRACTOR SHALL INSTALL FINISHES AS INDICATED & CONTACT INTERIOR DESIGNER WITH ANY QUESTIONS OR CLARIFICATIONS PRIOR TO ORDERING & INSTALLATION.
2. ALL FINISHES ARE TO BE APPLIED ON TOP OF THE FINISHES REQUIRED FOR FIRE RATING, (I.E. (2) LAYERS OF GYPSUM WALL BOARD) REFER TO ARCHITECTURAL DOCUMENTS FOR ALL STRUCTURAL, FLOOR/CEILING/DEMISING WALL/EXIT PASSAGE WAY/ROOM TYPE REQUIRED FIRE RATING.
3. CONTRACTOR SHALL VERIFY FINISH SELECTIONS AND LOCATIONS WITH PROPERTY OWNER PRIOR TO CONSTRUCTION.
4. LOCATE SAMPLE ROOM FINISHES IN EACH GUESTROOM TYPE AND CONFIRM WITH OWNER ON LOCATIONS.
5. GC TO CONTACT INTERIOR DESIGNER WITH ANY DISCREPANCIES BETWEEN HILTON PROTOTYPE, ARCHITECT, INTERIOR DESIGN DOCUMENTS AND SPECIFICATIONS.
6. CONTRACTOR SHALL PREPARE EXPOSED CONCRETE SLAB & WALLS THROUGHOUT AS REQUIRED TO RECEIVE NEW FINISHES.
7. ALL FINISHES MUST COMPLY WITH TABLE 803.9, AS WELL AS SECTION 804 & 806 OF THE 2012 NCSBC.
8. GC TO PROVIDE APPROPRIATE SCHLUTER SYSTEM AT ALL CARPET TO TILE AND WOOD TO TILE TRANSITIONS. FINISH TO BE BRUSHED NICKEL, BRUSHED STAINLESS OR BRUSHED ALUMINUM.
9. GC TO SUBMIT TO INTERIOR DESIGNER, FOR APPROVAL, ANY THRESHOLDS TO BE USED IN GUESTROOMS OR GUESTROOM CORRIDORS.

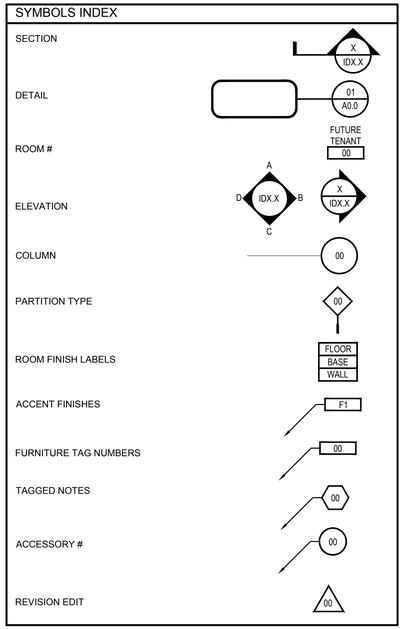
CEILING GRID/ROOF NOTES

1. NEW CEILING GRID IN COMPLIANCE WITH 1613 OF NCSBC. REFER TO MECHANICAL AND ELECTRICAL FOR CEILING GRID INFORMATION.
2. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ANY ROOF PENETRATION WITH EXISTING PLUMBING, MECHANICAL, ELECTRICAL, STRUCTURAL, AND SPRINKLER SYSTEMS.
3. CENTER NEW CEILING GRID IN EACH ROOM IN THE DIRECTION INDICATED ON THE PLANS UNLESS NOTED OTHERWISE.
4. IN TWO HOUR RATED STORAGE S-2 ROOMS, REFER TO UL G510 SHEET 3/A1.5.
5. LIGHT FIXTURES REFER TO ELECTRICAL SHEETS.

MILLWORK NOTES

1. CONTRACTOR TO COORDINATE NEW MILLWORK WITH TENANT & VERIFY ALL DIMENSIONS & FINISHES PRIOR TO CONSTRUCTION. ALL PROPOSED MILLWORK SHOWN AS DASHED LINE ON FLOOR PLAN. ALL MILLWORK TO BE INSTALLED MAINTAINING A 3'-0" CLEAR PATH BETWEEN ALL ADJACENT WALLS/EQUIPMENT
2. MILLWORK MUST COMPLY WITH THE 2012 NCSBC. GC TO CONTACT ARCHITECT IF ALTERATIONS TO CABINETRY ARE NECESSARY.
3. CONTRACTOR TO PROVIDE BLOCKING AS NECESSARY FOR ALL MILLWORK.

SYMBOLS INDEX

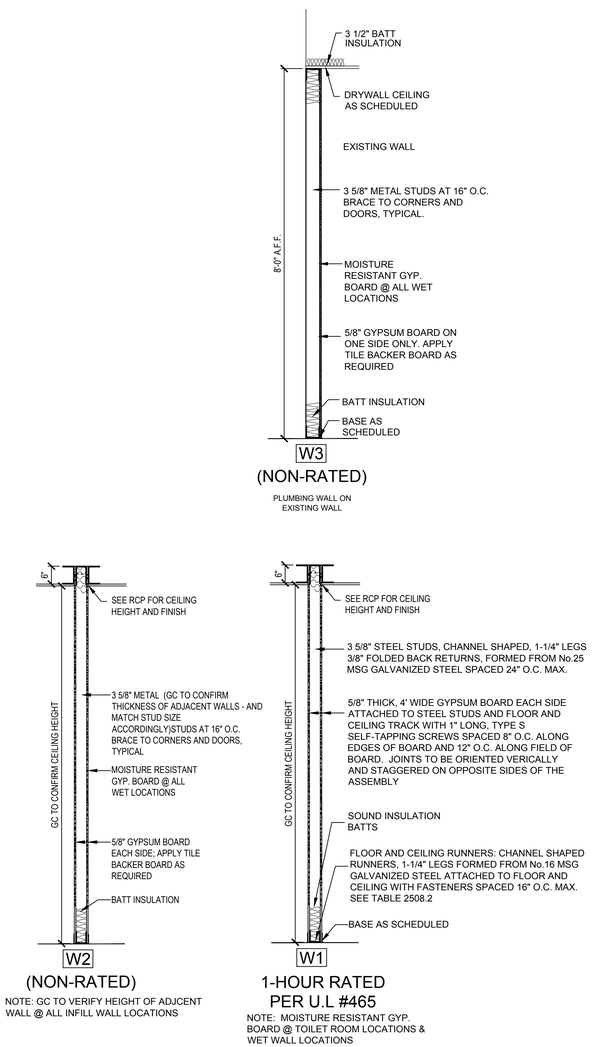


FURNITURE NOTES:

1. REFER TO INTERIOR DESIGN FURNITURE SPECIFICATION BOOK FOR ALL INTERIOR FURNITURE INFORMATION.
2. PURCHASING AGENT TO RECEIVE APPROVAL ON ALL FURNITURE PRIOR TO ORDERING & INSTALLATION.
3. ALL UPHOLSTERY IS TO MEET CA BULLETIN 117.
4. ALL EXTERIOR UPHOLSTERY IS TO BE EXTERIOR CONTRACT GRADE.

DEMOLITION NOTES

1. REMOVE ALL WALLS,DOORS AND LINTELS AS INDICATED BY THE DOTTED PATTERN ON THE DEMOLITION PLAN.
2. REMOVE ALL SOFFITS AND CEILING MATERIAL AS INDICATED BY THE DASHED PATTERN.
3. CARE SHALL BE TAKEN DURING DEMOLITION SO AS NOT TO DAMAGE OR ALTER ANY EXISTING STRUCTURAL MEMBERS. THE ARCHITECT AND OWNER SHALL BE NOTIFIED IMMEDIATELY IF ANY DAMAGE OCCURS OR IS DISCLOSED DURING DEMOLITION.
4. IN ALL WALLS AND CEILINGS THAT ARE REMOVED THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING AT SOURCE AND REMOVING OR CAPPING ANY ELECTRICAL, PLUMBING, GAS LINES AND MECHANICAL DUCTWORK THAT IS DISCLOSED AND NOT SCHEDULED FOR REUSE. REROUTE AND CONTINUE ANY SYSTEM THAT MUST BE RETAINED FOR ADJACENT BUILDING AREAS THAT ARE NOT IN THIS CONTRACT.
5. ALL ELECTRICAL CIRCUITS FOR EQUIPMENT THAT IS TO BE REMOVED SHALL BE DISCONNECTED AT SOURCE AND REMOVED.
6. ALL GAS, WATER AND DRAIN LINES SUPPLYING EQUIPMENT THAT IS TO BE REMOVED SHALL BE DISCONNECTED, REMOVED AND CAPPED ABOVE CEILING OR BELOW FLOOR. IT SHALL RE ROUTE AS NECESSARY TO BE BEHIND NEW CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND DISPOSING IN A PROPER MANNER FROM THE SITE ALL RUBBLE AND DEBRIS CAUSED BY DEMOLITION.
7. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL CEILINGS, WALL AND FLOORS, AS REQUIRED TO RECEIVE NEW FINISHES.
8. GENERAL CONTRACTOR TO PROVIDE BLOCKING AS NECESSARY FOR ALL MILLWORK & FIXTURES.
14. PROVIDE PROTECTION OF EXISTING FLOOR DRAINS SO THEY DO NOT COLLECT DEBRIS DURING CONSTRUCTION OR SUBSEQUENT CLEANING.
15. ENSURE ANY PENETRATIONS IN RATED WALLS FROM ABANDONED UTLITIES, EQUIPMENT OR DEVICES ARE PATCHED/ REPAIRED TO MAINTAIN INTEGRITY OF FIRE RATING. TYPICAL IN WALLS, ROOFS AND CEILINGS.
16. PROVIDE PROTECTION OF EXISTING FLOOR DRAINS SO THEY DO NOT COLLECT DEBRIS DURING CONSTRUCTION OR SUBSEQUENT CLEANING.
17. PARTITION DIMENSIONS TO FINISH FACE OF PARTITION UNLESS NOTED OTHERWISE. REFER TO WALL TYPES FOR FURTHER INFORMATION.
18. FOR ANY MISSING DIMENSION OR DIMENSIONS IN QUESTION CONTRACTOR IS TO CONTACT ARCHITECT FOR CLARIFICATION. IN NO CASE SHOULD DRAWINGS BE SCALED. ALL DIMENSIONS SHOULD BE VERIFIED WITH FINAL EQUIPMENT.



1 / CV3 WALL TYPES
SCALE: 1/2" = 1'-0"

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CHRISTOPHER HOLLOWELL BEGG REGISTERED ARCHITECT 7753 NORTH CAROLINA CHARLOTTE, N.C.
03.31.17

THE PICKLED PEACH Handcrafted Foods

202 S. MAIN STREET
SUITE E
DAVIDSON, NC 28036

OWNER SET	#1
BID SET	#1
BUILDING DEPT	#0
FIRE MARSHAL	#0
HEALTH DEPT	#0

ISSUE DATE: 3.31.17

PICKLED PEACH

REVISION		DATE
no.	date	comment
1		
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PROJECT NUMBER	17-1867R

SCHEDULES

CV3

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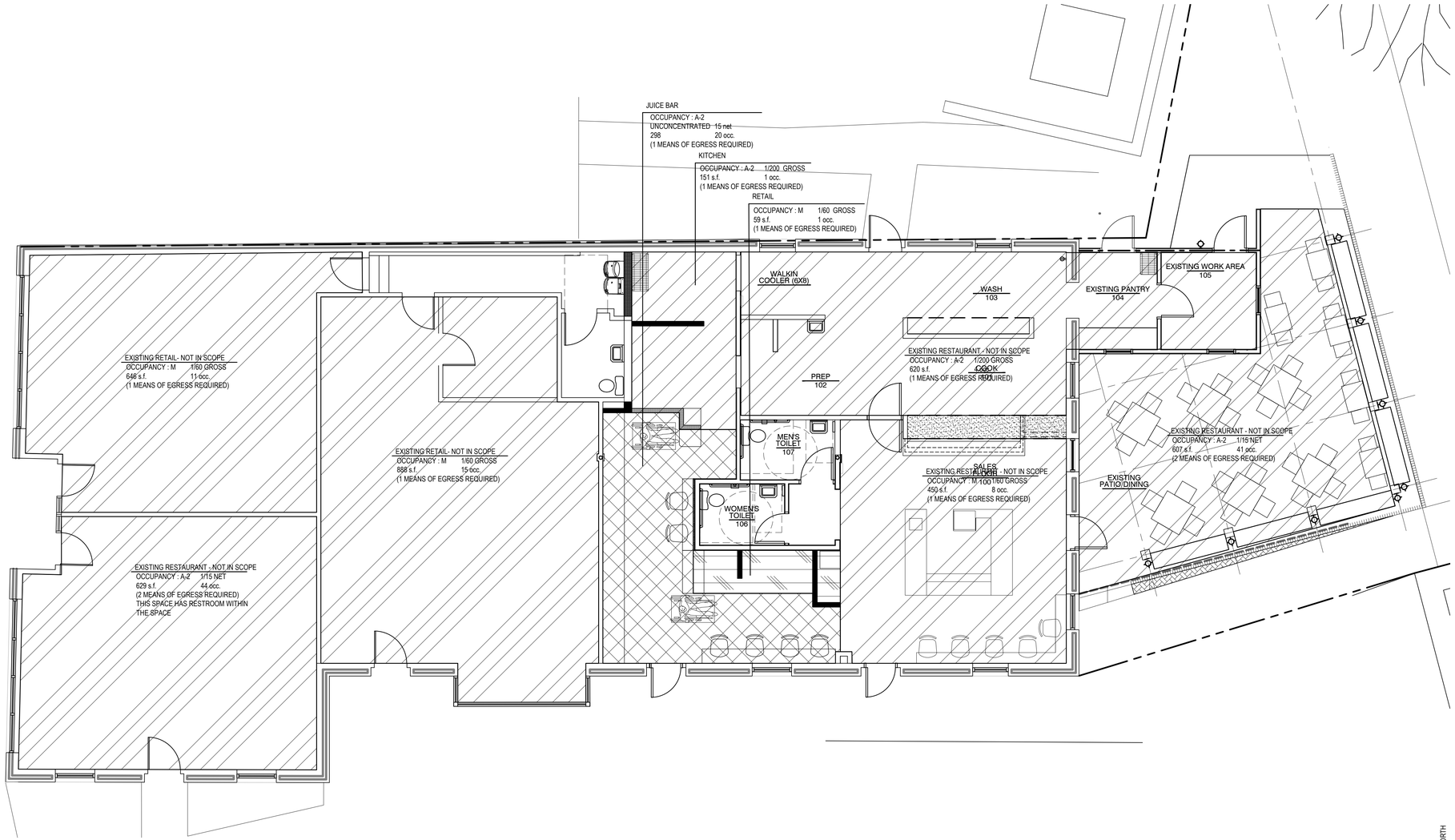
OCCUPANT LOAD EXISTING BUILDING			
EXISTING RETAIL	M	646	11
EXISTING RESTAURANT	A-2	649	44
EXISTING RETAIL	M	888	15
JUICE BAR	A-2	298	20
KITCHEN	A-2	151	1
RETAIL	M	59	1
EXISTING KITCHEN	A-2	620	4
EXISTING RETAIL/RESTAURANT	M	450	8
EXISTING OUTDOOR PATIO	A-2	607	41
TOTAL			145



1 A0.1 KEY PLAN
SCALE: 3/16" = 1'-0"

NORTH

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REVISION DATE

no.	date	comment
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KEY PLAN

A0.1

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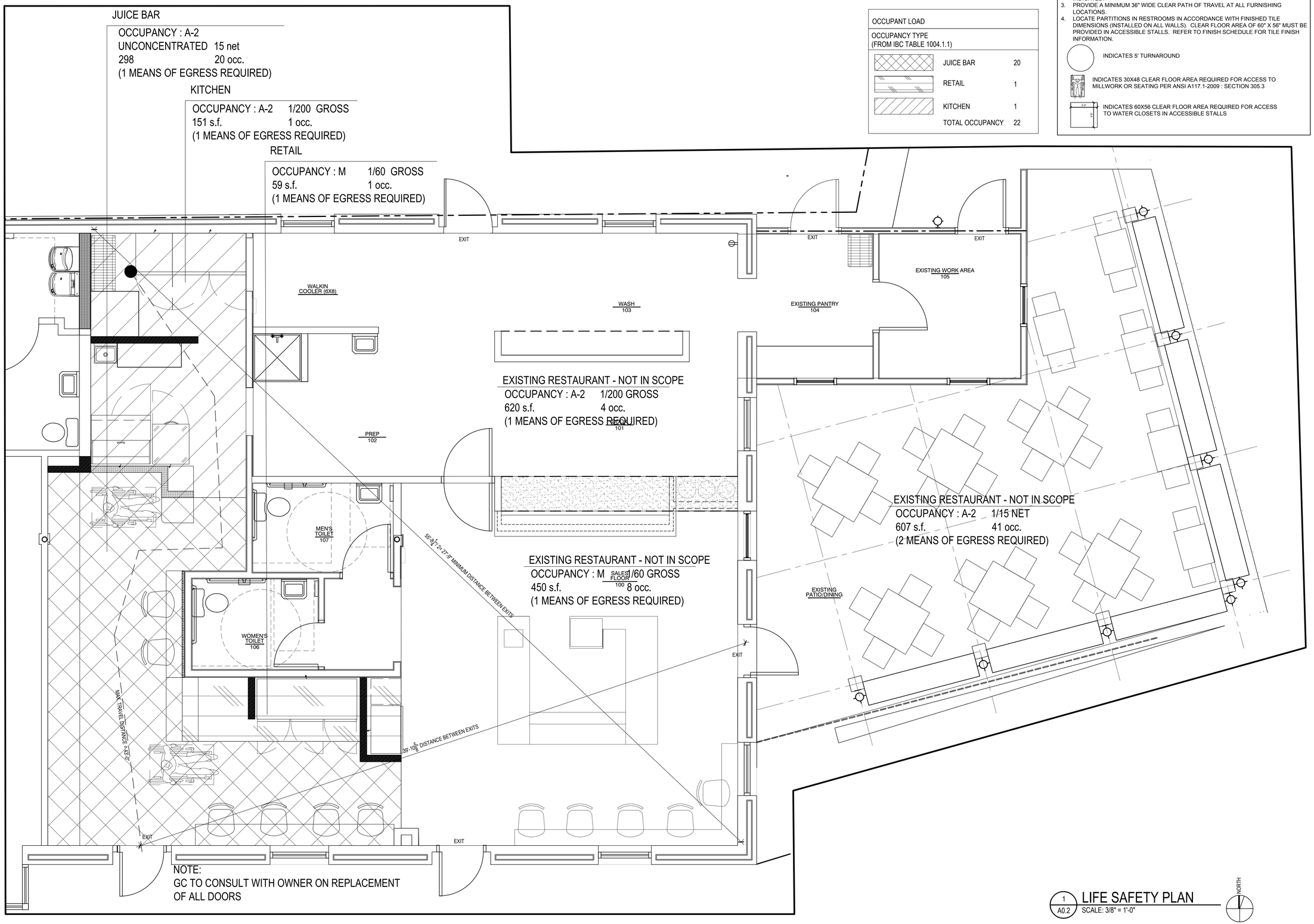

OCCUPANT LOAD	
OCCUPANCY TYPE (FROM IBC TABLE 1004.1.1)	
JUICE BAR	20
RETAIL	1
KITCHEN	1
TOTAL OCCUPANCY	22

ADA NOTES FOR INTERIOR DESIGN:

1. REFER TO ANSI A117.1-2009 FOR ALL LIMITATIONS/REQUIREMENTS FOR ADA ACCSSIBILITY. REFER TO ARCHITECTURAL DOCUMENTS FOR ALL MOUNTING HEIGHTS FOR PLUMBING FIXTURES. REFER TO ARCHITECTURAL DOCUMENTS FOR ALL AREAS NOT LISTED OR SHOWN IN INTERIOR DESIGN DOCUMENTS.
2. PROVIDE A MAXIMUM 36" AFF COUNTER TOP HEIGHT AT THE ADA LOCATIONS INDICATED.
3. PROVIDE A MINIMUM 36" WIDE CLEAR PATH OF TRAVEL AT ALL FURNISHING LOCATIONS.
4. LOCATE PARTITIONS IN RESTROOMS IN ACCORDANCE WITH FINISHED TILE DIMENSIONS (INSTALLED ON ALL WALLS). CLEAR FLOOR AREA OF 60" X 56" MUST BE PROVIDED IN ACCESSIBLE STALLS. REFER TO FINISH SCHEDULE FOR TILE FINISH INFORMATION.

INDICATES 5' TURNAROUND

INDICATES 30X48 CLEAR FLOOR AREA REQUIRED FOR ACCESS TO MILLWORK OR SEATING PER ANSI A117.1-2009 : SECTION 305.3

INDICATES 60X56 CLEAR FLOOR AREA REQUIRED FOR ACCESS TO WATER CLOSETS IN ACCESSIBLE STALLS

1 / A0.2 LIFE SAFETY PLAN
SCALE: 3/8" = 1'-0"

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no.	date	comment
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LIFE SAFETY PLAN

A0.2

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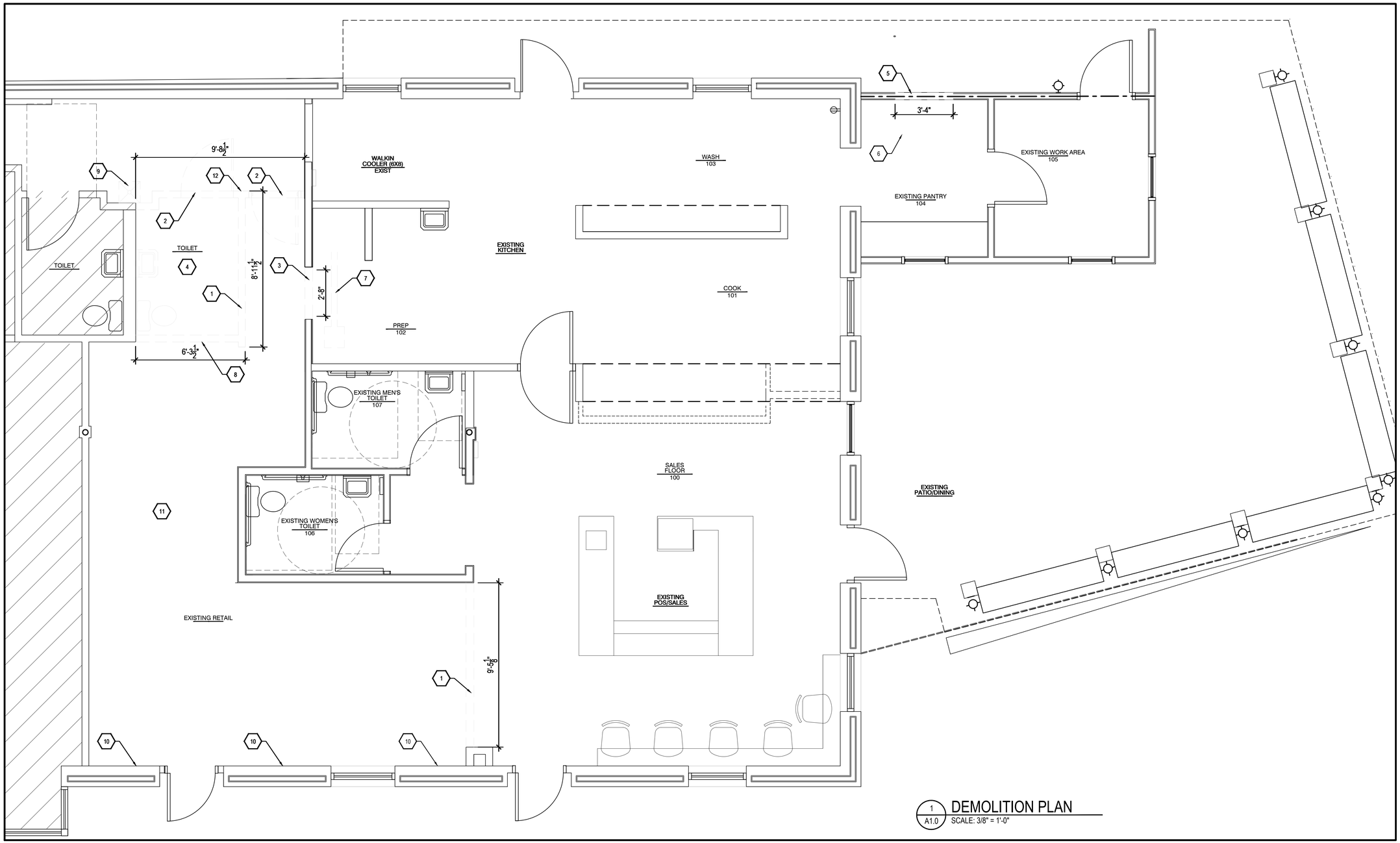
DEMOLITION KEY NOTES

1. NEW OPENING TO BE MADE.
2. REMOVE EXISTING DOOR AND FRAME AS SHOWN ON PLAN.
3. REMOVE EXISTING WALLS IN PREPARATION FOR NEW FRAMED OPENING.
4. REMOVE EXISTING RESTROOM.
5. OPEN WALL FOR NEW ENTRY.
6. RELOCATE EXISTING PIPE AND ADD ANOTHER DRAIN IN THE FLOOR.
7. RELOCATE EXISTING ELECTRICAL WALL PANEL FROM THIS WALL.
8. EXISTING DRINKING FOUNTAIN TO BE REMOVED.
9. REMOVE DRYWALL TO EXPOSE EXISTING BRICK.
10. KEEP ALL EXISTING WALL OUTLETS THAT DO NOT NEED TO BE REMOVED.
11. RELOCATE EXISTING FIRE EXTINGUISHER.



1 / A1.0 DEMOLITION PLAN
SCALE: 3/8" = 1'-0"

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DEMOLITION PLAN

A1.0

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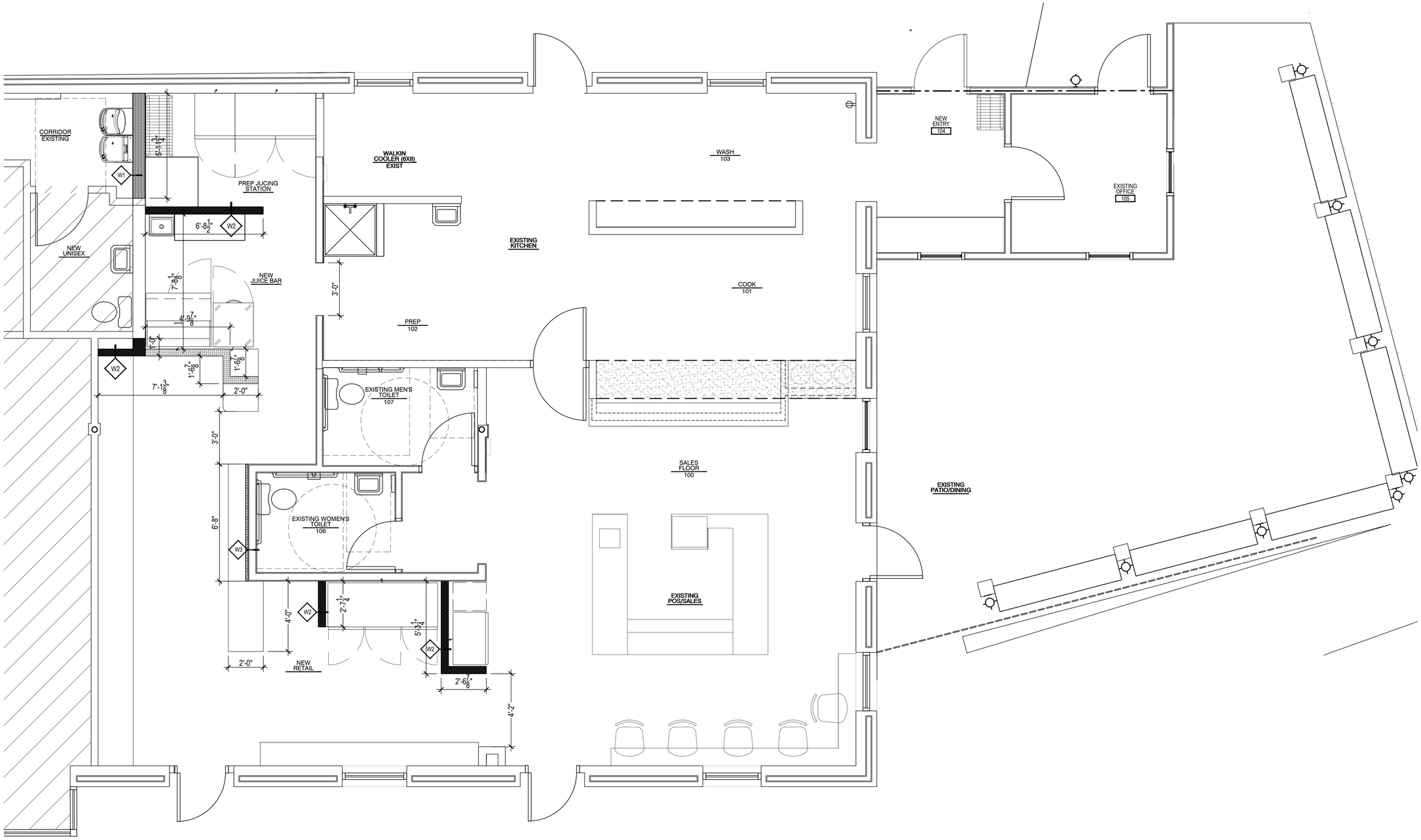

1 A1.1 NEW FLOOR PLAN
SCALE: 3/8" = 1'-0"

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NEW FLOOR PLAN

A1.1

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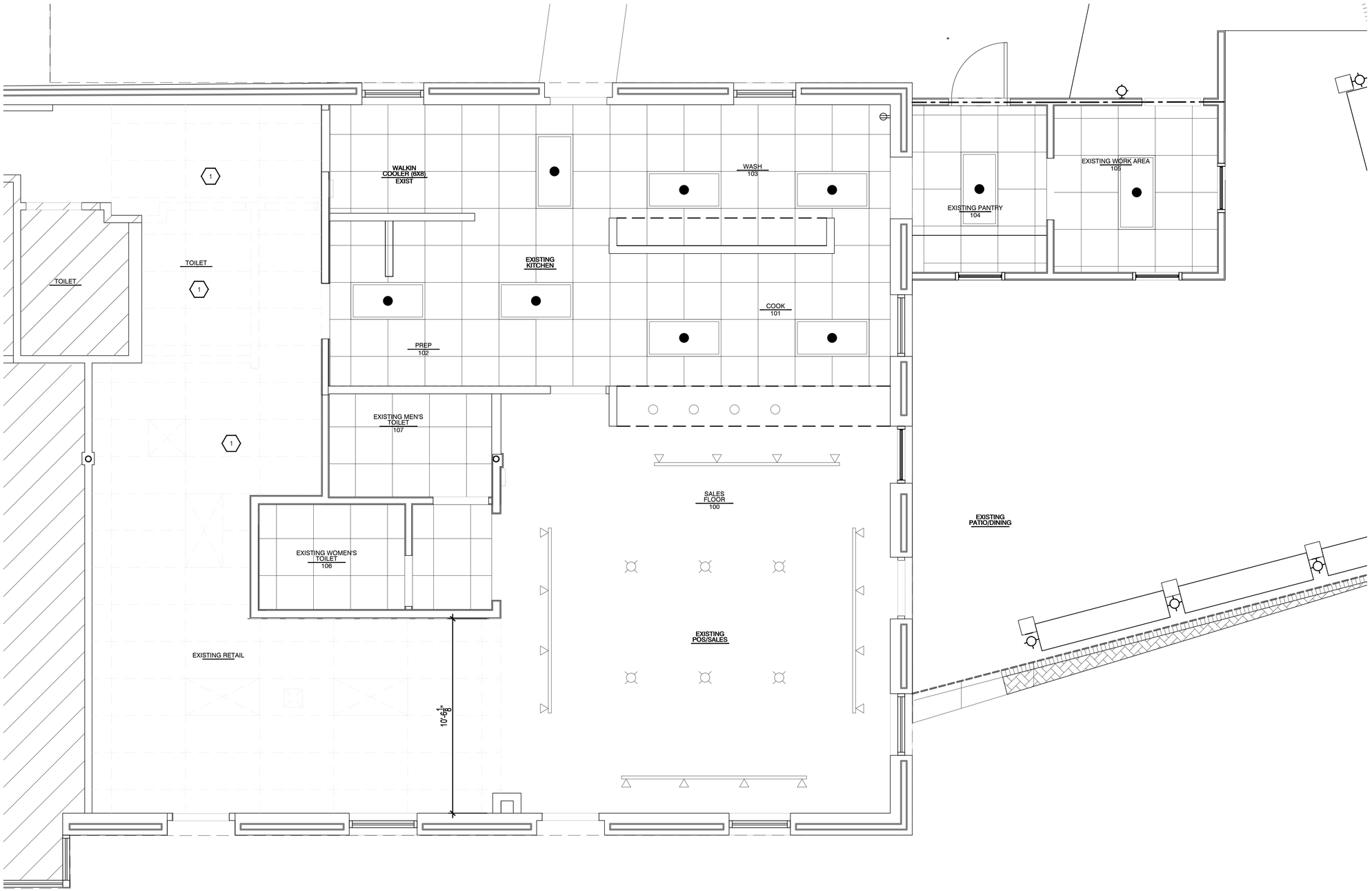
RCP DEMOLITION KEY NOTES
1. REMOVE ALL CEILING TILES AS SHOWN.



1 A1.2 DEMO REFLECTED CEILING PLAN
SCALE: 3/8" = 1'-0"

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DEMO REFLECTED CEILING PLAN

A1.2

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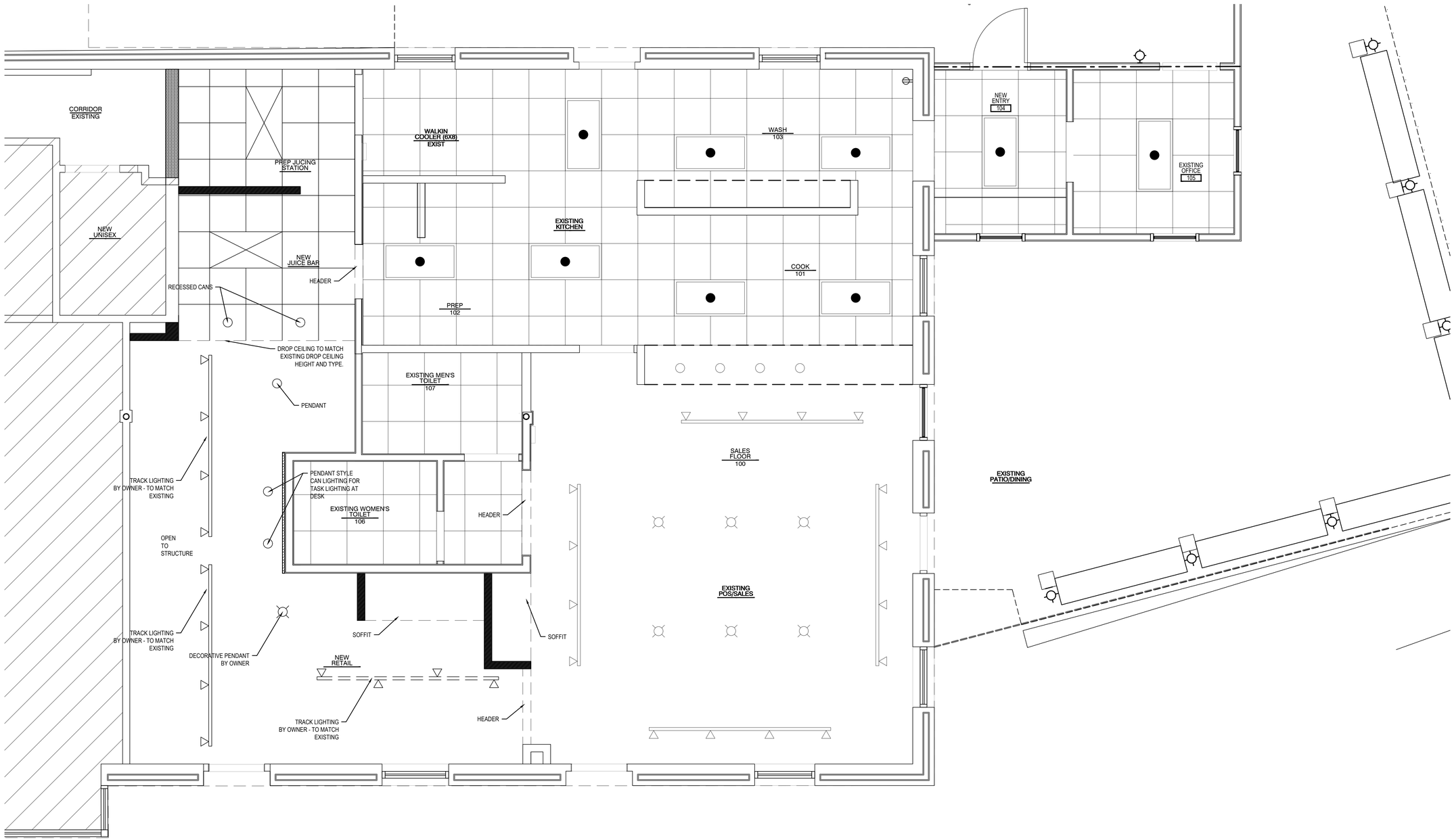

1 A1.3 REFLECTED CEILING PLAN
SCALE: 3/8" = 1'-0"

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REFLECTED CEILING PLAN

A1.3

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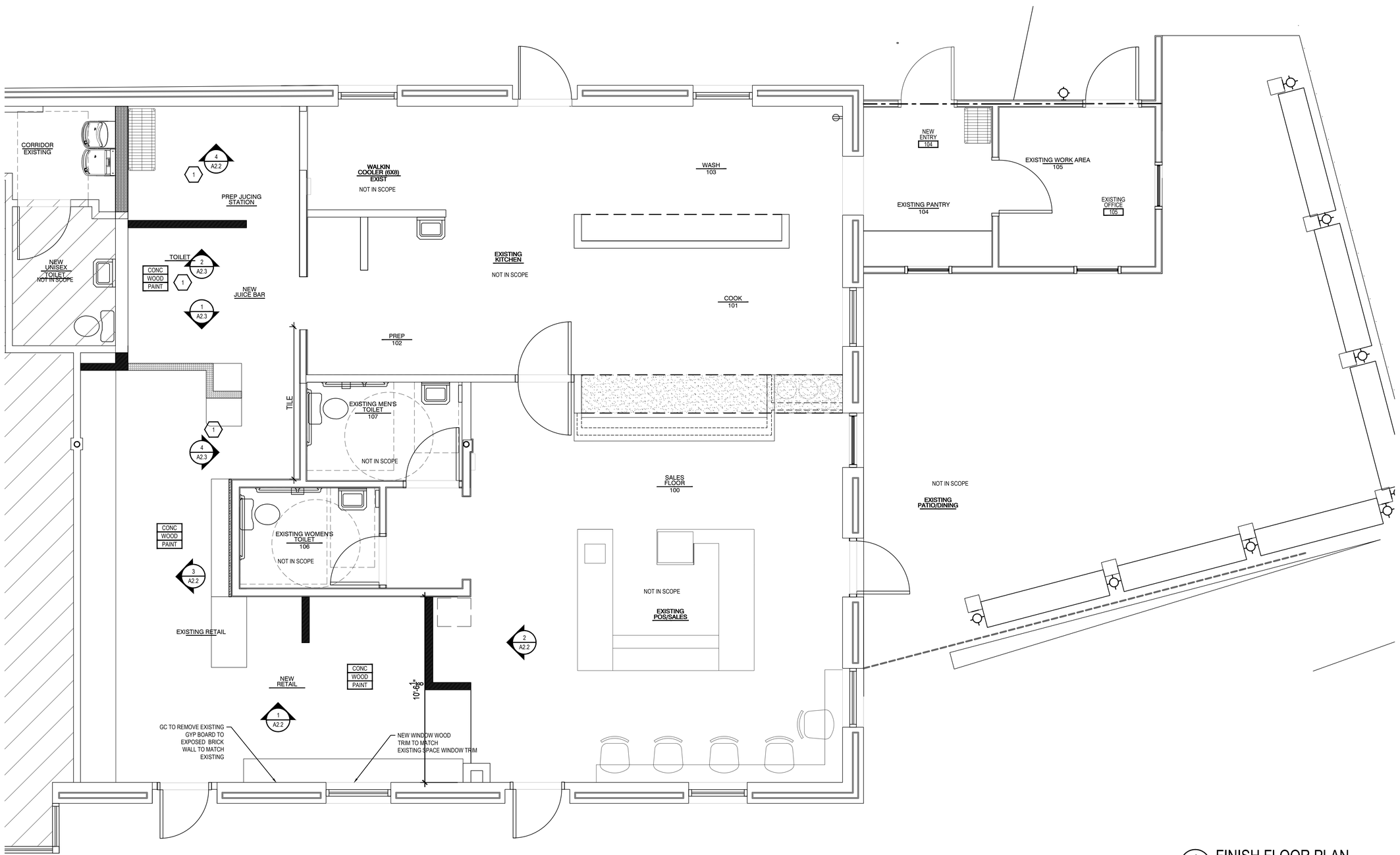

1 A2.0 FINISH FLOOR PLAN
SCALE: 3/8" = 1'-0"

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704.344.9098

THE RBA GROUP, INC. REGISTERED ARCHITECTURAL FIRM 51136 NORTH CAROLINA CHARLOTTE, N.C.

CHRISTOPHER HOLLOWELL BEST REGISTERED ARCHITECT 7753 NORTH CAROLINA CHARLOTTE, N.C.
03.31.17

THE PICKLED PEACH
Handcrafted Foods

202 S. MAIN STREET
SUITE E
DAVIDSON, NC 28036

OWNER SET	#1
BID SET	#1
BUILDING DEPT	#0
FIRE MARSHAL	#0
HEALTH DEPT	#0

ISSUE DATE: 3.31.17

PICKLED PEACH

REVISION DATE

no.	date	comment
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DRAWN BY	JF
CHECKED BY	AH
PROJECT DATE	3.31.2017
PROJECT NUMBER	17-1867R

FINISH FLOOR PLAN

A2.0

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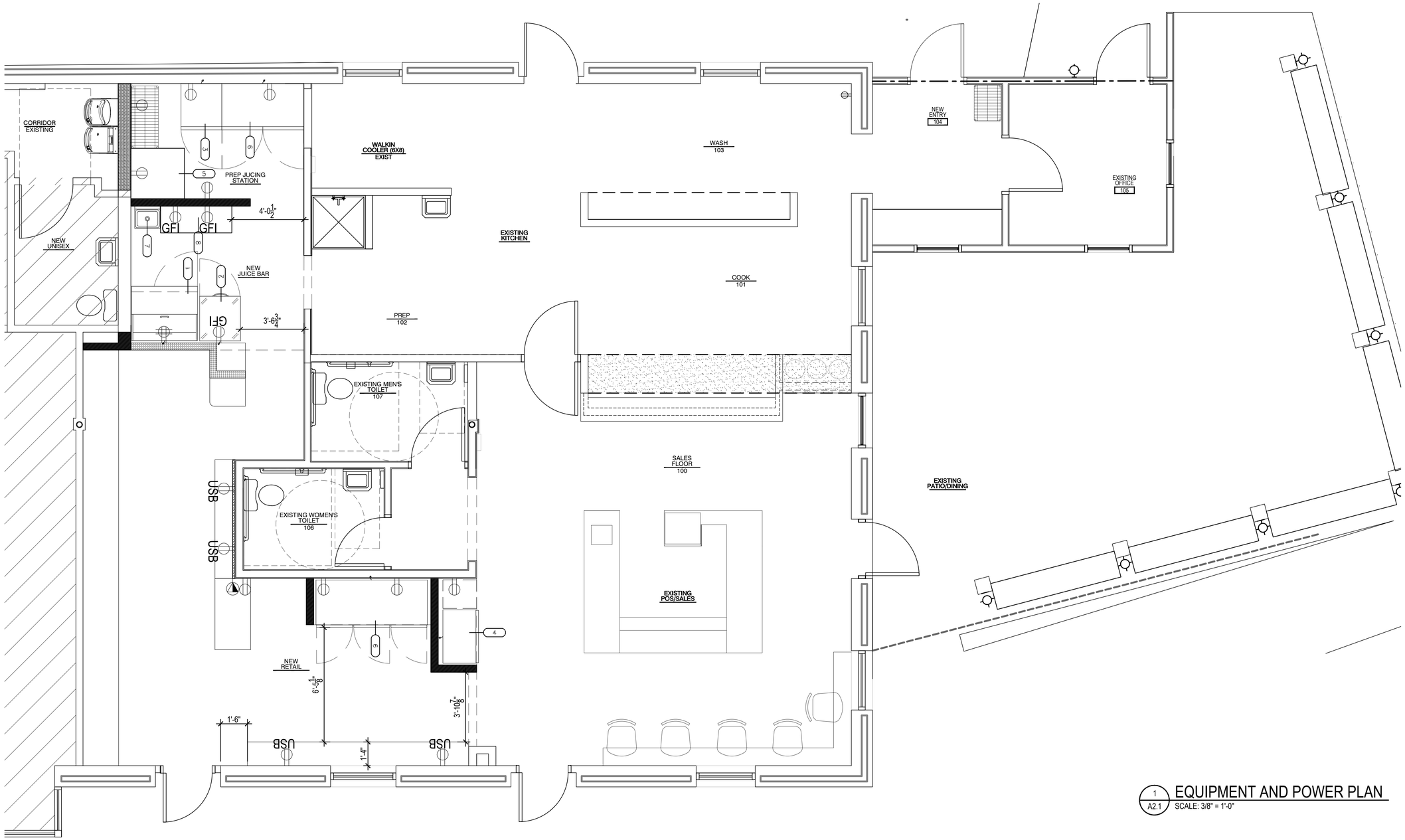
EQUIPMENT SCHEDULE

ITEM NO	QTY	EQUIPMENT CATEGORY	EQUIPMENT REMARKS
1	1	PIZZA PREP TABLE	27.1"W X 26.4"D
2	1	UNDERCOUNTER/WORKTABLE FREEZER	27–1/2"W X 30"D
3	1	REACH–IN FREEZER	27–1/2"W X 33"D
4	1	GLASS DOOR MERCHANDISER	36"W X 24"D
5	1	COMMERCIAL COLD PRESS JUICER	34"W X 36"D
6	1	HINGED GLASS DOOR MERCHANDISER	75"W X 32"D
7	1	HAND SINK WALL MOUNTED	17"W X 15"D
8	1	WORK TABLE	48"W X 18"D
9	1	REACH–IN REFRIGERATOR	55–1/4"W X 33"D



1 A2.1 EQUIPMENT AND POWER PLAN
SCALE: 3/8" = 1'-0"

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EQUIPMENT AND POWER PLAN

A2.1

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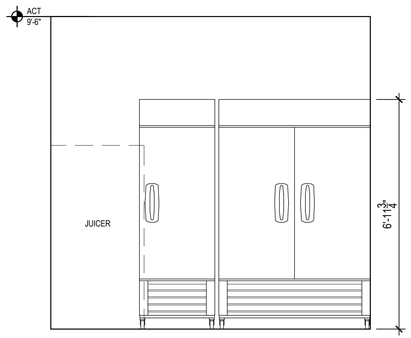
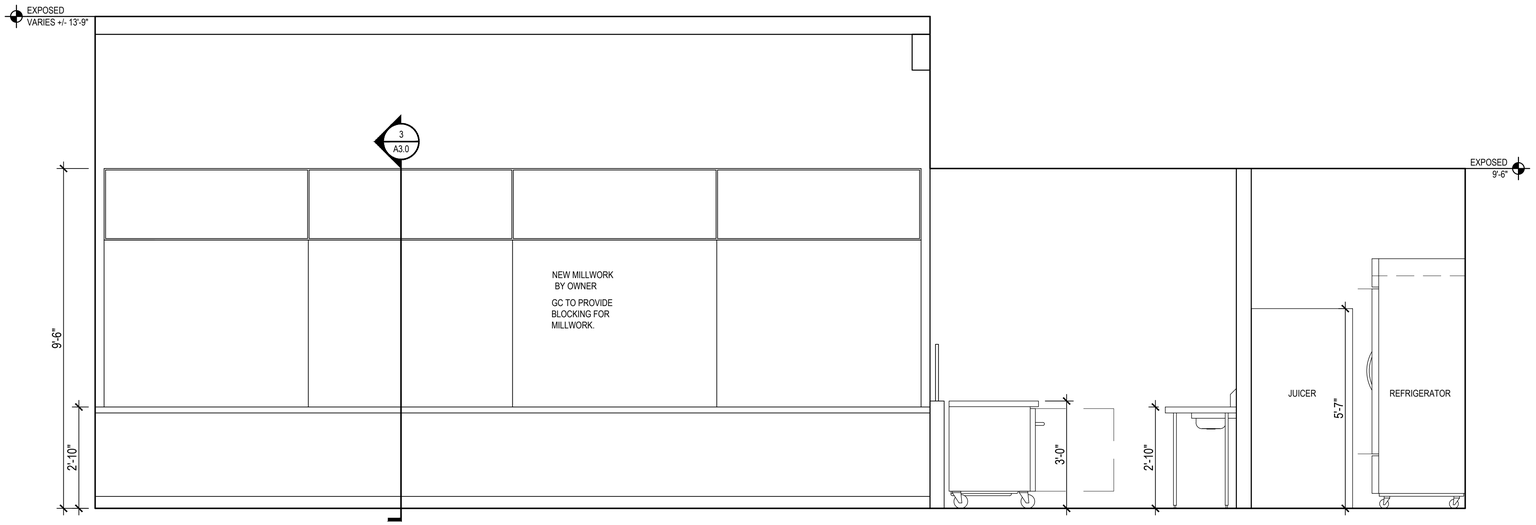
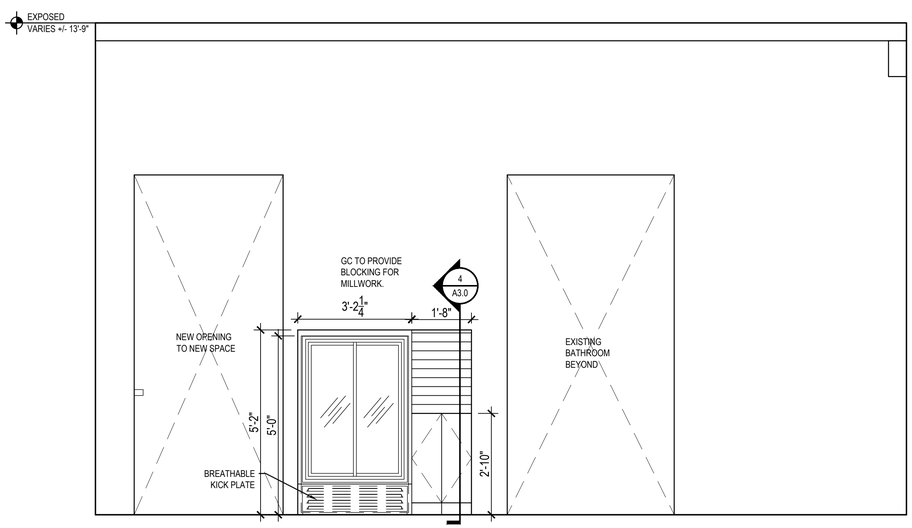


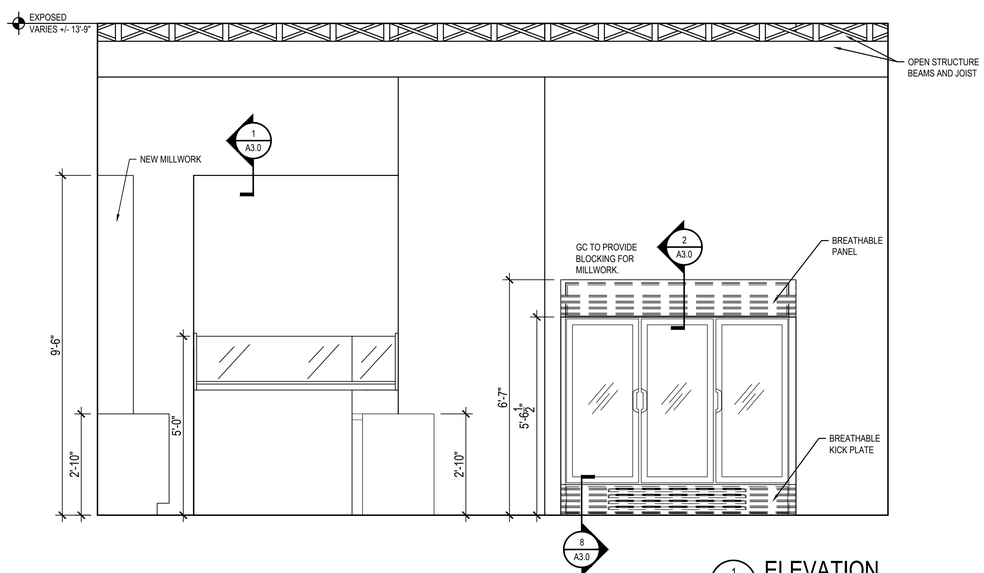
4 A2.2 ELEVATION
SCALE: 1/2" = 1'-0"



3 A2.2 ELEVATION
SCALE: 1/2" = 1'-0"



2 A2.2 ELEVATION
SCALE: 1/2" = 1'-0"



1 A2.2 ELEVATION
SCALE: 1/2" = 1'-0"

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INTERIOR ELEVATIONS

A2.2

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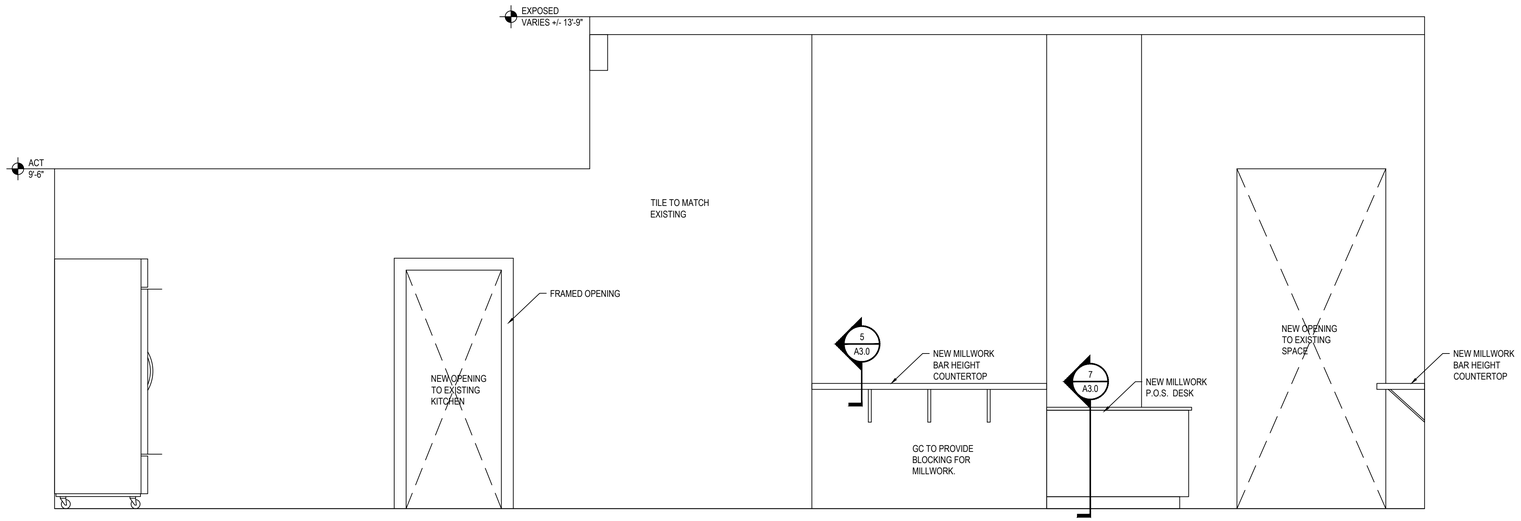
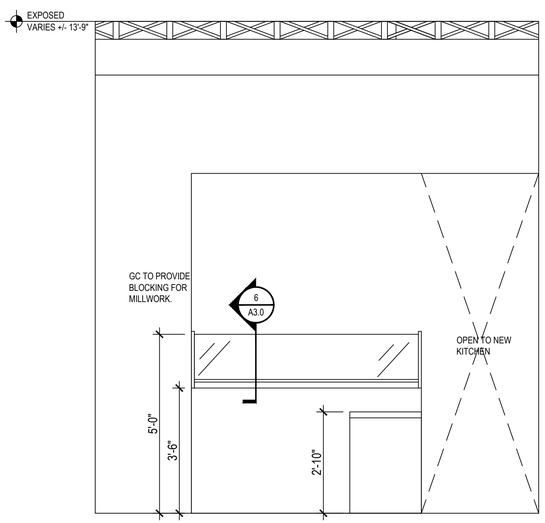
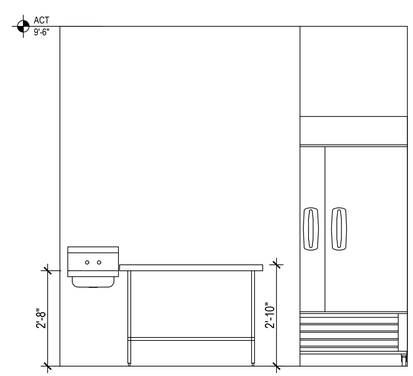


4 A2.3 ELEVATION
SCALE: 1/2" = 1'-0"



2 A2.3 ELEVATION
SCALE: 1/2" = 1'-0"



2 A2.3 ELEVATION
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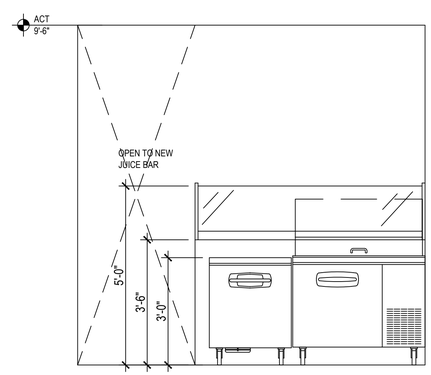

1 A2.3 ELEVATION
SCALE: 1/2" = 1'-0"

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INTERIOR ELEVATIONS

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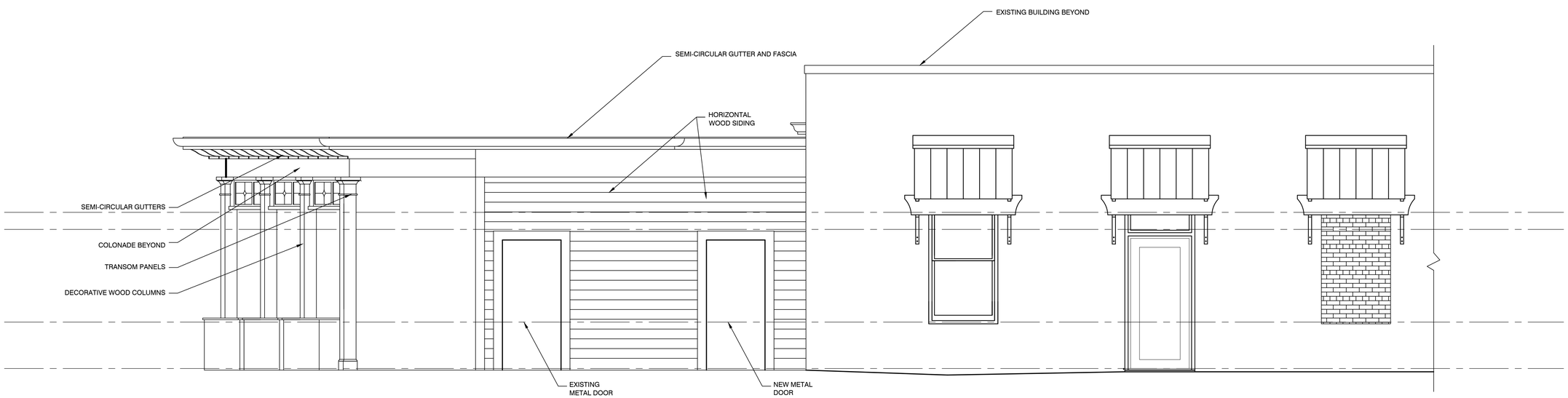

1 / A2.4 BACK OF BUILDING EXTERIOR ELEVATION
SCALE: 3/8" = 1'-0"

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EXTERIOR ELEVATIONS

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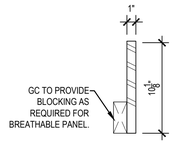
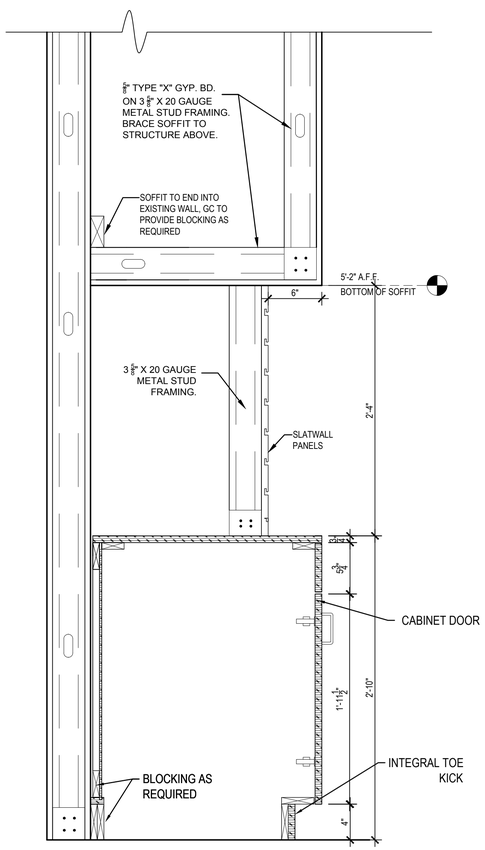
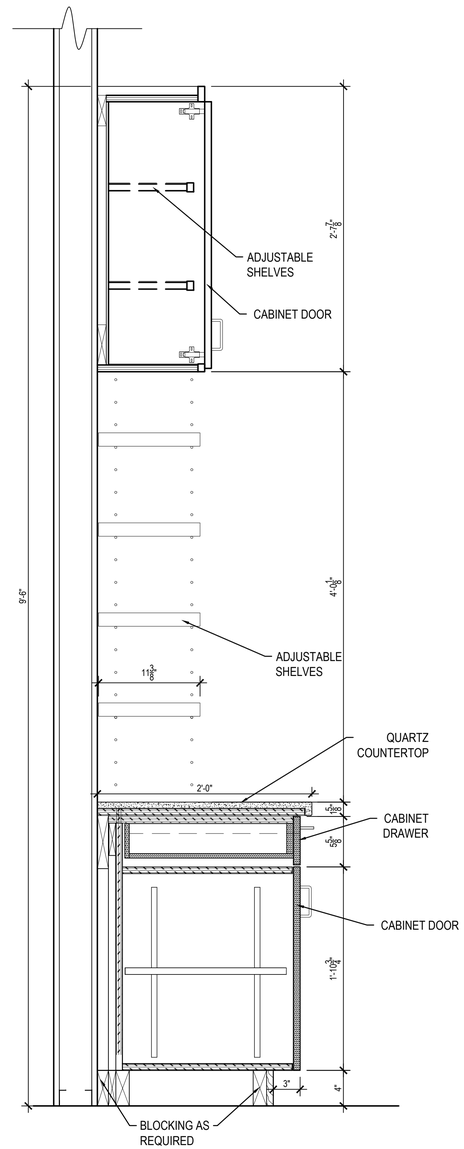


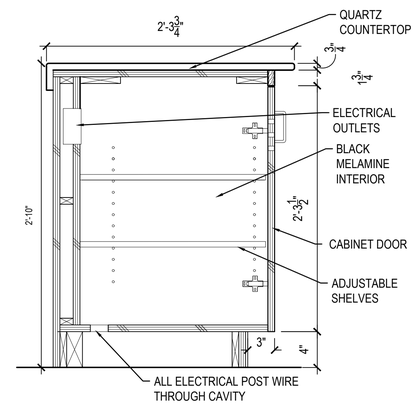
8 / A3.0 FLOOR BREATHABLE PANELS DETAIL
SCALE: 1 1/2" = 1'-0"



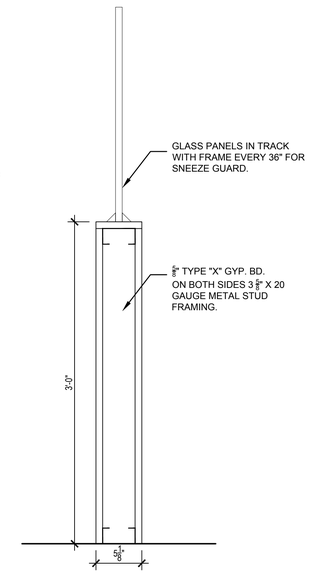
4 / A3.0 SOFFIT WITH BUILT-IN CABINETES
SCALE: 1 1/2" = 1'-0"



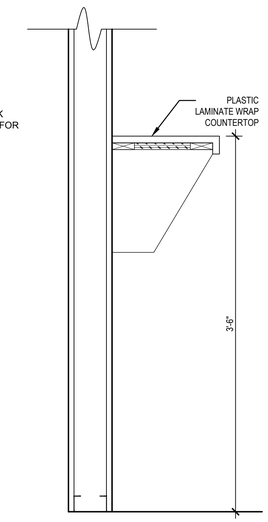
3 / A3.0 CABINET AND SHELVING UNIT DETAIL
SCALE: 1 1/2" = 1'-0"



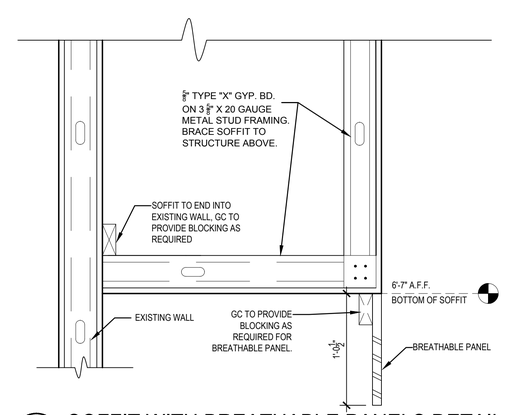
7 / A3.0 P.O.S. DESK
SCALE: 1 1/2" = 1'-0"



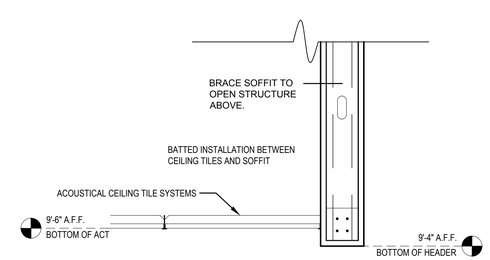
6 / A3.0 HALF WALL DETAIL
SCALE: 1 1/2" = 1'-0"



5 / A3.0 BAR HEIGHT COUNTERTOP
SCALE: 1 1/2" = 1'-0"



2 / A3.0 SOFFIT WITH BREATHABLE PANELS DETAIL
SCALE: 1 1/2" = 1'-0"



1 / A3.0 KITCEHN DROP CEILING DETAIL
SCALE: 1 1/2" = 1'-0"

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MILLWORK DETAILS

A3.0

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PLUMBING GENERAL NOTES

GENERAL REQUIREMENTS:

1. GENERAL AND SPECIAL CONDITIONS: GENERAL AND SPECIAL CONDITIONS ARE HEREBY MADE AN INTEGRAL PART OF THIS DIVISION OF THE SPECIFICATIONS INSOFAR AS SAME ARE APPLICABLE TO THE WORK UNDER THIS DIVISION AND UNLESS OTHERWISE SPECIFIED.
2. SCOPE: PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK.
3. CODE COMPLIANCE: ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION, BUILDING DEPARTMENTS, AND DEPARTMENT OF HEALTH. APPLICABLE NATIONAL, STATE, AND LOCAL CODES, LAWS, AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK SHALL BE INCORPORATED INTO AND MADE A PART OF THESE CONTRACT DOCUMENTS AND SPECIFICATIONS. THE CONTRACTOR IS TO NOTIFY THE ARCHITECT/ENGINEER OF ANY WORK OR MATERIALS WHICH VIOLATE ANY OF THE ABOVE CODES, LAWS, OR REGULATIONS. ANY WORK DONE BY THE CONTRACTOR CAUSING SUCH A VIOLATION SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE AND AT NO EXPENSE TO THE OWNER.
4. PERMITS: APPLY FOR AND PAY FOR ALL NECESSARY PERMITS, FEES, AND INSPECTIONS REQUIRED BY ANY PUBLIC AUTHORITY HAVING JURISDICTION.
5. WARRANTY: PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT UNDER THIS SECTION OF THE SPECIFICATIONS WITH A ONE YEAR WARRANTY FROM THE DATE OF ACCEPTANCE OF WORK BY THE OWNER.
6. RECORD DRAWINGS: CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF ALL AS-BUILT CONDITIONS DURING CONSTRUCTION AND TURN OVER ONE COPY EACH TO THE OWNER AND THE ARCHITECT AFTER COMPLETION.
7. OPERATING MANUALS: CONTRACTOR SHALL FURNISH TO THE OWNER 3 SETS OF OPERATION AND MAINTENANCE MANUALS FOR ALL MAJOR PIECES OF EQUIPMENT.
8. COORDINATION: VERIFY ALL ROUGH-IN LOCATIONS AND COORDINATE PIPING AND EQUIPMENT LOCATIONS WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID CONFLICTS. CONTRACTOR MUST COORDINATE WITH OTHER TRADES FOR ALL STRUCTURES, PIPING, CONDUIT, DUCTWORK, LIGHTING, ETC TO PROPERLY BE INSTALLED. ANY CONFLICTS SHALL BE RESOLVED AT NO EXPENSE TO THE OWNER.
9. FIELD VERIFICATION: FIELD VERIFY EXISTING CONDITIONS BEFORE STARTING CONSTRUCTION AND NOTIFY THE ARCHITECT/ENGINEER OF RECORD OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS, AND/OR ANY POTENTIAL PROBLEMS OBSERVED, BEFORE CONTINUING WORK IN THE AFFECTED AREAS.
10. LABEL ALL PLUMBING PIPING WITH ADHESIVE PIPE LABELS INDICATING SERVICE AND DIRECTION OF FLOW. PIPE LABELS SHALL BE LOCATED NEAR ALL BRANCH CONNECTIONS, NEAR ALL FLOOR AND WALL PENETRATIONS, AND AT MAXIMUM INTERVALS OF 25' ALONG EACH RUN.
11. PLUMBING SYSTEMS INCLUDE, BUT ARE NOT LIMITED TO:
    -PLUMBING FIXTURES AND EQUIPMENT
    -FIRE STOPPING
    -DOMESTIC WATER SYSTEM
    -SANITARY WASTE AND VENT SYSTEM
    -NATURAL GAS SYSTEM

FIXTURES:

1. PROVIDE COMPLETE FIXTURES AND INCLUDE SUPPLIES, STOPS, VALVES, FAUCETS, DRAINS, TRAPS, TAILPIECES, ESCUTCHEONS, ETC. EXPOSED COPPER OR BRASS MATERIALS SHALL BE CHROME PLATED.
2. SEAL ALL EDGES OF PLUMBING FIXTURES IN CONTACT WITH FLOORS, WALLS, OR COUNTERTOPS USING SANITARY-TYPE, ONE-PART, MILDEW RESISTANT SILICONE SEALANT. MATCH SEALANT COLOR TO FIXTURE COLOR.
3. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS OF PLUMBING FIXTURES.

FIRE STOPPING:

1. FIRE STOP ALL PENETRATIONS, BY PIPING OR CONDUITS, OF FIRE RATED WALLS, FLOORS, AND PARTITIONS. PROVIDE DEVICE(S) OR SYSTEM(S) WHICH HAS BEEN TESTED AND LISTED AS COMPLYING WITH ASTM E-814 AND INSTALL IN ACCORDANCE WITH THE CONDITIONS OF THEIR LISTING. PROVIDE DEVICE(S) OR SYSTEM(S) WITH AN 'F' RATING EQUAL TO THE RATING OF THE ASSEMBLY BEING PENETRATED.

DOMESTIC WATER PIPING:

1. FURNISH AND INSTALL A COMPLETE SYSTEM OF DOMESTIC HOT AND COLD WATER FROM EXISTING SUPPLIES TO ALL FIXTURES AND/OR EQUIPMENT REQUIRING DOMESTIC WATER SUPPLIES. VERIFY LOCATION OF BEGINNING POINTS.
2. DOMESTIC WATER PIPING: ASTM B 88 TYPE 'L' HARD COPPER TUBE WITH WROT COPPER FITTINGS, AND SOLDERED OR PRESSURE-SEALED JOINTS.
3. STERILIZE DOMESTIC WATER PIPING IN ACCORDANCE WITH THE AMERICAN WATER WORKS ASSOCIATION'S SPECIFICATIONS AND LOCAL HEALTH DEPARTMENT REGULATIONS.
4. INSULATE DOMESTIC WATER PIPING ABOVE GRADE (EXCEPT EXPOSED CONNECTIONS TO PLUMBING FIXTURES) WITH 1" THICKNESS ENGINEERED POLYMER FOAM INSULATION, OR MINERAL-FIBER PREFORMED PIPE INSULATION WITH FACTORY-APPLIED ASJ.
5. DOMESTIC WATER PIPING INSULATION, JACKETS, COVERINGS, SEALERS, MASTICS, AND ADHESIVES SHALL NOT EXCEED A FLAME SPREAD RATING OF 25 AND A SMOKE DEVELOPED RATING OF 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84.
6. ALL PIPE INSULATION SHALL RUN CONTINUOUSLY THROUGH WALLS AND PARTITIONS.
7. SHUT-OFF VALVES SHALL BE TWO-PIECE, BRONZE, FULL PORT, BALL TYPE, MANUFACTURED BY APOLLO OR NIBCO. PROVIDE SHUT-OFF VALVES AT ALL CONNECTIONS TO EXISTING PIPING, AND WHERE INDICATED ON THE DRAWINGS. INSTALL VALVES IN A LOCATION THAT PERMITS ACCESS FOR SERVICE AND OPERATION WITHOUT DAMAGE TO THE BUILDING OR FINISHED MATERIALS. PROVIDE ACCESS DOORS IF REQUIRED.
8. PROTECT COPPER PIPING AGAINST CONTACT WITH DISSIMILAR METALS. ALL HANGERS, SUPPORTS, ANCHORS, AND CLIPS SHALL BE COPPER OR COPPER-PLATED.

SANITARY WASTE AND VENT PIPING:

1. FURNISH AND INSTALL COMPLETE SYSTEMS OF SANITARY WASTE AND VENT PIPING FROM ALL PLUMBING FIXTURES AND/OR EQUIPMENT REQUIRING WASTE AND VENT CONNECTIONS. ALL WASTE AND VENT PIPING SHALL BE CONCEALED IN THE BUILDING CONSTRUCTION WHERE POSSIBLE.
2. SANITARY WASTE AND VENT PIPING: ASTM D 2665 SCHEDULE 40 SOLID WALL PVC PIPE WITH ASTM D 3311 SCHEDULE 40 SOCKET-TYPE FITTINGS. PVC PIPING INSTALLED IN RETURN AIR PLENUMS MUST BE PROTECTED WITH 3M FIRE BARRIER PLENUM WRAP 5A□, OR SIMILAR PRODUCT.
3. INVERT ELEVATIONS SHALL BE ESTABLISHED AND VERIFIED BEFORE SANITARY PIPING IS INSTALLED IN ORDER THAT PROPER SLOPES WILL BE MAINTAINED. SLOPE SANITARY PIPING 2-1/2" AND SMALLER AT 1/4" PER FOOT MINIMUM, AND SLOPE SANITARY PIPING 3" AND LARGER AT 1/8" PER FOOT MINIMUM.
4. INSTALL CLEANOUTS IN A LOCATION THAT PERMITS ACCESS FOR SERVICE WITHOUT DAMAGE TO THE BUILDING OR FINISHED MATERIALS. CLEANOUT PLUGS SHALL BE INSTALLED IN ACCORDANCE WITH PLUMBING CODE REQUIREMENTS.
5. ALL INDIRECT WASTE PIPING SHALL DISCHARGE THROUGH AN AIR GAP INTO AN APPROVED WASTE RECEPTOR. THE AIR GAP BETWEEN THE INDIRECT WASTE PIPE AND THE FLOOD LEVEL RIM OF THE WASTE RECEPTOR SHALL BE A MINIMUM OF TWICE THE EFFECTIVE OPENING OF THE INDIRECT WASTE PIPE.

NATURAL GAS PIPING:

1. ALL WORK SHALL BE IN ACCORDANCE WITH NCFGC, ALL APPLICABLE LOCAL CODE REQUIREMENTS, THE PROVISIONS OF NFPA 54, AND THE REGULATIONS OF THE GAS COMPANY PROVIDING SERVICE.
2. NATURAL GAS PIPING: ASTM A 53 SCHEDULE 40 SEAMLESS BLACK STEEL PIPE WITH MALLEABLE FITTINGS AND THREADED JOINTS.
3. ALL PIPING EXPOSED TO THE OUTDOORS SHALL BE PAINTED WITH TWO COATS OF ENAMEL. COLOR SELECTED BY ARCHITECT, OR AS REQUIRED BY GAS COMPANY.

PLUMBING FIXTURE SPECIFICATIONS AND CONNECTION SCHEDULE

MARK	FIXTURE	TYPE	MATERIAL	PIPE SIZES				SPECIFICATIONS
				SAN	VENT	CW	HW	
EWC-1	ELECTRIC WATER COOLER	WALL MOUNTED DUAL HEIGHT	STAINLESS STEEL	1-1/2"	1-1/2"	1/2"	-	FIXTURE: ELKAY MODEL EMABFTL8SC, BARRIER-FREE, SELF-CONTAINED, 8.0 GPH, PUSH BAR CONTROLS ON FRONT AND SIDES, ONE PIECE STAINLESS STEEL TOPS WITH INTEGRAL DRAINS, FLEXIBLE BUBBLERS, STAINLESS STEEL CABINETS. TRAP: M□GUIRE MODEL 8912CNC 1-1/2" □1-1/2" 17 GAUGE CHROME PLATED CAST BRASS P-TRAP. SUPPLY: M□GUIRE MODEL LFST13, POLISHED CHROME PLATED CAST BRASS WHEEL HANDLE STRAIGHT STOP, 1/2" IPS INLET, 3/8" COMPRESSION OUTLET.

DEMOLITION NOTES

1. DISCONNECT AND REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING AND TRIM WHERE INDICATED.
2. ALL SANITARY PIPING NO LONGER REQUIRED SHALL BE REMOVED TO ELIMINATE DEAD ENDS, AND SHALL BE SEALED AIR AND WATER TIGHT IN A MANNER TO AVOID BLOCKAGE OF PORTIONS OF SANITARY PIPING REMAINING IN USE. CLEANOUTS MAY BE INSTALLED AT THE END OF DEAD ENDS BELOW SLABS ON GRADE TO AVOID CUTTING OF FLOOR SLABS.
3. ALL DOMESTIC WATER PIPING AND ALL NATURAL GAS PIPING NO LONGER REQUIRED SHALL BE REMOVED.
4. ALL PLUMBING FIXTURES, TRIM, EQUIPMENT AND PIPING REMOVED FROM THE BUILDING SHALL BE OFFERED TO THE OWNER. ALL ITEMS NOT RETAINED BY THE OWNER BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.
5. WHERE PLUMBING PIPING IS CONCEALED IN EXISTING WALLS, FLOORS, OR CEILINGS (OTHER THAN LAY-IN TILE CEILINGS) NOT SUBJECT TO REMOVAL, THE CONTRACTOR MAY REMOVE ALL EXPOSED PIPING AND EQUIPMENT AND ABANDON/CONCEAL REMAINING PIPING. REMAINING PIPING SHALL BE CAPPED/PLUGGED AIR AND WATER TIGHT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ALL DAMAGED CEILING TILES AND PATCHING ALL HOLES IN REMAINING WALLS, FLOORS, OR CEILINGS RESULTING FROM THE REMOVAL OF PLUMBING ITEMS. ALL PATCHED SURFACES SHALL MATCH EXISTING ADJACENT SURFACES.

PLUMBING EQUIPMENT SCHEDULE

MARK	EQUIPMENT	MANUFACTURER & MODEL NO.	SPECIFICATIONS
FD	FLOOR DRAIN	ZURN ZN415B-P	CAST IRON BODY, MEMBRANE CLAMP, ADJUSTABLE COLLAR, 6" DIAMETER "TYPE B" POLISHED NICKEL BRONZE STRAINER, 1/2" TRAP PRIMER CONNECTION.
FS	FLOOR SINK	ZURN ZN1901-KC-2	12"x12"x8" DEEP CAST IRON BODY WITH WHITE ACID RESISTING PORCELAIN ENAMEL INTERIOR, ANCHOR FLANGE WITH SEEPAGE HOLES AND CLAMP COLLAR, NICKEL BRONZE FRAME WITH 1/2 GRATE.
FCO	FLOOR CLEAN OUT	ZURN ZN1400-BP	ADJUSTABLE, COATED CAST IRON BODY, ROUND SCORIATED NICKEL BRONZE TOP, BRONZE PLUG.
TMV	THERMOSTATIC MIXING VALVE	SYMMONS MAXLINE 7-225-CK-MS	0.5 GPM MINIMUM FLOW, THERMOSTATIC WATER TEMPERATURE LIMITING VALVE WITH INTEGRAL CHECKS, BRASS BODY, BRASS AND STAINLESS STEEL INTERNAL COMPONENTS, DUAL STAINLESS STEEL STRAINERS, VANDAL-RESISTANT CAP/TEMPERATURE ADJUSTMENT HANDLE, 1/2" MALE NPT CONNECTIONS. SET MIXING VALVE OUTLET TEMPERATURE TO 110° F.

PLUMBING LEGEND

PIPING

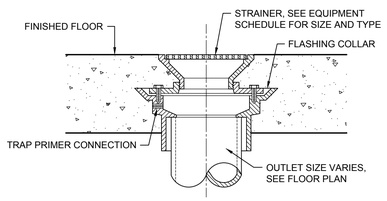
- DOMESTIC COLD WATER PIPING (CW)
- DOMESTIC HOT WATER PIPING (HW)
- NATURAL GAS PIPING (G)
- SANITARY PIPING (SAN)
- VENT PIPING (V)

SYMBOLS

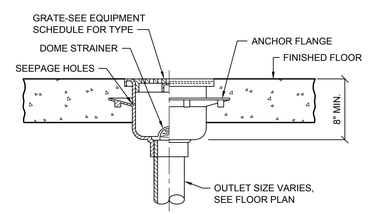
- BALL VALVE (NORALLY OPEN)
- OR FLOOR CLEANOUT (FCO)
- FLOOR DRAIN (FD)
- FLOOR SINK (FS)
- PIPE CONTINUES
- OR PIPE DOWN
- OR PIPE UP
- POINT OF CONNECTION TO EXISTING

ABBREVIATIONS

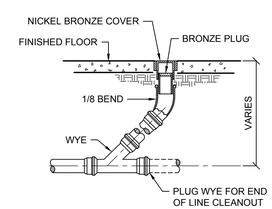
ABV	ABOVE
AFF	ABOVE FINISHED FLOOR
AHAP	AS HIGH AS POSSIBLE
BLDG	BUILDING
BLW	BELOW
CLG	CEILING
CONN	CONNECT OR CONNECTION
CONT	CONTINUATION
DN	DOWN
E.C.	ELECTRICAL CONTRACTOR
ETR	EXISTING TO REMAIN
EX, EXIST, (E)	EXISTING
FLR	FLOOR
G.C.	GENERAL CONTRACTOR
M.C.	MECHANICAL CONTRACTOR
MTD	MOUNTED
P.C.	PLUMBING CONTRACTOR
TYP	TYPICAL
W	WASTE



1 / P0.1 **FLOOR DRAIN DETAIL**
NOT TO SCALE



2 / P0.1 **FLOOR SINK DETAIL**
NOT TO SCALE



3 / P0.1 **FLOOR CLEANOUT DETAIL**
NOT TO SCALE

WAVE ENGINEERING
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CHARLOTTE NC, 28203
980.256.7728
INFO@WAVE-ENGINEERING.COM
NC CORP. LICENSE #P-1621
WAVE PROJECT #17045

NORTH CAROLINA PROFESSIONAL SEAL 037734 ENGINEER MICHAEL J. SENUTA 3/31/2017

THE PICKLED PEACH Handcrafted Foods

202 S. MAIN STREET
SUITE E
DAVIDSON, NC 28036

OWNER SET	#1
BID SET	#1
BUILDING DEPT	#0
FIRE MARSHAL	#0
HEALTH DEPT	#0

ISSUE DATE: 3.31.17

PICKLED PEACH

REVISION		DATE
no.	date	comment
1		
2		
3		
4		
5		
6		
7		

DRAWN BY	MJS
CHECKED BY	MJS
PROJECT DATE	3.31.2017
PROJECT NUMBER	17-1867R

PLUMBING NOTES, SCHEDULES AND DETAILS

P0.1

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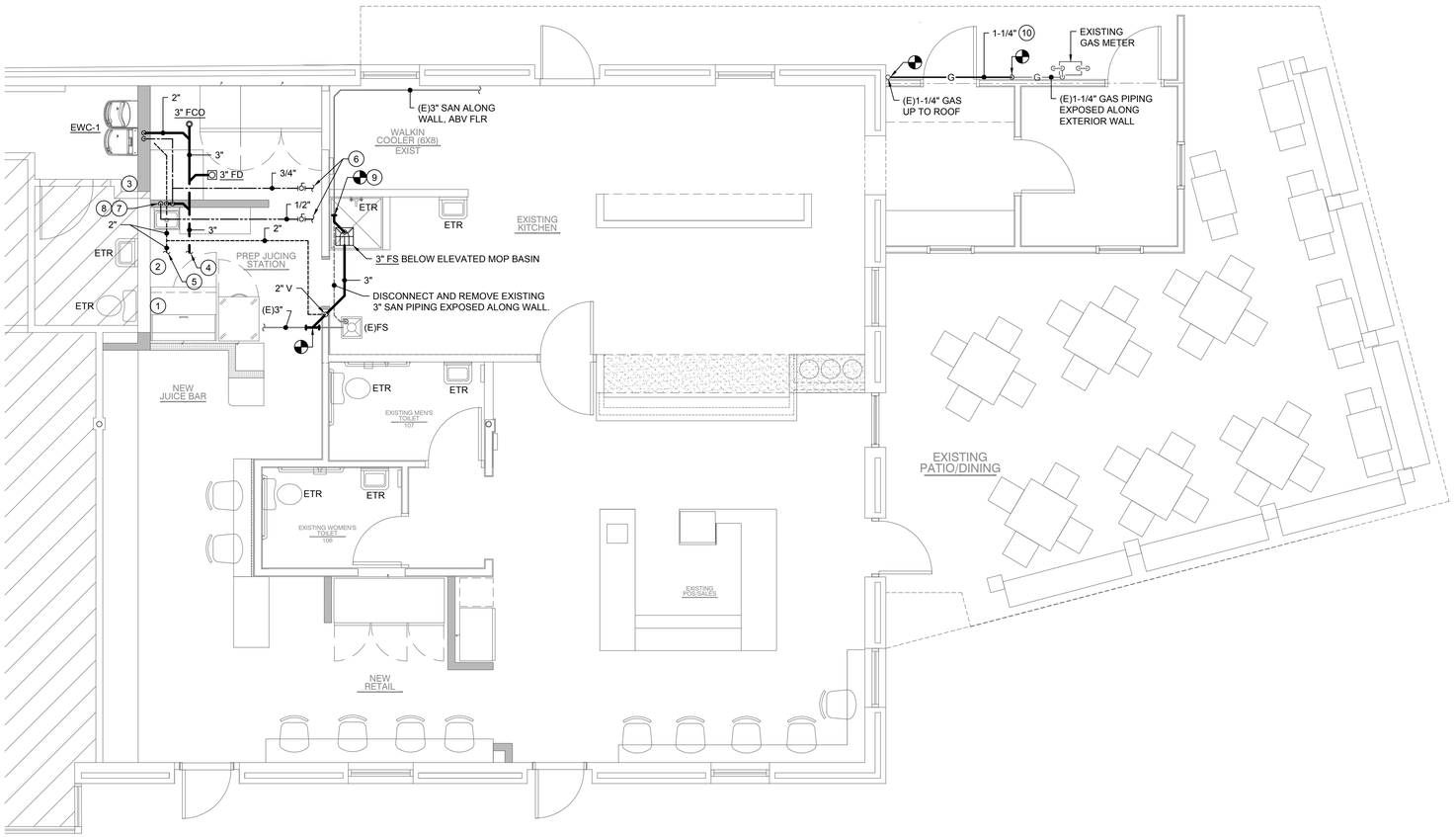

1 P1.1 **PLUMBING FLOOR PLAN**

SCALE: 1/4" = 1'-0"

KEYED NOTES THIS SHEET

1. DISCONNECT AND REMOVE EXISTING TOILET AND ALL ASSOCIATED PIPING AND TRIM IN THIS AREA.
2. DISCONNECT AND REMOVE EXISTING LAVATORY AND ALL ASSOCIATED PIPING AND TRIM IN THIS AREA.
3. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER COOLER AND ALL ASSOCIATED PIPING AND TRIM IN THIS AREA.
4. EXTEND NEW 3" SAN PIPING AND CONNECT TO EXISTING SAN PIPING IN THIS AREA. VERIFY EXACT LOCATION, SIZE, INVERT, AND DIRECTION OF FLOW OF EXISTING PIPING IN FIELD.
5. EXTEND NEW 2" VENT PIPING AND CONNECT TO EXISTING VENT PIPING IN THIS AREA. VERIFY EXACT LOCATION AND SIZE OF EXISTING PIPING IN FIELD.
6. EXTEND NEW 1/2" HW AND 3/4" CW PIPING AND CONNECT TO EXISTING HW AND CW PIPING IN THIS AREA. VERIFY EXACT LOCATION AND SIZE OF EXISTING PIPING IN FIELD.
7. NEW HAND SINK PROVIDED AND INSTALLED BY OTHERS. CONNECT 1-1/2" W&V TO HAND SINK. IN LIEU OF STANDARD P-TRAP, PROVIDE ZURN Z1021 WATER SAVER TRAP PRIMER P-TRAP WITH CLEANOUT PLUG AND PRIMER HOSE. CONNECT 1/2" TRAP PRIMER LINE TO PRIMER HOSE, DROP DOWN IN WALL TO BELOW BELOW FLOOR, AND EXTEND BELOW FLOOR TO CONNECTION ON FLOOR DRAIN.
8. NEW HAND SINK PROVIDED AND INSTALLED BY OTHERS. CONNECT 1/2" HW AND CW TO HAND SINK. PROVIDE TMV BELOW HAND SINK SET AT 110° F.
9. CONNECT NEW 3" SAN PIPING TO EXISTING 3" PIPING, EXTEND TO AND TERMINATE ABOVE NEW FLOOR SINK.
10. DISCONNECT AND REMOVE EXISTING SECTION OF 1-1/4" GAS PIPING EXPOSED ALONG WALL. REROUTE NEW GAS PIPING ALONG WALL, AS HIGH AS POSSIBLE ABOVE NEW DOOR AND RECONNECT TO EXISTING PIPING.

GENERAL NOTES THIS SHEET

1. SEE FIXTURE SCHEDULE ON SHEET P0.1 FOR SIZES OF DOMESTIC WATER AND SANITARY WASTE AND VENT CONNECTIONS TO INDIVIDUAL FIXTURES.
2. MINIMUM SIZE FOR SANITARY WASTE AND VENT PIPING BELOW GROUND SHALL BE 2".
3. ALL DOMESTIC WATER PIPING AND ALL NATURAL GAS PIPING SHOWN ON THIS SHEET SHALL BE RUN ABOVE CEILINGS IN AREAS WITH CEILINGS AND SHALL BE RUN AS HIGH AS POSSIBLE IN AREAS WITHOUT CEILINGS, UNLESS OTHERWISE NOTED.
4. ALL SANITARY VENT PIPING SHOWN ON THIS SHEET SHALL BE RUN ABOVE CEILINGS IN AREAS WITH CEILINGS AND SHALL BE RUN AS HIGH AS POSSIBLE IN AREAS WITHOUT CEILINGS, UNLESS OTHERWISE NOTED. ALL SANITARY WASTE PIPING SHOWN ON THIS SHEET SHALL BE RUN BELOW FLOORS, UNLESS OTHERWISE NOTED.
5. THE PLUMBING CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS INCLUDING DIRECTION OF FLOW, INVERTS, AND TIE-IN LOCATIONS PRIOR TO ROUTING ANY PIPING. SAWCUT EXISTING SLAB, WALL, OR CEILING CONSTRUCTION AS REQUIRED. AREAS TO BE SAWCUT SHALL BE APPROVED BY ARCHITECT PRIOR TO CUTTING. ALL SAWCUT AND ALTERED SURFACES SHALL BE FILLED, PATCHED, PAINTED, AND REPAIRED TO MATCH ADJACENT SURFACES.

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WAVE PROJECT #17040

NORTH CAROLINA PROFESSIONAL SEAL 037734 ENGINEER MICHAEL J. SENIVA
3/31/2017

THE PICKLED PEACH

202 S. MAIN STREET
SUITE E
DAVIDSON, NC 28036

OWNER SET	#1
BID SET	#1
BUILDING DEPT	#0
FIRE MARSHAL	#0
HEALTH DEPT	#0

ISSUE DATE: 3.31.17

PICKLED PEACH

REVISION — DATE

no.	date	comment
1		
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DRAWN BY	MJS
CHECKED BY	MJS
PROJECT DATE	3.31.2017
PROJECT NUMBER	17-1867R

PLUMBING FLOOR PLAN

P1.1

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OUTSIDE AIR CALCUALTIONS BASED ON TABLE 403.3

UNIT TAG	AREA SERVED	AREA (SQ. FT.)	VENTILATION EFFECTIVENESS (Ez)	NO. OF PEOPLE PER 1000 SQ. FT. (TABLE 403.3)	PEOPLE QUANTITY	AIRFLOW PER PERSON (TABLE 403.3)	AIRFLOW PER SQFT (TABLE 403.3)	OUTSIDE AIR REQUIRED BY AREA SERVED (CFM)	TOTAL OUTSIDE AIR REQUIRED (CFM)	TOTAL OUTSIDE AIR PROVIDED (CFM)
(E)AH-4	SALES	342	0.8	15	6	7.5	0.12	107.6	108.0	200
							TOTAL	107.6	108	200

AIR DISTRIBUTION SCHEDULE

TAG	MANUFACTURER & MODEL NO.	NECK SIZE	FACE SIZE	FRAME TYPE	PATTERN	DAMPER	MATERIAL	SERVICE	FINISH	NOTES
S-1	PRICE / SCD	6" DIA	24x24	LAY-IN	4-WAY	YES	ALUMINUM	SUPPLY	OFF WHITE	1,2
S-2	PRICE / SDGE	-	12x6	SURFACE	DBL. DEFF.	YES	STEEL	SUPPLY	PAINT GRIP	1,2
R-1	PRICE / 510	-	14x14	SURFACE	SING. DEFF.	NO	STEEL	RETURN	PAINT GRIP	1,2

NOTES:
1. PROVIDE OPPOSED BLADE DAMPERS IN NECK OF DIFFUSER OR REGISTER, WITH ACCESS TO DAMPER THROUGH FACE OF DIFFUSER OR REGISTER.
2. ACCEPTABLE EQUALS SHALL BE ANEMOSTAT, CARNES, KRUEGER, NAILOR, TITUS AND TUTTLE & BAILEY.

SPLIT SYSTEM WITH ELECTRIC HEAT UNIT SCHEDULE

AIR HANDLING UNIT DATA														CONDENSING UNIT										
		FAN DATA					COOLING		HEAT		ELECTRICAL DATA			GENERAL DATA					ELECTRICAL DATA					
TAG	MANUFACTURER/ MODEL NO.	SUPPLY CFM	OA (CFM)	MIN.EXT. S.P. (IN.WG)	MOTOR HP	FAN RPM	TOTAL (MBH)	SENS. (MBH)	INPUT (KW)	OUTPUT (MBH)	V/PH	MCA (A)	MOCP (A)	TAG	MANUFACTURER/ MODEL NO.	NOMINAL TONNAGE	EFF. EER (SEER)	EFF. IEER	V/PH	MCA (A)	MOCP (A)	WEIGHT (LBS) AH/CU	NOTES
AH-1	TRANE / TAM4A0A36	960	200	0.9	1.5	1075	36	27.7	5.7	19.7	208/1	38	40	CU-1	TRANE / 4TTB4036E1	3.0	14	-	208/1	19	30	150/200	1-14

NOTES:
1. COOLING CAPACITIES ARE RATED IN ACCORDANCE WITH ARI STANDARD 210/ 290 AT 95 DEGREE FARHENHEIT AMBIENT OUTDOOR AIR TEMPERATURE, 80 DEGREE FARHENHEIT DRY BULB, AND 67 DEGREE FARHENHEIT WET BULB ENTERING AIR TEMPERATURE, AND NORMAL AIR QUANTITY LISTED.
2. REFRIGERANT PIPING TO BE SIZED PER TOTAL INSTALLATION EQUIVALENT LENGTH. LONG-LINE APPLICATION TO BE PROVIDED WHENEVER MANUFACTURER RECOMMENDED LENGTHS ARE EXCEEDED, INCLUDING LIQUID LINE SOLENOID VALVES, ACCUMULATOR, ETC. MAXIMUM T.D.L. IS 100'.
3. PROVIDE SINGLE POINT ELECTRICAL CONNECTION FOR AIR HANDLING UNIT.
4. PROVIDE NEW FILTER IN EACH UNIT AT TURNOVER TO OWNER.
5. PROVIDE 7 DAY PROGRMABALE THERMOSTAT WITH ON/ AUTO FAN SWITCH AND HEAT-OFF-COOL FOR EACH UNIT. PROVIDE WITH OUTSIDE AIR TEMPERATURE SENSOR TO LOCKOUT ELECTRIC HEAT WHEN OUTSIDE AIR TEMPERATURE IS ABOVE 60 DEGREES. PROGRAM FAN SETTING TO BE IN "ON" POSITION DURING PERIODS OF OCCUPATION. PROVIDE A 24V MOTORIZED DAMPER ON FRESH AIR RUN-OUT TO UNIT. DAMPER IS TO OPEN WHEN FAN IS ENERGIZED.
6. INSTALL NEW CONDENSING UNIT IN LOCATION OF EXISTING CONDENSING UNIT, PROVIDE NEW REFRIGERANT LINE SET.
7. DRAIN CONDENSATE TO EXISTING DISCHARGE LOCATION, ADJUST PIPE ROUTEING AS NEEDED FOR NEW DOOR WAY OPENING.
8. UNIT SHALL BE UL LISTED AND ARI CERTIFIED. MAINTAIN FACTORY SPECIFIED CLEARNANCES ON ALL SIDE OF EQUIPMENT.
9. PROVIDE UNIT WITH INDOOR UNIT WITH VIBRATION ISOLATION. PRVIDE OUTDOOR UNIT WITH PATE EQUIPMENT RAILS WITH VIBRATION ISOLATION.
10. CATALOG NUMBERS AND MANUFACTURERS ARE TO INDICATE TYPE AND QUALITY OF UNIT DESIRED. SUBMIT CUTSHEETS OF THESE AND ALTERNATE MANUFACTURERS FOR ARCHITECT AND OWNER APPROVAL PRIOR TO PURCHASE OF ANY UNITS. INFORMATION ON ALTERNATE UNITS PROPOSED BY THE CONTRACTOR SHALL INCLUDE THE ADD/ DEDUCT ASSOCIATED WITH ACCEPTANCE OF THAT UNIT (OR THE ALTERNATE PACKAGE AS A WHOLE).
11. PROVIDE FACTORY INSTALLED DIRTY FILTER SWITCH AND BLOWER PROVING SWITCH.
12. PROVIDE 1 YEAR PARTS AND LABOR WARRANTY. PROVIDE 5 YEAR PARTS WARRANTY ON COMPRESSORS.
13. ACCEPTABLE ALTERNATE MANUFACTURERS: LENNOX, YORK, & CARRIER
14. MECHANICAL CONTRACTOR SHALL PROVIDE A START UP CHECKLIST CONFIRMING ALL UNITS HAVE BEEN PROPERLY STARTED AND CONFIRMED RUNNING PROPERLY.

ENERGY REQUIREMENTS:
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

METHOD OF COMPLIANCE

PRESCRIPTIVE ☒ PERFORMANCE ☐ ENERGY COST BUDGET ☐

CLIMATE ZONE 3

THERMAL ZONE
- WINTER DRY BULB 23
- SUMMER DRY BULB 91

INTERIOR DESIGN CONDITIONS
- WINTER DRY BULB 70
- SUMMER DRY BULB 75
- RELATIVE HUMIDITY 50

BUILDING HEATING LOAD (MBH) NA

BUILDING COOLING LOAD (MBH) NA

MECHANICAL SPACING CONDITIONING SYSTEM
- UNITARY
  - DESCRIPTION OF UNIT SEE SCHEDULES
  - HEATING EFFICIENCY SEE SCHEDULES
  - COOLING EFFICIENCY SEE SCHEDULES
  - HEAT OUTPUT OF UNIT SEE SCHEDULES
  - COOLING OUTPUT OF UNIT SEE SCHEDULES
- BOILER
  - TOTAL BOILER OUTPUT. IF OVERSIZED, STATE REASON. NA
- CHILLER
  - TOTAL CHILLER OUTPUT. IF OVERSIZED, STATE REASON. NA

LIST EQUIPMENT EFFICIENCIES SEE SCHEDULES

EQUIPMENT SCHEDULES WITH MOTORS (MECHANICAL SYSTEMS)
- MOTOR HORSEPOWER SEE SCHEDULES
- NUMBER OF PHASES SEE SCHEDULES
- MINIMUM EFFICIENCY SEE SCHEDULES
- MOTOR TYPE SEE SCHEDULES
- NUMBER OF POLES SEE SCHEDULES

DESIGNER'S STATEMENT:
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THIS BUILDING COMPLIES WITH THE MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT REQUIRMENTS OF THE N.C. ENERGY CODE.

SIGNED:

NAME: Brandon R Dillard

TITLE: Mechanical Engineer P.E.

GENERAL MECHANICAL NOTES

1. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT IN STRICT ACCORDANCE WITH APPLICABLE CODES AND STANDARDS, AND PER MANUFACTURER'S DIRECTIONS.
2. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS, LICENSE, INSPECTIONS, APPROVALS, AND FEES.
3. THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE THAT SHALL WARRANT ALL WORKMANSHIP AND MATERIALS FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER. ANY BREAKDOWN OCCURRING IN THE FIRST YEAR SHALL BE AT NO EXPENSE TO THE OWNER. ALL REFRIGERATION COMPRESSORS SHALL HAVE A FIVE YEAR (PARTS ONLY) WARRANTY, AND ALL NATURAL GAS HEAT EXCHANGERS SHALL HAVE A TEN YEAR (PARTS ONLY) WARRANTY.
4. DRAWINGS ARE SCHEMATIC, NOT ALL RISES AND DROPS ARE SHOWN. DO NOT SCALE DRAWINGS FOR MEASUREMENTS.
5. TRADES ARE TO COORDINATE THEIR WORK WITH ALL OTHER TRADES TO AVOID CONFLICTS. GENERALLY, DUCTWORK SHALL BE KEPT AS HIGH AS POSSIBLE.
6. CUTTING OR OTHERWISE ALTERING ANY STRUCTURAL MEMBERS SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE STRUCTURAL ENGINEER OF RECORD.
7. CONTRACTOR SHALL KEEP A SET OF MARKED UP PRINTS WITH ANY FIELD CHANGES MADE DURING CONSTRUCTION TO CREATE AN "AS-BUILT" SET OF PRINTS TO BE TURNED OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.
8. PROVIDE ACCESS PANELS IN CEILINGS AND WALLS TO ALLOW ACCESS TO VALVES, TRAPS, DAMPERS, CLEANOUTS, CONTROLS, ETC. MINIMUM ACCESS SIZE - 12"x12", UNLESS LIMITED BY PHYSICAL CONSTRAINTS.
9. ALL CONDENSATE DRAIN PIPING SHALL BE TYPE L HARD DRAWN COPPER, ASTM B-88, WITH TYPE DWV FITTINGS, ASME B16.23, OR SCHEDULE 40 PVC, ASTM D1785, WITH TYPE DWV FITTINGS, ASTM D2672. COPPER DRAIN PIPE AND FITTINGS SHALL BE JOINED USING 95-5 SILVER SOLDER, AND PVC PIPE AND FITTINGS SHALL BE JOINED USING SOLVENT CEMENT. PROVIDE TRAP WITH CLEANOUT AND UNIONS. SLOPE CONDENSATE DRAIN LINES A MINIMUM OF 1/8" PER FOOT AWAY FROM THE MECHANICAL EQUIPMENT.
10. OUTSIDE AIR FOR AIR CONDITIONING UNITS SHALL BE A MINIMUM OF 10 FEET FROM EXHAUST FANS, EXHAUST OPENINGS AND PLUMBING VENTS.
11. ALL DUCT DIMENSIONS SHOWN ARE INSIDE CLEAR DIMENSIONS.
12. ALL SUPPLY AND RETURN DUCTWORK SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE LATEST SMACNA AND ASHRAE STANDARDS. DUCTWORK SHALL BE FABRICATED OF GALVANIZED STEEL FOR A PRESSURE RATING OF (-) 2" WG FOR RETURN AND (+) 2" WG FOR SUPPLY DUCTWORK. ALL EXHAUST DUCTWORK SHALL CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE LATEST SMACNA AND ASHRAE STANDARDS. EXHAUST DUCTWORK SHALL BE FABRICATED OF GALVANIZED STEEL FOR A PRESSURE RATING OF 1" WG IN EXCESS OF THE SYSTEM FAN TOTAL STATIC PRESSURE RATING AT DESIGN FLOW RATE, UNLESS NOTED OTHERWISE.
13. SUPPORT DUCTWORK FROM BUILDING STRUCTURE IN ACCORDANCE WITH SMACNA STANDARDS.
14. RADIUSED DUCTWORK ELBOWS SHALL HAVE A CENTERLINE RADIUS OF 1.5 TIMES THE DUCT WIDTH (OR DIAMETER) UNLESS NOTED OTHERWISE.
15. ALL MITERED ELBOWS (RECTANGULAR AND ROUND) SHALL HAVE DOUBLE THICKNESS TURNING VANES INSTALLED UNLESS NOTED OTHERWISE ON DRAWINGS.
16. SECURELY SEAL ALL JOINTS LONGITUDINAL AND TRANSVERSE SEAMS AND CONNECTIONS IN DUCTWORK USING WELDMENTS, MECHANICAL FASTENERS WITH SEALS OR GASKETS OR MASTICS, MESH AND MASTIC SEALING SYSTEMS OR TAPES. TAPES AND MASTICS MUST BE LISTED AND LABELED IN ACCORDANCE WITH UL181A OR UL181B.
17. DUCT CONNECTIONS TO FANS AND OTHER AIR DISTRIBUTION EQUIPMENT SHALL BE MADE USING MECHANICAL FASTENERS WITH SEALS, MASTICS OR GASKETS.
18. SUPPLY AIR AND RETURN AIR DUCTWORK SHALL BE INSULATED WITH A MINIMUM 2" THICK, 3/4 LB. PER CUBIC FOOT, FIBERGLASS DUCTWRAP, WITH FOIL FACED VAPOR BARRIER AND AN INSTALLED THERMAL RESISTANCE OF 6.0 (R VALUE). ALTERNATE INSULATION FOR RECTANGULAR SUPPLY AND RETURN DUCT SHALL BE AN INTERIOR DUCT LINING WITH A MINIMUM 1-1/2" THICK, 1.5 LB. PER CUBIC FOOT DUCT LINER. DUCT LINER SHALL CONTAIN AN ANTI-MICROBIAL AGENT WITHIN THE DUCT LINING ITSELF. MINIMUM "R" VALUE SHALL BE R-6.3. INCREASE DUCT SHEET METAL SIZE AS REQUIRED TO MEET INSIDE CLEAR DIMENSIONS GIVEN ON DRAWINGS.
19. ALL DUCT INSULATION SHALL MEET THE MINIMUM REQUIREMENTS OF U.L. 181 FOR FLAME SPREAD AND SMOKE DEVELOPMENT, AND SHALL BE U.L. LISTED.
20. COORDINATE LOCATIONS OF GRILLES, REGISTERS AND DIFFUSERS WITH ARCHITECTURAL REFLECTED CEILING PLAN. LOCATIONS SHOWN ARE APPROXIMATE, ADJUST LOCATIONS IN THE FIELD AS REQUIRED BY CONSTRUCTION CONSTRAINTS.
21. PROVIDE EACH SUPPLY AIR OUTLET OR DIFFUSER WITH ITS OWN BALANCING DEVICE. DEVICES CAN BE LOCATED IN DUCTWORK OR SUPPLY AIR DEVICE ITSELF.
22. ALL MANUAL BALANCING DAMPERS SHALL HAVE A LOCKING QUADRANT.
23. FLEXIBLE DUCTWORK SHALL BE CLASSIFIED UNDER UL 181. PROVIDE A MINIMUM OF 3 FEET IN LENGTH AND A MAXIMUM OF 10 FEET IN LENGTH, SUPPORTED WITH 3" GALVANIZED SHEET METAL STRAPS AT 4 FEET CENTERS (MAX). FLEXIBLE DUCT RUNOUTS SHALL BE ROUND DUCTWORK REINFORCED WITH A WIRE HELIX AND INSULATED WITH 1-1/2" THICK FIBERGLASS (WITH A 6.0 "R" VALUE MINIMUM) COVERED WITH FLAMEPROOF VAPOR BARRIER OF ALUMINUM METALIZED POLYESTER FILM LAMINATED TO GLASS MESH. DUCT SHALL BE ATCO'S UPC #036 VALUFLEX CLASS 1 AIR DUCT OR EQUAL. CONNECTIONS TO DUCT MAINS SHALL BE MADE WITH FITTINGS PROVIDED WITH TWIST RINGS, BUTTERFLY DAMPERS, LOCKING HAND QUADRANTS, AND INSULATION GUARDS.
24. CONTRACTOR SHALL FURNISH, ROUTE, AND INSTALL CONTROL WIRING FOR ALL MECHANICAL SYSTEMS. FOR SYSTEMS WITH MULTIPLE COMPONENTS CONTRACTOR IS RESPONSIBLE FOR ALL WIRING BETWEEN COMPONENTS.
25. INSTALL THERMOSTATS AT 4'-0" A.F.F. UNLESS NOTED OTHERWISE. THERMOSTAT LOCATIONS SHALL BE COORDINATED WITH FINAL LOCATIONS OF WALL-MOUNTED ARCHITECTURAL AND ELECTRICAL EQUIPMENT. FINAL LOCATIONS MUST BE APPROVED BY THE ARCHITECT AND OWNER. THERMOSTATS SHALL NOT BE INSTALLED ON EXTERIOR WALLS IF INTERIOR WALLS ARE AVAILABLE WITHIN SPACE SERVED BY THERMOSTAT. SHOULD THE THERMOSTAT REQUIRE INSTALLATION ON AN EXTERIOR WALL AN INSULATED BACKING PLATE MUST BE PROVIDED TO PREVENT FALSE READINGS BY THE THERMOSTAT.
26. MECHANICAL CONTRACTOR SHALL PROVIDE A COMPLETE TEST AND BALANCE REPORT OF THE HVAC SYSTEMS PREPARED BY AN INDEPENDENT TEST AND BALANCE CONTRACTOR. A COPY OF THE TEST AND BALANCE REPORT SHALL BE TRANSMITTED TO THE LOCAL CODE OFFICIALS AS REQUIRED.
27. ALL PENETRATIONS THROUGH EXTERIOR WALLS & ROOF SHALL BE FLASHED & COUNTERFLASHED IN A WATERPROOF MANNER. (COLOR TO MATCH EXTERIOR).
28. REFRIGERANT PIPING, NOT SHOWN ON PLANS, SHALL BE SIZED & INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, INSTALLATION INSTRUCTIONS AND LOCAL CODES.
29. CONTRACTOR SHALL VERIFY LOCATION OF ALL PENETRATIONS FOR RELIEF HOODS, OUTSIDE AIR HOODS, LOUVERS, AND WALL CAPS WITH ARCHITECT & OWNER PRIOR TO INSTALLATION.
30. CONTRACTOR SHALL PREPARE ALL EXPOSED DUCT, GRILLES, PIPING, AND UNITS FOR PAINTING. GC WILL BE RESPONSIBLE FOR PAINTING.
31. AIR HANDLERS WITH AIRFLOWS GREATER THAN OR EQUAL TO 2000 CFM OR THAT SHARE A COMMON OUTSIDE AIR OR RETURN DUCT SHALL BE FACTORY FURNISHED WITH SMOKE DETECTORS LOCATED IN THE RETURN SECTIONS FOR ALL UNITS. SMOKE DETECTORS SHALL BE WIRED TO THE ALARM PANEL BY THE ELECTRICAL CONTRACTOR.

MECHANICAL LEGEND

- SCHEDULE NUMBER
- DIFFUSER DESIGNATION AND CFM
- CFM
- TYP. OF .. NUMBER OF SIMILAR DEVICES
- G — NATURAL GAS PIPING
- CD — CONDENSATE PIPING
- MANUAL VOLUME DAMPER
- MD MOTORIZED DAMPER
- BI BIPOLAR IONIZATION UNIT
- T THERMOSTAT
- SD DUCT MOUNTED SMOKE DETECTOR WITH ACCESS DOOR
- STANDARD 4-WAY BLOW SUPPLY DIFFUSER
- 3-WAY BLOW SUPPLY DIFFUSER
- 2-WAY BLOW SUPPLY DIFFUSER
- 1-WAY BLOW SUPPLY DIFFUSER
- 8"Ø 12x12 MAIN TRUNK AND BRANCH DUCT TAKEOFF, WITH VOLUME DAMPER
- OR ROOF EXHAUST FAN
- RETURN OR EXHAUST AIR FLOW
- SUPPLY AIR FLOW
- RETURN OR TRANSFER GRILLE
- EXHAUST GRILLE
- FIRE DAMPER
- LOUVERED DOOR (SEE ARCHITECTURAL DRAWINGS)
- 1" DOOR UNDER CUT

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THE PICKLED PEACH Handcrafted Foods

202 S. MAIN STREET
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BID SET	#1
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HEALTH DEPT	#0

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MECHANICAL SCHEDULES, NOTES, AND LEGEND

M0.1

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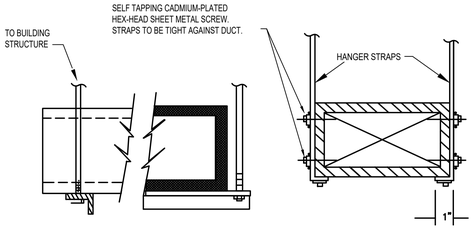
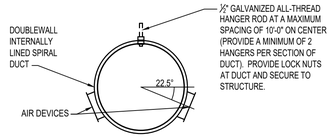


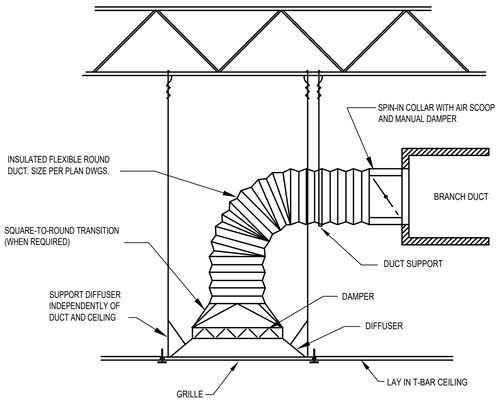
HANGER SIZES FOR RECTANGULAR DUCTS			
MAX. SIDE	HANGER	SUPPORT ANGLE HORIZONTAL	SPACING MAXIMUM
30"	1" x 18" GAUGE STRAP	NONE REQUIRED	10'-0"
36"	1/4" ROUND ROD	1-1/2" x 1-1/2" x 1/8"	8'-0"
48"	1/4" ROUND ROD	2" x 2" x 1/8"	8'-0"
60"	5/16" ROUND ROD	2" x 2" x 1/8"	8'-0"
84"	3/8" ROUND ROD	2" x 2" x 1/8"	8'-0"

2 M1.1 RECTANGULAR DUCT HANGER DETAIL
NOT TO SCALE

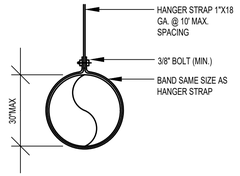


NOTES:
1. DUCTWORK SHALL BE INSTALLED LEVEL.
2. SUPPLY DUCTWORK SHALL BE SPIRAL OR EQUIVALENTLY SIZED FLAT OVAL DUCTWORK
3. CONTRACTOR SHALL PROVIDED DUCT WITH A PAINT GRIP FINISH.

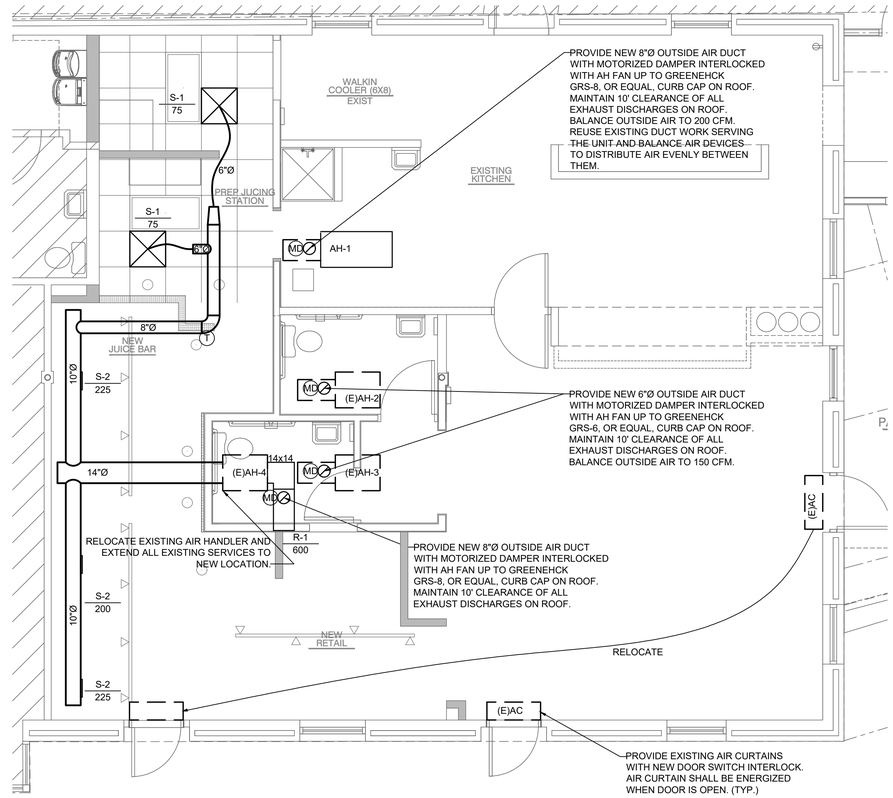
3 M1.1 DUCT MOUNTED DIFFUSER DETAIL
NOT TO SCALE



4 M1.1 LAY-IN AIR DEVICE INSTALLATION DETAIL
NOT TO SCALE



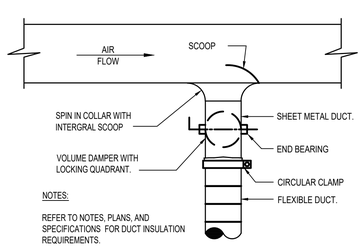
5 M1.1 ROUND DUCT HANGER DETAIL
NOT TO SCALE



1 M1.1 MECHANICAL PLAN
SCALE: 1/4" = 1'-0"

AIR BALANCE SUMMARY

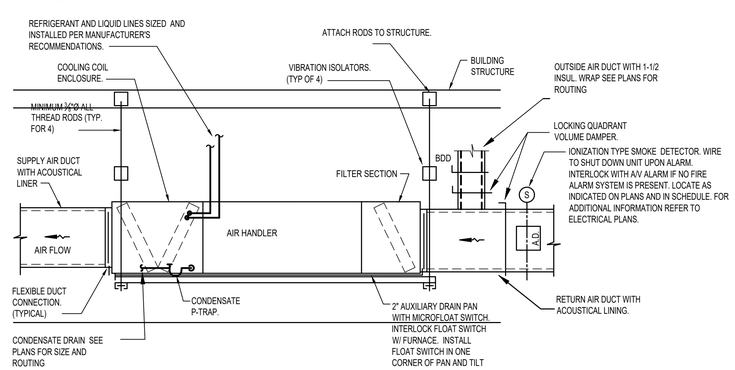
UNIT TAG	SUPPLY (CFM)	RETURN (CFM)	OA (CFM)	EXHAUST (CFM)
(E)KEF-1	-	-	-	2200
(E)EF-1	-	-	-	75
(E)EF-2	-	-	-	75
(E)KSF	1760	-	1760	-
AH-1	960	760	200	-
(E)AH-2	600	450	150	-
(E)AH-3	600	450	150	-
(E)AH-4	800	600	200	-
TOTALS	4720	2260	2460	2350
Pressuriztion = 100%((OA-EA)/EA) PRESSURIZATION=0.05%				



NOTES:

REFER TO NOTES, PLANS, AND SPECIFICATIONS FOR DUCT INSULATION REQUIREMENTS.

6 M1.1 TYPICAL BRANCH TAKE-OFF DETAIL
NOT TO SCALE



7 M1.1 AIR HANDLER DETAIL
NOT TO SCALE

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MECHANICAL PLAN AND DETAILS

M1.1

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Mechanical Compliance Certificate

Section 1: Project Information

Energy Code: **2012 North Carolina Energy Conservation Code**
Project Title: Pickled Peach
Project Type: Alteration

Construction Site: Charlotte, NC
Owner/Agent:
Designer/Contractor:

Section 2: General Information

Building Location (for weather data): Charlotte, North Carolina
Climate Zone: 3a

Section 3: Mechanical Systems List

Quantity	System Type & Description
1	HVAC System 1 (Single Zone) : Heating: 1 each - Central Furnace, Electric, Capacity = 20 kBtu/h No minimum efficiency requirement applies Cooling: 1 each - Split System, Capacity = 36 kBtu/h, Air-Cooled Condenser, No Economizer, Economizer exception: None Proposed Efficiency = 14.00 SEER, Required Efficiency: 13.00 SEER Fan System: None

Section 4: Requirements Checklist

Requirements Specific To: HVAC System 1 :

- ❑ 1. Equipment minimum efficiency: Split System: 13.00 SEER
- ❑ 2. Newly purchased equipment meets the efficiency requirements

Generic Requirements: Must be met by all systems to which the requirement is applicable:

- ❑ 1. Plant equipment and system capacity no greater than needed to meet loads
  Exception(s):
  - ❑ Standby equipment automatically off when primary system is operating
  - ❑ Multiple units controlled to sequence operation as a function of load
- ❑ 2. Minimum one temperature control device per system
- ❑ 3. Minimum one humidity control device per installed humidification/dehumidification system
- ❑ 4. Load calculations per ASHRAE/ACCA Standard 183.
- ❑ 5. Automatic Controls: Setback to 55°F (heat) and 85°F (cool); 7-day clock, 2-hour occupant override, 10-hour backup
  Exception(s):
  - ❑ Continuously operating zones
- ❑ 6. Outside-air source for ventilation; system capable of reducing OSA to required minimum
- ❑ 7. R-5 supply and return air duct insulation in unconditioned spaces
  R-8 supply and return air duct insulation outside the building
  R-8 insulation between ducts and the building exterior when ducts are part of a building assembly
  Exception(s):
  - ❑ Ducts located within equipment
  - ❑ Ducts with interior and exterior temperature difference not exceeding 15°F.
- ❑ 8. Mechanical fasteners and sealants used to connect ducts and air distribution equipment
- ❑ 9. Ducts sealed - longitudinal seams on rigid ducts; transverse seams on all ducts; UL 181A or 181B tapes and mastics

- ❑ 10. Hot water pipe insulation: 1.5 in. for pipes <=1.5 in. and 2 in. for pipes >1.5 in.
  Chilled water/refrigerant/brine pipe insulation: 1.5 in. for pipes <=1.5 in. and 1.5 in. for pipes >1.5 in.
  Steam pipe insulation: 1.5 in. for pipes <=1.5 in. and 3 in. for pipes >1.5 in.
  Exception(s):
  - ❑ Piping within HVAC equipment.
  - ❑ Fluid temperatures between 55 and 105°F.
  - ❑ Fluid not heated or cooled with renewable energy.
  - ❑ Piping within room fan-coil (with AHRI440 rating) and unit ventilators (with AHRI840 rating).
  - ❑ Runouts <4 ft in length.
- ❑ 11. Operation and maintenance manual provided to building owner
- ❑ 12. Thermostatic controls have 5°F deadband
  Exception(s):
  - ❑ Thermostats requiring manual changeover between heating and cooling
  - ❑ Special occupancy or special applications where wide temperature ranges are not acceptable and are approved by the authority having jurisdiction.
- ❑ 13. Balancing devices provided in accordance with IMC 603.17
- ❑ 14. Ventilation systems in buildings over 10,000 ft2 of conditioned area have demand controls. DCV systems are capable of reducing outside supply air to at least 50% below design ventilation rates. In all buildings, spaces larger than 500 ft2 with a maximum occupant load of 40 or more people per 1,000 ft2 of floor area control ventilation supply air flow by monitoring indoor air quality conditions.
  Exception(s):
  - ❑ Systems with heat recovery.
  - ❑ Building spaces where the primary ventilation needs are for process loads, including laboratories and hospital.
  - ❑ Individual units with less than 65 kBtu/h of cooling capacity.
- ❑ 15. Motorized, automatic shutoff dampers required on exhaust and outdoor air supply openings
  Exception(s):
  - ❑ Gravity dampers acceptable in buildings <3 stories
- ❑ 16. Automatic controls for freeze protection systems present
- ❑ 17. Exhaust air heat recovery included for systems 5,000 cfm or greater with more than 70% outside air fraction or specifically exempted
  Exception(s):
  - ❑ Hazardous exhaust systems, commercial kitchen and clothes dryer exhaust systems that the International Mechanical Code prohibits the use of energy recovery systems.
  - ❑ Systems serving spaces that are heated and not cooled to less than 60°F.
  - ❑ Where more than 60 percent of the outdoor heating energy is provided from site-recovered or site solar energy.
  - ❑ Heating systems in climates with less than 3600 HDD.
  - ❑ Cooling systems in climates with a 1 percent cooling design wet-bulb temperature less than 64°F.
  - ❑ Systems requiring dehumidification that employ energy recovery in series with the cooling coil.
  - ❑ Laboratory fume hood exhaust systems that have either a variable air volume system capable of reducing exhaust and makeup air volume to 50 percent or less of design values or, a separate make up air supply meeting the following makeup air requirements: a) at least 75 percent of exhaust flow rate, b) heated to no more than 2°F below room setpoint temperature, c) cooled to no lower than 3°F above room setpoint temperature, d) no humidification added, e) no simultaneous heating and cooling.

Section 5: Compliance Statement

Compliance Statement: The proposed mechanical alteration project represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed mechanical alteration project has been designed to meet the 2012 North Carolina Energy Conservation Code, Chapter 8, requirements in COMcheck Version 4.0.5.1 and to comply with the mandatory requirements in the Requirements Checklist.

Name - Title	Signature	Date
Brandon R Dillard, Mechanical Engineer P.E.	Brad R Dillard	03/28/17

Section 6: Post Construction Compliance Statement

- ❑ HVAC record drawings of the actual installation, system capacities, calibration information, and performance data for each equipment provided to the owner.
- ❑ HVAC O&M documents for all mechanical equipment and system provided to the owner by the mechanical contractor.
- ❑ Written HVAC balancing and operations report provided to the owner.

The above post construction requirements have been completed.

Principal Mechanical Designer-Name	Signature	Date

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THE PICKLED PEACH Handcrafted Foods

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MECHANICAL
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M2.1

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ELECTRICAL SPECIFICATIONS

PART 1: GENERAL

A. PROVIDE ALL WORK AND MATERIALS FOR THE INSTALLATION OF COMPLETE WIRING SYSTEMS AS SPECIFIED HEREIN AND INDICATED ON THE DRAWINGS.

B. ALL ELECTRICAL PERMITS AND INSPECTION FEES SHALL BE OBTAINED AND PAID FOR BY THE ELECTRICAL CONTRACTOR.

C. ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR ONE YEAR EFFECTIVE THE DAY THE PROJECT IS ACCEPTED BY THE OWNER.

D. WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, OSHA, STATE BUILDING CODE AND ALL OTHER APPLICABLE LOCAL REQUIREMENTS. ALL WORK SHALL COMPLY WITH THE LATEST ADDITION OF NECA STANDARDS OF INSTALLATION.

E. ALL MATERIALS, DEVICES, AND APPLIANCES SHALL BE NEW, EXCEPT WHERE OTHERWISE NOTED, AND SHALL BE LISTED BY AN APPROVED TESTING AGENCY WHERE SUCH A LISTING IS AVAILABLE. FACTORY ASSEMBLED EQUIPMENT SHALL BE LISTED AND LABELED AS AN ASSEMBLY, ANY EQUIPMENT NOT LISTED SHALL HAVE PRIOR APPROVAL FROM THE LOCAL AUTHORITY HAVING JURISDICTION. ALL MATERIALS SHALL COMPLY WITH APPLICABLE ANSI, IEEE AND NEMA STANDARDS.

F. PROVIDE ALL CUTTING, PATCHING, CHANNELING AND CHASING FOR INSTALLATION OF WORK AND REPAIR ANY DAMAGE OF EXISTING OR NEW INSTALLATIONS AT THE CONTRACTORS EXPENSE.

G. SHOP DRAWINGS AND CATALOG DATA SHALL BE SUBMITTED FOR APPROVAL PRIOR TO BEGINNING WORK. SUBMIT FOUR COPIES OF SHOP DRAWINGS FOR LIGHTING FIXTURES, LAMPS, BALLASTS AND PANELBOARDS. SUBMIT FOUR COPIES OF CATALOG DATA FOR DISCONNECT SWITCHES AND WIRING DEVICES.

H. PROVIDE ENGRAVED PHENOLIC NAMEPLATES FOR PANELBOARDS, WIRING TROUGHS, AND FUSED SWITCHES, WHITE LETTERS ON BLACK FOR 120/208 VOLT SYSTEMS. LABEL ALL BREAKERS INSIDE THE PANEL NEXT TO THE BREAKER USING THE NUMBER SCHEME INDICATED ON THE DRAWINGS.

I. AN ELECTRICAL INSPECTION CERTIFICATE SHALL BE ISSUED BY THE LOCAL INSPECTION AUTHORITIES BEFORE APPROVAL FOR FINAL PAYMENT.

J. THE CONDUIT AND NEUTRAL SYSTEM SHALL BE GROUNDED AT THE MAIN SERVICE EQUIPMENT. GROUNDING ELECTRODE SYSTEM SHALL BE INSTALLED PER N.E.C. ARTICLE 250 AND AS INDICATED ON THE DRAWINGS.

K. WIRING SHALL BE TESTED FOR CONTINUITY AND GROUNDS BEFORE BEING ENERGIZED. FAULTY WIRING SHALL BE REPLACED AT NO ADDITIONAL EXPENSE TO THE OWNER.

L. IF, DURING THE COURSE OF WORK, THE ELECTRICAL CONTRACTOR DISCOVERS A PROBLEM WITH THE PERFORMANCE OF THE INSTALLATION RELATIVE TO THE PLANS AND SPECIFICATIONS OR NEC OR OTHER CODES, THE CONTRACTOR SHALL IMMEDIATELY BRING THE PROBLEM TO THE ATTENTION OF THE ARCHITECT OR ENGINEER FOR RESOLUTION PRIOR TO THE EXECUTION OF THE WORK.

M. THE ELECTRICAL CONTRACTOR SHALL CONNECT ALL EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS, UNLESS OTHERWISE NOTED, EXCEPT FOR CONTROL WIRING FOR EQUIPMENT NOT PROVIDED BY THE ELECTRICAL CONTRACTOR. CONTROL WIRING FOR SUCH EQUIPMENT SHALL BE PROVIDED BY THE RESPECTIVE DISCIPLINE.

N. COORDINATE LOCATION AND REQUIREMENTS FOR ELECTRICAL SERVICE WITH THE POWER COMPANY. WHERE MORE THAN ONE SERVICE IS SUPPLIED TO A BUILDING, PROVIDE IDENTIFICATION AT EACH SERVICE PER NEC 230-2(B) AND AS INDICATED ON THE DRAWINGS.

O. COORDINATE LOCATION AND REQUIREMENTS FOR TELEPHONE SERVICE WITH THE TELEPHONE COMPANY AND AS INDICATED ON THE DRAWINGS.

P. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PROVIDING TEMPORARY POWER.

PART 2: RACEWAY

A. CONDUIT SHALL BE ZINC-COATED EMT INDOORS. EMT FITTINGS SHALL BE STEEL SCREW. MINIMUM SIZE SHALL BE ½"C, UNLESS OTHERWISE NOTED. USE SCHEDULE 40 PVC OUTDOORS ABOVE 8'-0" OR BELOW GRADE. USE IMC WHERE REQUIRED BY CODE OR EXPOSED BELOW 8'-0".

B. SUPPORT ALL CONDUITS WITH STRAPS AND CLAMPS. RUN ALL CONDUIT PARALLEL OR PERPENDICULAR TO BUILDING WALLS.

C. JUNCTION AND PULL BOXES SHALL BE CODE GAUGE GALVANIZED SHEET METAL.

D. LIQUID-TIGHT FLEXIBLE METAL CONDUIT SHALL BE USED FOR EQUIPMENT CONNECTIONS, BUT NOT AS A WIRING METHOD OTHERWISE.

E. MC CABLE MAY BE USED AS A WIRING METHOD WHERE ALLOWED BY CODE.

F. RACEWAY PENETRATIONS THROUGH FLOOR SLABS AND FIRE-RATED WALLS SHALL BE FILLED WITH IMPERVIOUS, NON-SHRINK GROUT SUFFICIENTLY TIGHT TO PREVENT THE TRANSFER OF SMOKE, WATER, AND DUST. ROOF PENETRATIONS SHALL BE WITHIN THE EQUIPMENT CURB WHERE POSSIBLE.

G. CONDUIT INSTALLED UNDERGROUND OR IN CONCRETE SHALL HAVE JOINTS MADE WATER-TIGHT BY USE OF POLYTETRA-FLUOROETHYLENE TAPE. APPROVED SEALS SHALL BE PROVIDED IN HAZARDOUS LOCATIONS AS REQUIRED BY THE N.E.C.

PART 3: CONDUCTORS

A. ALL CONDUCTORS SHALL BE SINGLE CONDUCTOR COPPER. THHN/THWN, SOLID FOR SIZES #14 THROUGH #10. THHN/THWN STRANDED FOR SIZES #8 AND LARGER.

B. BRANCH CIRCUITS SHALL NOT BE SMALLER THAN #12 AWG. CONTROL WIRING MAY BE #14 AWG.

C. CONDUCTORS SHALL BE COLOR CODED BLACK/RED/BLUE FOR 120/208 VOLT SYSTEMS FOR A, B, AND C PHASES, RESPECTIVELY.

D. WIRING TO LIGHTING FIXTURES SHALL BE AS REQUIRED BY UL LABEL.

E. ALL BRANCH CIRCUIT CONDUITS OR CABLE ASSEMBLIES SHALL CONTAIN AN INSULATED GREEN GROUNDING CONDUCTOR SIZED PER NEC 250-122.

F. ALL EQUIPMENT AND DEVICE TERMINATIONS SHALL BE UL LISTED FOR USE WITH 75°C INSULATED CONDUCTORS AT THEIR 75°C AMPACITY.

G. PROVIDE A SEPARATE NEUTRAL FOR EACH PHASE CONDUCTOR IN ALL BRANCH CIRCUITS.

PART 4: WIRING DEVICES

A. WIRING DEVICES SHALL BE ALMOND WITH MATCHING PLASTIC COVER PLATES, SPECIFICATION GRADE AS INDICATED BELOW, EQUAL TO THE COOPER QUALITY INDICATED.

TOGGLE SWITCHES SHALL BE AS FOLLOWS:

SINGLE POLE 20 AMP	COOPER 1221
THREE WAY 20 AMP	COOPER 1223
FOUR WAY 20 AMP	COOPER 1224

DUPLEX RECEPTACLES SHALL HAVE A NYLON FACE AND SHALL BE AS FOLLOWS:

15 AMP DUPLEX	COOPER 5252
20 AMP DUPLEX	COOPER 5362
15 AMP DUPLEX-GFCI	COOPER GF5262
20 AMP DUPLEX-GFCI	COOPER GF5362
20 AMP DUPLEX/USB/TAMPER	COOPER TR7745

B. DUPLEX RECEPTACLES ON DEDICATED CIRCUIT SHALL BE 20 AMP. OTHER DUPLEX RECEPTACLES MAY BE 15 AMP, UNLESS OTHERWISE NOTED.

C. OUTLET BOXES SHALL NOT BE MOUNTED BACK-TO-BACK.

D. A MAXIMUM OF 10 RECEPTACLES SHALL BE ON EACH BRANCH CIRCUIT.

E. WEATHERPROOF COVERS SHALL HAVE A LID SO THAT PLUGS MAY BE INSTALLED WITHOUT COMPROMISING THE WP FUNCTION, EQUAL TO INTERMATIC GUARDIAN ONE #WP1020C.

F. ALL OUTLETS (INCLUDING TELEPHONE, CABLE TV AND DATA) SHALL HAVE COVER PLATES, BLANK IF NOT USED.

PART 5: DISCONNECT SWITCHES

A. DISCONNECT SWITCHES SHALL BE HEAVY-DUTY TYPE IN NEMA 1 ENCLOSURES (UNLESS OTHERWISE INDICATED), FUSED OR NON-FUSED AS INDICATED. FUSED SWITCHES SHALL HAVE REJECTION-TYPE FUSE CLIPS. SWITCHES SHALL BE SQUARE D, OR EQUAL. FUSES SHALL BE CLASS R-5, TIME DELAY. A SET OF 3 SPARE FUSES OF EACH SIZE AND TYPE SHALL BE FURNISHED TO THE OWNER.

PART 6: PANELBOARDS

A. PANELBOARDS SHALL BE DEAD-FRONT SAFETY TYPE. ALL CIRCUIT BREAKERS SHALL BE MOLDED-CASE, BOLT-ON, AUTOMATIC THERMAL MAGNETIC TYPE, CALIBRATED FOR 40°C, OR AMBIENT COMPENSATION. CABINET SHALL BE 20 INCHES WIDE MINIMUM, WITH NOT LESS THAT 4-INCH WIRING GUTTERS AT TOP, SIDES, AND BOTTOM, SQUARE D "NF", "NQOD", OR EQUAL. BUS SHALL BE ALUMINUM WITH RATINGS AS INDICATED ON DRAWINGS. LUGS SHALL BE SIZED TO ACCOMMODATE CONDUCTORS INDICATED ON THE POWER RISER DIAGRAM.

B. PROVIDE HANDLE LOCK-ON DEVICES ON ALL CIRCUIT BREAKERS CONNECTED TO EMERGENCY, EXIT, AND NIGHT LIGHTING, FIRE ALARM, TELEPHONE AND SECURITY SYSTEMS.

C. CIRCUIT BREAKERS USED FOR SWITCHING OF LIGHTING OR SIGN CIRCUITS SHALL BE SWITCHING DUTY RATED AND SHALL BE MARKED "SWD".

PART 7: LIGHT FIXTURES

A. CATALOG NUMBERS GIVEN DENOTE MINIMUM QUALITY AND PERFORMANCE REQUIRED. EQUAL EQUIPMENT BY OTHER MANUFACTURERS IS ACCEPTABLE AS INDICATED ON THE LIGHT FIXTURE SCHEDULE.

B. H.I.D. BALLASTS SHALL BE HIGH POWER FACTOR WITH QUIETEST SOUND RATING.

C. LAY-IN FIXTURES SHALL BE SUSPENDED FROM STRUCTURE WITH 2 WIRES AT OPPOSITE CORNERS. DO NOT SUPPORT FROM CEILING GRID.

D. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF LIGHT FIXTURES.

E. ALL RECESSED LIGHTING FIXTURES SHALL BE THERMALLY PROTECTED.

F. COMPACT FLUORESCENT BALLASTS SHALL BE ELECTRONIC WITH END OF LIFE PROTECTION.

PART 8: TELEPHONE/DATA SYSTEM

A. FURNISH AND INSTALL A COMPLETE TELEPHONE/DATA CONDUIT SYSTEM AS INDICATED ON THE DRAWINGS. ALL OUTLET BOXES FOR TELEPHONE AND/OR DATA JACKS SHALL BE DOUBLE GANG WITH A SINGLE-GANG OPENING.

B. PULL AND LEAVE IN EACH CONDUIT ONE PULL CORD FOR PULLING IN CABLE. ALL WIRING, OUTLETS AND EQUIPMENT SHALL BE PROVIDED AND INSTALLED BY THE OWNERS TELE/DATA SUPPLIER.

C. TELEPHONE SERVICE CONDUITS SHALL BE PROVIDED TO THE PROPERTY LINE OR AS INDICATED ON THE DRAWINGS.

D. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL A #6 AWG GREEN COPPER WIRE IN A 3/4" CONDUIT FROM THE NEAREST COLD WATER METAL MAIN TO A LUG AT THE TELEPHONE/DATA BACKBOARD.

PART 9: FIRE STOPPING

A. ALL PENETRATIONS OF NON-RATED PENETRATIONS SHALL BE SEALED WITH RATED MATERIALS MEETING ASTM E-814.

B. PROVIDE FIRE STOPPING DEVICE(S) OR SYSTEM(S) WHICH HAVE BEEN TESTED AND LISTED AS COMPLYING WITH ASTM E-814. INSTALL THE DEVICE(S) OR SYSTEM(S) IN ACCORDANCE WITH THE CONDITIONS OF THEIR LISTING. PROVIDE THE APPROPRIATE DEVICE(S) OR SYSTEM(S) WITH AN "F" RATING EQUAL TO THE RATING OF THE ASSEMBLY BEING PENETRATED.

C. DEVICE(S) AND/OR SYSTEM(S) SHALL BE BY HILTI, 3M OR EQUIVALENT.

D. WHERE OPENINGS FOR INSTALLATION OF ELECTRICAL BOXES EXCEEDS 16 SQUARE INCHES IN RATED WALLS OR PARTITIONS, THE OPENING SHALL BE PROTECTED AS REQUIRED BY THE APPROPRIATE WALL LISTING TYPE.

PART 10: RENOVATION OF EXISTING

A. EACH BIDDER SHALL VISIT THE PROJECT SITE PRIOR TO BID AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS. FAILURE TO VISIT THE SITE SHALL NOT EXCUSE THE CONTRACTOR FROM PERFORMING THE REQUIRED WORK NOR SHALL IT BE AN ACCEPTABLE REASON FOR REQUESTING ADDITIONS TO THE CONTRACT.

B. EXISTING PORTIONS OF THE FACILITY SHALL REMAIN IN OPERATION DURING THIS RENOVATION AND/OR ADDITION. THE CONTRACTOR SHALL CAUSE AS LITTLE DISRUPTION AS POSSIBLE TO MAINTAIN THE COMFORT AND SAFETY OF THE BUILDING OCCUPANTS. ALL POWER OUTAGES SHALL BE CLOSELY COORDINATED WITH THE OWNER'S REPRESENTATIVE.

C. PROJECT INVOLVES WORK ON EXISTING ELECTRICAL PANELS AND FEEDERS REQUIRED IN OPERATING THE FACILITY. TEMPORARY POWER ARRANGEMENTS SHALL BE MADE TO SERVE THOSE AREAS AFFECTED BY THIS PROJECT.

SCOPE OF WORK

THE CURRENT RESTAURANT TENANT IS EXPANDING INTO ADJACENT TENANT SPACE. PROVIDE NEW LIGHTING, BOTH NORMAL & EMERGENCY, CONNECT RESTAURANT EQUIPMENT, CONNECTION TO MECHANICAL EQUIPMENT, AND POWER AS OUTLINED PER THESE DOCUMENTS.

ELECTRICAL SYMBOLS SCHEDULE

CONDUIT AND/OR WIRING SYSTEM CONCEALED IN CONSTRUCTION IN FINISHED AREAS, EXPOSED IN UNFINISHED AREAS.

CONDUIT AND/OR WIRING SYSTEM CONCEALED BELOW FLOOR OR FLOOR SLAB.

CONDUIT STUB. TERMINATE WITH BUSHING OR CAP IF UNDERGROUND.

BREAK IN CONDUIT, SEE PLAN FOR CONTINUATION.

NON-RIGID RACEWAY SYSTEM

BRANCH CIRCUIT HOMERUN TO PANEL.

J — JUNCTION BOX SIZED PER NEC.

S — SINGLE POLE SWITCH, 20 AMP, 120/277 VOLT, COOPER 1221, OR EQUAL.

S_D — DIMMER SWITCH, LUTRON OR EQUAL, DIMMER SWITCH SHALL MATCH RESPECTIVE DIMMING CHARACTERISTIC OF LUMINIARE. CONTRACTOR SHALL PROVIDE LOW VOLTAGE CABLES AS REQUIRED.

S_M — FRACTIONAL HORSEPOWER MANUAL MOTOR STARTER WITH O.L.'S

DUPLEX RECEPTACLE, 15 AMP, 120 VOLT (USE 20 AMP FOR SINGLE RECEPTACLE ON A CIRCUIT.) MOUNT 18" A.F.F., U.O.N., COOPER 5252 OR EQUAL.

DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER BACKSPLASH, OR AT 48" A.F.F. U.O.N., COOPER 5252 OR EQUAL.

DOUBLE DUPLEX RECEPTACLE MOUNT AT 18" A.F.F. TWO NEMA 5-15R DUPLEX RECEPTACLES IN A COMMON BOX AND COVER PLATE.

GFCI — GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE. NEMA 5-20R DUPLEX. ALL RECEPTACLES INSTALLED OUTSIDE, WITHIN 6' OF A SINK OR IN A KITCHEN SHALL BE GFCI.

EWC — GROUND FAULT NEMA 5-20R DUPLEX RECEPTACLE FOR ELECTRIC WATER COOLER COORDINATE LOCATION WITH PLUMBING CONTRACTOR.

WP — WEATHERPROOF RECEPTACLE. NEMA 5-15R DUPLEX. COVER SHALL BE COOPER #1991 WHERE MOUNTED HORIZONTAL AND #4966 WHERE MOUNTED VERTICAL.

USB — DUPLEX/USB/TAMPER RESISTANT RECEPTACLE, 15 AMP, 120 VOLT (USE 20 AMP FOR SINGLE RECEPTACLE ON A CIRCUIT.) MOUNT 18" A.F.F., U.O.N., COOPER TR-7755 OR EQUAL.

USB — DUPLEX/USB/TAMPER RESISTANT RECEPTACLE MOUNTED ABOVE COUNTER BACKSPLASH, OR AT 48" A.F.F. U.O.N., COOPER TR-7755 OR EQUAL.

22 — WALL MOUNTED CONNECTION TO KITCHEN EQUIPMENT, NUMBER INDICATES TYPE, SEE KITCHEN EQUIPMENT SCHEDULE.

22 — CONNECTION TO KITCHEN EQUIPMENT FROM FLOOR OR CEILING, NUMBER INDICATES TYPE, SEE KITCHEN EQUIPMENT SCHEDULE.

M — FRACTIONAL HORSEPOWER MOTOR CONNECTION.

TELE/DATA OUTLET, DOUBLE GANG BOX WITH SINGLE GANG OPENING, MOUNT AT 18" A.F.F. WITH 3/4" E.C. TO ABOVE ACCESSIBLE CEILING. CABLE PROVIDED BY OTHERS.

ACRYLIC LENSED FLUORESCENT/LED LIGHTING FIXTURE. LETTER IS FIXTURE TYPE, SEE LIGHT FIXTURE SCHEDULE. SUSPEND TWO OPPOSITE CORNERS WITH #10 AWG WIRE TO STRUCTURE AND ATTACH THE REMAINING TWO CORNERS TO THOSE WIRES. GRID ALONE SHALL NOT SUPPORT FIXTURE.

ROUND RECESSED OR SURFACE MOUNTED LIGHT FIXTURE. LETTER INDICATES FIXTURE TYPE, SEE LIGHT FIXTURE SCHEDULE. INDEPENDENTLY SUPPORT FIXTURE TO STRUCTURE UNLESS SURFACE MOUNTED TO A STRUCTURAL CEILING.

WALL MOUNTED ROUND LIGHT FIXTURE. LETTER INDICATES TYPE, SEE LIGHT FIXTURE SCHEDULE.

FIXTURE WITH INTEGRAL 600 LUMEN BATTERY INVERTER AND/OR ON EMERGENCY LIGHTING CIRCUIT. LETTER INDICATES TYPE, SEE LIGHT FIXTURE SCHEDULE FOR TYPE AND FOR BATTERY REQUIREMENT. SUPPORT FIXTURES IN SAME MANNER AS LISTED ABOVE.

WALL MOUNTED EMERGENCY LIGHTING BATTERY PACK FIXTURE, SEE LIGHT FIXTURE SCHEDULE.

CEILING OR WALL MOUNTED EXIT SIGN RESPECTIVELY. SOLID SPACES INDICATE FACES. PROVIDE ARROWS AS INDICATED ON PLANS. SEE LIGHT FIXTURE SCHEDULE.

WALL MOUNTED COMBINATION EMERGENCY BATTERY PACK AND EXIT SIGN. SEE LIGHT FIXTURE SCHEDULE.

NONFUSED DISCONNECT SWITCH, SIZE AS INDCIATED ON DRAWINGS, NEMA 1 ENCLOSURE U.O.N.

FUSED DISCONNECT SWITCH, SIZE AS INDICATED ON DRAWINGS, FUSE PER NAMEPLATE DATA OR AS INDICATED, NEMA 1 ENCLOSURE U.O.N.

LIGHTING AND/OR POWER PANEL BOARD, SURFACE MOUNTED WITH REQUIRED CODE CLEARANCE. SEE PANEL SCHEDULE FOR AMPERAGE.

LIGHTING AND/OR POWER PANEL BOARD, RECESSED MOUNTED WITH REQUIRED CODE CLEARANCE. SEE PANEL SCHEDULE FOR AMPERAGE.

PLYWOOD TELEPHONE OR DATA BACKBOARD. SIZE AS INDICATED ON THE RESPECTIVE RISER DIAGRAM.

WALL MOUNTED UTILITY METER.

ABBREVIATIONS

A	AMPERE
AF	AMP FRAME
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
C	CONDUIT
CKT	CIRCUIT
EWC	ELECTRIC WATER COOLER
FLA	FULL LOAD AMPS
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
G	GROUND
HVAC	HEATING, VENTILATION AND AIR CONDITIONING
IG	ISOLATED GROUND
KV	KILOVOLT
KVA	KILOVOLT AMPERE
KCMIL	THOUSAND CIRCULAR MILS
KW	KILOWATT
MCB	MAIN CIRCUIT BREAKER
MCC	MOTOR CONTROL CENTER
MISC	MISCELLANEOUS
MLO	MAIN LUGS ONLY
MTS	MANUAL TRANSFER SWITCH
N/A	NOT APPLICABLE
NC	NORMALLY CLOSED
NEC	NATIONAL ELECTRIC CODE
NL	NIGHT LIGHT
NO	NORMALLY OPEN
#	NUMBER
NTS	NOT TO SCALE
P	POLE
Ø	PHASE
PNL	PANELBOARD
SCWT	SCREW COVER WIRE TROUGH
SPD	SURGE PROTECTION DEVICE
SW	SWITCH
TELE/DATA	TELEPHONE/DATA
TYP	TYPICAL
UG	UNDERGROUND
V	VOLT
UON	UNLESS OTHERWISE NOTED
WP	WEATHERPROOF
XFMR	TRANSFORMER
3R	NEMA 3R ENCLOSURE

NOTES:
1. SEE DEVICE MOUNTING ELEVATION FOR MOUNTING HEIGHTS.
2. SEE SPECIFICATIONS FOR DEVICE COLOR AND COVER PLATE STYLE.

GENERAL NOTES

A. ELECTRICAL CONTRACTOR SHALL REVIEW ENTIRE SET OF CONTRACT DOCUMENTS INCLUDING BUT NOT NECESSARILY LIMITED TO ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND ENTIRE PROJECT MANUAL. ELECTRICAL CONTRACTOR SHALL ACKNOWLEDGE AND INCLUDE IN THE SCOPE OF WORK (CONTRACT) ALL CONDITIONS PERTINENT TO THE COMPLETION OF THE ELECTRICAL WORK. ELECTRICAL CONTRACTOR SHALL FULLY COORDINATE ELECTRICAL WORK WITH THE INSTALLATION OF WORK BY ALL OTHER TRADES AND MAKE NECESSARY FIELD ADJUSTMENTS AS REQUIRED TO ACCOMODATE THE ELECTRICAL INSTALLATION. ALL OF THE ABOVE SHALL BE INCLUDED IN THE SCOPE OF WORK AT NO ADDITIONAL COST TO THE OWNER.

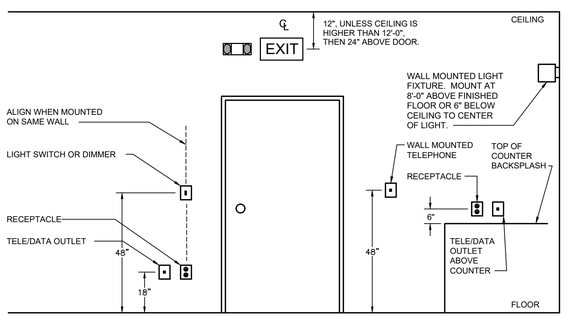
B. VERIFY ALL REQUIREMENTS AND COORDINATE EXACT LOCATION OF INCOMING ELECTRICAL SERVICE WITH LOCAL POWER COMPANY PRIOR TO PROJECT START-UP. NOTIFY ENGINEER OF ANY CHANGES AS MAY BE REQUIRED.

C. ENGRAVED, LAMINATED PLASTIC IDENTIFICATION PLATES SHALL BE FURNISHED AND INSTALLED ON ALL PANELS AND SWITCHGEAR. PLATES SHALL BE AFFIXED TO FRONT PANELS, INDICATING PANEL NAME, VOLTAGE AND AMPERAGE. PROVIDE UPDATED PANEL DIRECTORIES FOR ALL PANELS.

D. ELECTRICAL CONTRACTOR SHALL CAREFULLY EXAMINE THE DRAWINGS AND SPECIFICATIONS, VISIT THE SITE OF THE WORK, AND FULLY INFORM HIMSELF AS TO ALL CONDITIONS AND MATTERS THAT CAN, IN ANY WAY AFFECT THE WORK OR THE COST THEREOF, SHOULD THE CONTRACTOR FIND DISCREPANCIES IN, OR OMISSIONS FROM, THE DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS OR BE IN DOUBT AS TO THEIR MEANING, NOTIFY THE ARCHTECT/ENGINEER AT ONCE, IN WRITING, OF ANY DISCREPENCIES BETWEEN EXISTING CONDITIONS AND NEW WORK, OR BETWEEN ELECTRICAL WORK AND THE WORK OF OTHER TRADES PRIOR AND OBTAIN CLARIFICATION PRIOR TO SUBMITTING ANY BID. LACK OF SUCH NOTIFICATION SHALL BE CONSTRUED TO INDICATE NO DISCREPANCIES OR CONFLICTS EXIST. ADDITIONAL COMPENSATION WILL NOT BE GRANTED AFTER AWARD OF CONTRACT FOR ANY WORK REQUIRED TO COMPLY WITH THESE REQUIREMETNS.

E. SHARED NEUTRALS ARE NOT ALLOWED. EACH CIRCUIT SHALL HAVE ITS OWN INDEPENDENT NEUTRAL. EACH CONDUIT RUN SHALL CONTAIN A GROUND WIRE. CONDUIT ONLY IS NOT AN ACCEPTABLE GROUND PATH.

F. TO G.C. AND ALL SUBCONTRACTORS: NO PRICING SHOULD BE DONE FROM A PARTIAL SET AND NO CHANGE ORDER WILL BE ALLOWED FOR PRICING BASED ONLY ON A PARTIAL SET OF REVIEW OF A SINGLE TRADE'S DRAWINGS. ALL TRADES SHOULD CROSS REFERENCE ARCHITECTURAL SHEETS AND ALL OTHER TRADES FOR ADDITIONAL INFORMATION, CLARIFICATIONS AND COORDINATION REQUIRED- TYP. RELATED TO PRICING RELATED TO ANY CONTRADICTIONS THAT MAY BE FOUND IN THE DOCUMENT SET BIDDERS SHOULD INCLUDE THE MOST RESTRICTIVE (I.E. MOST EXPENSIVE) AS PART OF THE BID. ALL BIDS AND PRICING IN THEIR ENTIRETY SHALL BE BASED SOLELY ON THE FULL AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ISSUED FOR THIS SPECIFIC PROJECT- TYP. NO CHANGE ORDER OR MODIFICATION TO THE CONTRACT DOCUMENTS SHALL BE MADE OR CONSIDERED BASED ON G.C. OR SUBCONTRACTOR ASSUMPTIONS BASED ON REVIEW OF A PARTIAL SET OR PAST PROJECT COMPARISONS- TYP.



NOTES:
1. ALL DIMENSIONS ARE TO CENTER LINE OF DEVICE, UNLESS OTHERWISE NOTED.

1 / E1.1 DEVICE MOUNTING ELEVATION
NO SCALE

NORTH CAROLINA ENERGY CODE

APPENDIX B (NORTH CAROLINA 2012 ENERGY CONSERVATION CODE)
ELECTRICAL SUMMARY

METHOD OF COMPLIANCE:
☒ PRESCRIPTIVE ☐ PERFORMANCE ☐ ENERGY COST BUDGET

LIGHTING SCHEDULE
LAMP TYPE REQUIRED IN FIXTURE
NUMBER OF LAMPS IN FIXTURE
BALLAST TYPE USED IN THE FIXTURE
NUMBER OF BALLASTS IN FIXTURE
TOTAL WATTAGE PER FIXTURE
SEE LIGHT FIXTURE SCHEDULE SHEET E1.1
TOTAL INTERIOR WATTAGE SPECIFIED VS ALLOWED — SEE COMCHECK SHEET E1.1
EXTERIOR WATTAGE SPECIFIED VS ALLOWED — N/A EXISTING TO REMAIN

SECTION 501.1 SHALL BE ACHIEVED BY ONE OF THE BELOW:

☐ a. 506.2.1 MORE EFFICIENT MECHANICAL EQUIPMENT
☒ b. 506.2.2 REDUCED LIGHTING POWER DENSITY
☐ c. 506.2.3 ENERGY RECOVERY VENTILATION SYSTEMS
☐ d. 506.2.4 HIGHER EFFICIENCY SERVICE WATER HEATING
☐ e 506.2.5 ON-SITE SUPPLY OF RENEWABLE ENERGY
☐ f. 506.2.2 AUTOMATIC DAYLIGHTING CONTROL SYSTEM

EQUIPMENT SCHEDULES WITH MOTORS (NOT USED FOR MECHANICAL SYSTEMS)

MOTOR HORSEPOWER	N/A
NUMBER OF PHASES	N/A
MINIMUM EFFICIENCY	N/A
MOTOR TYPE	N/A
NUMBER OF POLES	N/A

WAVE ENGINEERING
122 W. BLAND ST. SUITE C
CHARLOTTE NC, 28203
980.256.7728
INFO@WAVE-ENGINEERING.COM
NC CORP. LICENSE #P-1621
WAVE PROJECT #17045

NORTH CAROLINA PROFESSIONAL SEAL 037734 ENGINEER MICHAEL J. SERVITA 3/31/2017

THE PICKLED PEACH Handcrafted Foods

202 S. MAIN STREET
SUITE E
DAVIDSON, NC 28036

OWNER SET	#1
BID SET	#1
BUILDING DEPT	#0
FIRE MARSHAL	#0
HEALTH DEPT	#0

ISSUE DATE: 3.31.17

PICKLED PEACH

REVISION			DATE
no.	date	comment	
1			
2			
3			
4			
5			
6			
7			

DRAWN BY	GG
CHECKED BY	MS
PROJECT DATE	3.31.2017
PROJECT NUMBER	17-1867R

ELECTRICAL SYMBOLS & SPECIFICATIONS

E0.1

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COM*check* Software Version 4.0.5.1

Interior Lighting Compliance Certificate

Section 1: Project Information

Energy Code: **2012 North Carolina Energy Conservation Code**
Project Title: THE PICKLED PEACH
Project Type: Alteration

Construction Site:
202 S. MAIN ST. SUITE E
DAVIDSON , NC 28036

Owner/Agent:

Designer/Contractor:
Gregory Godfrey
Wave Engineering
122 W. Bland St.
Charlotte, NC 28203
980-256-7727
ggodfrey@wave-engineering.com

Section 2: Interior Lighting and Power Calculation

A Area Category	B Floor Area (ft2)	C Allowed Watts / ft2	D Allowed Watts (B x C)
Dining: Bar/Lounge/Leisure:Lounge/Leisure Dining	511	1.4	715
		Total Allowed Watts =	715

Section 3: Interior Lighting Fixture Schedule

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
Dining: Bar/Lounge/Leisure:Lounge/Leisure Dining (511 sq.ft.)				
Track lighting 1: TH: TRACK HEAD: Wattage based on current limiting device capacity	0	0	900	480
LED 1: A: 2X4 LED TROFFER: Other:	1	2	71	142
LED 2: B: 6" RECESSED CAN: Other:	1	2	20.5	41
LED 3: C: PENDANT: Other:	1	1	15	15
LED 4: D: PENDANT: Other:	1	1	15	15
LED 5: E: PENDANT: Other:	1	1	18	18
		Total Proposed Watts =		711

Section 4: Requirements Checklist

Interior Lighting PASSES

Lighting Wattage:

☐ 1. Total proposed watts must be less than or equal to total allowed watts.

Allowed Watts	Proposed Watts	Complies
715	711	Passes

Controls, Switching, and Wiring:

☐ 2. Separate lighting controls present for: Display/Accent Lighting, Case Lighting, lighting for nonvisual applications (e.g., such as plant growth and food warming), lighting equipment that is for sale or for demonstrations in lighting education.
☐ 3. Hotel and motel guest rooms and guest suites have a master control device at the main room entry that controls all permanently installed luminaires and switched receptacles.
☐ 4. Supplemental task lighting has a control device integral to the luminaires or be controlled by a wall-mounted control device provided the control device is readily accessible and located so that the occupant can see the controlled lighting..
☐ 5. Independent controls for each space (switch/occupancy sensor).

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Exceptions:

❑ Areas designated as security or emergency areas that must be continuously illuminated.
❑ Lighting in stairways or corridors that are elements of the means of egress.

☐ 6. Individual dwelling units separately metered.
☐ 7. Medical task lighting or art/history display lighting claimed to be exempt from compliance has a control device independent of the control of the nonexempt lighting.
☐ 8. Each space required to have a manual control also allows for reducing the connected lighting load by at least 50 percent by either controlling all luminaires, dual switching of alternate rows of luminaires, alternate luminaires, or alternate lamps, switching the middle lamp luminaires independently of other lamps, or switching each luminaire or each lamp.

Exceptions:

❑ Only one luminaire in space.
❑ An occupant-sensing device controls the area.
❑ The area is a corridor, storeroom, restroom, public lobby or sleeping unit.
❑ Areas that use less than 0.6 Watts/sq.ft.

☐ 9. Automatic lighting shutoff control in buildings larger than 5,000 sq.ft.

Exceptions:

❑ Sleeping units, patient care areas; and spaces where automatic shutoff would endanger safety or security.

☐ 10. Photocell/astronomical time switch on exterior lights.

Exceptions:

❑ Lighting intended for 24 hour use.

☐ 11. Tandem wired one-lamp and three-lamp ballasted luminaires (No single-lamp ballasts).

Exceptions:

❑ Electronic high-frequency ballasts; Luminaires on emergency circuits or with no available pair.

☐ 12. Lighting controls are tested to ensure that control devices, components, equipment, and systems are calibrated, adjusted and operate in accordance with approved plans and specifications. Sequences of operation shall be functionally tested to ensure they operate in accordance with approved plans and specifications.

Section 5: Compliance Statement

Compliance Statement: The proposed lighting alteration project represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed lighting alteration project has been designed to meet the 2012 North Carolina Energy Conservation Code, Chapter 8, requirements in COM*check* Version 4.0.5.1 and to comply with the mandatory requirements in the Requirements Checklist.

Gregory K. Godfrey-Electrical Designer	Gregory K. Godfrey	3.27.17
Name - Title	Signature	Date

Project Title: THE PICKLED PEACH — Report date: 03/27/17
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LIGHT FIXTURE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	LAMPS	BALLASTS	FIXTURE WATTAGE	VOLTAGE	DESCRIPTION
A	LITHONIA OR EQUAL	2GTL4 72L EZ1 LP835	7200 LUMENS, LED, 3500K	0-10V DIMMING DRIVER	71W	120V	RECESSED 2X4 LAY-IN WITH ACRYLIC LENS. FIXTURE TRIM SHALL MATCH CEILING TYPE.
B	LITHONIA OR EQUAL	LDN6 35 15 LO6 AR LSS 120V	1500 LUMENS, LED, 3500K	0-10V DIMMING DRIVER 10% DRIVER	20.5W	120V	6" RECESSED LED DOWNLIGHT. SEMI-SPECULAR FINISH. VERIFY OPTIONS WITH ARCHITECT AND CEILING TYPES PRIOR TO ORDERING AND/OR PRICING.
C	OWNER SELECTED		750 LUMENS, LED, 3000K	0-10V DIMMING DRIVER 10% DRIVER	15W	120V	OWNER SELECTED, CONTRACTOR INSTALLED PENDANT FIXTURE.
D	OWNER SELECTED		750 LUMENS, LED, 3000K	0-10V DIMMING DRIVER 10% DRIVER	15W	120V	OWNER SELECTED, CONTRACTOR INSTALLED PENDANT FIXTURE.
E	OWNER SELECTED		1000 LUMENS, LED, 3000K	0-10V DIMMING DRIVER 10% DRIVER	18W	120V	OWNER SELECTED, CONTRACTOR INSTALLED PENDANT FIXTURE.
T	JUNO OR EQUAL TO MATCH EXISTING	TRAC-MASTER			.	120V	120V, BLACK TRACK SINGLE CIRCUIT 10'-0" SECTION. CONFIRM SPECIFIED FIXTURE MATCHES EXISTING. MOUNT SIMILAR TO FIXTURES IN EXISTING TENANT SPACE. SPECIFICATION FOR BUDGETING PURPOSES ONLY. NOTE 6.
TH	JUNO OR EQUAL TO MATCH EXISTING	T218BL	1-75W PAR 30 (LED REPLACEMENT)		75W	120V	120V TRACK BLACK TRACK HEAD, MATCH EXISTING, CONFIRM FIXTURE TYPE PRIOR TO ORDERING. SPECIFICATION FOR BUDGETING PURPOSES ONLY.
	CONTECH OR APPROVED EQUAL	EXR2HRLEDEM B	LED 2-5.4W/WEDGE	ELECTRONIC	1.5W/FACE 14W	MVOLT	WALL MOUNTED COMBO EMERG/LED EXIT SIGN WITH POLYCARBONATE HOUSING WITH SELF-CONTAINED POWERPACK FOR 90MIN OPERATION. NICAD BATTERY. BLACK HOUSING. RED LETTERS. (VERIFY COLOR WITH ARCH/INTERIORS)
	CONTECH OR APPROVED EQUAL	EXREM SERIES	LED	ELECTRONIC	2.5W/FACE	120V	LED EXIT SIGN WITH SELF-CONTAINED POWER PACK FOR 90MIN OPERATION. BLACK HOUSING, NICAD BATTERY & RED LETTERS. (VERIFY COLOR WITH ARCH/INTERIORS)
	CONTECH OR APPROVED EQUAL	EL2HALEDEM B	2-2.5W LED	ELECTRONIC	20W	120V	WALL MOUNTED SELF CONTAINED EMERGENCY LIGHT POLYCARBONATE HOUSING WITH SELF-CONTAINED POWER PACK FOR 90MIN. OPERATION. BLACK (VERIFY COLOR WITH ARCH/INTERIORS) HOUSING.
	MULE OR APPROVED EQUAL	MAKO-LED	TWO LAMPS INCLUDED		20W MAX	120V	EXTERIOR EMERGENCY LIGHT WITH BATTERY BACKUP, TWO LAMPS AND UL WET LABEL, BLACK FINISH. 90 MINUTE EMERGENCY BATTERY BACKUP (VERIFY COLOR WITH ARCH/INTERIORS)

FIXTURE NOTES:

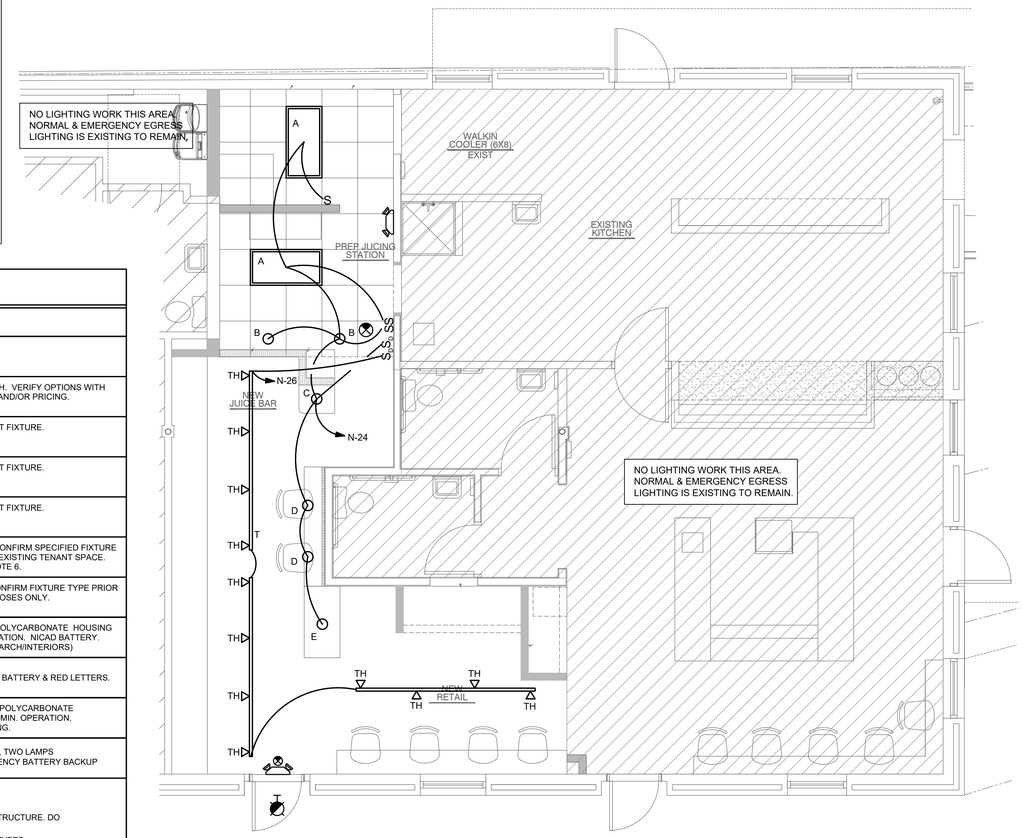
1. SUBSTITUTIONS MUST BE EQUAL IN CONSTRUCTION, FINISH, ENERGY USAGE AND PHOTOMETRY. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO THE ENGINEER, WITH CUTSHEETS AND PHOTOMETRY. THE ENGINEER MUST RECEIVE THESE WITH TIME ALLOWED TO REVIEW AND ISSUE A WRITTEN APPROVAL BACK TO THE SUBMITTING PARTY TEN(10) DAYS PRIOR TO BID. SUBSTITUTE FIXTURES SHALL BE LISTED SEPARATELY AND UNIT PRICED AT TIME OF BID, SO THAT THE ENGINEER AND OWNER CAN MAKE AN INFORMED DECISION. NO SUBSTITUTIONS WILL BE CONSIDERED AFTER THE 10 DAY PRIOR BID PROCESS ENDED.
2. SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT FIXTURE LOCATIONS.
3. ALIGN ALL HORIZONTAL FLUORESCENT LIGHTS SO THAT THE LAMPS ARE ALIGNED IN THE SAME DIRECTION.
4. SUSPEND TWO OPPOSITE CORNERS WITH WIRE TO STRUCTURE. DO NOT ALLOW GRID ALONE TO SUPPORT FIXTURE.
5. FIXTURE FLANGES AND TRIMS SHALL MATCH CEILING TYPES.
6. CONTRACTOR SHALL PROVIDE POWER END FEED WITH 480W CURRENT LIMITING DEVICE, END FEEDS, JOINERS, & ALL ACCESSORIES FOR A COMPLETE AND OPERATIONAL SYSTEM.

GENERAL NOTES THIS SHEET

1. ALL EMERGENCY/EGRESS FIXTURES SHALL BE CONNECTED TO LOCAL CIRCUIT SERVING RESPECTIVE AREA AND AHEAD OF ALL CONTROLS.
2. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING 0-10V CONDUCTORS FROM DIMMER SWITCHES TO ALL 0-10V LIGHTING AS REQUIRED.
3. ALL LIGHTS LOCATED WITH IN WORK AREAS SHALL BE EQUIPPED WITH INDIVIDUAL SHIELDS OR SHATTERPROOF LAMPS AS REQUIRED BY 15A NCAC 18A-2630.
4. LIGHT FIXTURES SELECTED BY OTHER SHALL MEET THE REQUIRED 50 FOOTCANDLE REQUIREMENTS IN THE KITCHEN, STORAGE, AND WALK-IN COOLER AREAS.

ALL LIGHTS LOCATED WITHIN WORK AREAS SHALL BE EQUIPPED WITH INDIVIDUAL SHIELDS OR SHATTERPROOF LAMPS AS REQUIRED BY 15A NCAC 18A-2630.

LIGHT FIXTURES SPECIFIED MEET THE REQUIRED FOOTCANDLE REQUIREMENTS IN THE KITCHEN, STORAGE, AND WALK-IN COOLER AREAS.



1 / E1.1 FLOOR PLAN - LIGHTING
SCALE: 1/4" = 1'-0"

WAVE ENGINEERING
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NC CORP. LICENSE #P-1621
WAVE PROJECT #17040

NORTH CAROLINA PROFESSIONAL SEAL 037734 ENGINEER MICHAEL J. SENIVA
3/31/2017

THE PICKLED PEACH — Handcrafted Foods

202 S. MAIN STREET
SUITE E
DAVIDSON, NC 28036

OWNER SET	#1
BID SET	#1
BUILDING DEPT	#0
FIRE MARSHAL	#0
HEALTH DEPT	#0

ISSUE DATE: 3.31.17

PICKLED PEACH

REVISION		DATE
no.	date	comment
1		
2		
3		
4		
5		
6		
7		

DRAWN BY	GG
CHECKED BY	MS
PROJECT DATE	3.31.2017
PROJECT NUMBER	17-1867R

LIGHTING PLAN & COMCHECK

E1.1

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KITCHEN EQUIPMENT SCHEDULE

ITEM NO.	DESCRIPTION	LOAD KW	LOAD AMP	LOAD HP	VOLT	PHASE	MTG. HT.	REMARKS
1	PIZZA PREP TABLE	-	7.9	-	120	1	VERIFY	2(NEMA 5-15P)
2	UNDERCOUNTER/TABLE FREEZER	-	9.9	-	120	1	VERIFY	NEMA 5-15P
3	REACH-IN FREEZER	-	8.5	-	120	1	VERIFY	NEMA 5-15P
4	GLASS DOOR MERCHANDISER	-	6.2	-	120	1	VERIFY	NEMA 5-15P
5	COLD PRESS JUICER (PRESS)	-	8.0	-	208	1	VERIFY	NEMA L6-20P
5	COLD PRESS JUICER (GRINDER)	-	6.0	-	208	1	VERIFY	NEMA L6-20P
6	HINGED DOOR MERCHANDISER	-	9.9	-	120	1	VERIFY	NEMA 5-15P
9	REACH-IN REFRIGERATOR	-	7.5	-	120	1	VERIFY	NEMA 5-15P

NOTES:
1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL DISCONNECT SWITCHES, RECEPTACLE, ETC. TO MECHANICAL/PLUMBING AND KITCHEN EQUIPMENT AS REQUIRED. THE ELECTRICAL CONTRACTOR SHALL ALSO PROVIDE ALL CORDS, PLUGS, CABLES, ETC. ON EQUIPMENT REQUIRING SUCH ITEMS.
2. THE ELECTRICAL CONTRACTOR SHALL PROVIDE FINAL CONNECTIONS TO ALL MECHANICAL/PLUMBING AND KITCHEN EQUIPMENT AS REQUIRED.
3. ALL DISCONNECT SWITCHES, FUSE SIZES, PLUG CONFIGURATIONS, BREAKER SIZES, ETC., SHALL BE COORDINATED WITH SHOP DRAWINGS PRIOR TO INSTALLING. ANY EQUIPMENT INSTALLED INCORRECTLY BECAUSE OF LACK OF COORDINATION WILL BE REMOVED AND INSTALLED CORRECTLY AT THE ELECTRICAL CONTRACTOR'S EXPENSE.
4. ELEC. CONTRACTOR SHALL PULL A GROUND AND A NEUTRAL WITH ALL CIRCUITS, WHETHER SO DESIGNATED OR NOT.
5. ALL 15 AND 20 AMP RECEPTACLES IN KITCHEN SHALL BE GFI.

PANELBOARD SCHEDULE - "N"

MAIN: 200 MLO | VOLTAGE: 208/120 | PHASE: 3 | WIRE: 4 | MOUNTING: SURFACE | AIC: 10,000 | NOTES:

CKT #	BKR TRIP	POLE	WIRE SIZE	COND SIZE	DESCRIPTION	LTG	REC	MTR	A/C	HTG	KIT	MISC	PHASE	LTG	REC	MTR	A/C	HTG	KIT	MISC	COND SIZE	WIRE SIZE	POLE	BKR TRIP	CKT #	DESCRIPTION
1	15	EX	12	1/2"	EXISTING CKT *							1.2	A							2.0	1/2"	12	EX	20/20	2	EXISTING/EXISTING *
3	30	EX	10	3/4"	A/C *				2.5				B							2.0	1/2"	12	EX	20/20	4	EXISTING/EXISTING *
5		2							2.5				C							1.5	1/2"	12	EX	20	6	EXISTING *
7	15	EX	12	1/2"	EXISTING *							1.2	A							1.5	1/2"	12	EX	20	8	EXISTING *
9	30	EX	10	3/4"	EXISTING *				2.5				B							1.5	1/2"	12	EX	20	10	EXISTING *
11		2							2.5				C							1.5			2		12	
13	20	1	12	1/2"	PIZZA PREP TABLE (1)**						0.9		A						0.6		JUICER (5-GRINDER)	1/2"	12	2	20	14
15	20	1	12	1/2"	UNDERCTR FREEZ (2)**						1.2		B						0.6							16
17	20	1	12	1/2"	REACH-IN REFRIGE (3)**						1.0		C						0.8		JUICER (5-PRESS)	1/2"	12	2	20	18
19	20	1	12	1/2"	MERCHANDISER (4)**						0.7		A						0.8							20
21	20	1	12	1/2"	HINGED MERCH (6)**						1.2		B							0.3	EWC **	1/2"	12	1	20	22
23	20	1	12	1/2"	REACH-IN REFRIGE (9)**						0.9		C	0.2							LIGHTS	1/2"	12	1	20	24
25	20	1	12	1/2"	GENERAL RECEPTS		0.4						A	0.5							LIGHTS TRACK	1/2"	12	1	20	26
27	20	1	12	1/2"	GENERAL RECEPTS		0.4						B							1.0	AIR CURTAIN	1/2"	12	1	20	28
29	20	1	12	1/2"	GENERAL RECEPTS	0.7							C								SPARE	1/2"	12		20	30
31	20	1	12	1/2"	MILLWORK LIGHTS	1.0							A								SPACE					32
33	20	1	12	1/2"	RECEPTS GENERAL		0.4						B								SPACE					34
35					SPACE								C								SPACE					36
37					SPACE								A								SPACE					38
39					SPACE								B								SPACE					40
41					SPACE								C								SPACE					42

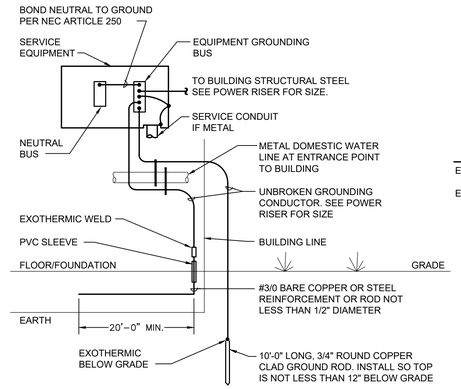
LIGHTING (KVA):	2.5			CONNECTED LOAD (KVA):	36.1
RECEPTACLES (KVA):	1.1			DEMAND LOAD (KVA):	33.6
MOTORS (KVA):	0.0	PHASE A	11 90.9		
A/C (KVA):	10.0	PHASE B	14 112.7	CONNECTED LOAD (AMPS):	100.3
HEATING (KVA):	0.0	PHASE C	12 97.7	DEMAND LOAD (AMPS):	93.4
KITCHEN (KVA):	8.9		KVA AMPS		
MISCELLANEOUS (KVA):	13.7				
NOTES:					

PANELBOARD SCHEDULE - 'EX'

MAIN: 225 MLO | VOLTAGE: 208/120 | PHASE: 3 | WIRE: 4 | MOUNTING: SURFACE | AIC: 10,000 | NOTES:EX- INDICATES EXISTING

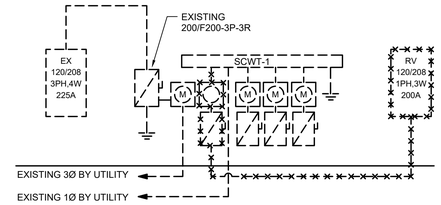
CKT #	BKR TRIP	POLE	WIRE SIZE	COND SIZE	DESCRIPTION	LTG	REC	MTR	A/C	HTG	KIT	MISC	PHASE	LTG	REC	MTR	A/C	HTG	KIT	MISC	COND SIZE	WIRE SIZE	POLE	BKR TRIP	CKT #	DESCRIPTION
1	20	EX	12	1/2"	COOLER						1.5		A				***2.0***				***NEW CU-1***	***3/4"***	***10***	***2***	***30***	2
3		***2***									1.5		B				***2.0***							***2***		4
5	15	EX	12	1/2"	EXHAUST FAN							1.1	C					2.0			AIR HANDLER #3	3/4"	10	EX	30	6
7		2										1.1	A					2.0						2		8
9	20	EX	12	1/2"	KITCHEN RECEPT.		0.9						B						2.2		DISHWASHER	3/4"	10	EX	30	10
11	15	EX	12	1/2"	HOOD SUPPLY						1.2		C						2.2					2		12
13		2									1.2		A			0.4					BATHROOM RECEPTS	1/2"	12	EX	20	14
15	20		12	1/2"	KITCHEN RECEPT.		0.9						B	0.5							BATHROOM LIGHTS	1/2"	12	EX	20	16
17	20		12	1/2"	NORLAKE FREEZER						1.5		C						1.2		ICE WALL	1/2"	12	EX	20	18
19	20		12	1/2"	NORLAKE LIGHTS						1.0		A						1.2		ICE WALL	1/2"	12	EX	20	20
21	20		12	1/2"	HOOD CONTROL						0.2		B						0.9		ICE WALL RECEPTS	1/2"	12	EX	20	22
23	20		12	1/2"	EDGE COOLER						0.8		C						0.5		BACK WALL RECEPTS	1/2"	12	EX	20	24
25	100	EX	3	1 1/4"	AIR HANDLER #2					6.7			A						1.5		WALLS	1/2"	12	EX	20	26
27		2								6.7			B			0.5					RECEPTS	1/2"	12	EX	20	28
29	20	EX	12	1/2"	CONDENSER #2				1.5				C	0.2							EMERGENCY CIRCUIT	1/2"	12	EX	20	30
31		2							1.5				A	1.2										EX		32
33	30	EX	10	3/4"	CONDENSER #3					2.0			B	1.2							LIGHTS	1/2"	12	3	20	34
35		2								2.0			C	1.2										EX		36
37	***40***	***2***	***8***	***3/4"***	***NEW AH-1 ******					***4.0***			A			0.5					GENERAL RECEPTS	1/2"	12	EX	20	38
39		***2***								***4.0***			B					1.2			SPLIT SYSTEM OFFICE	1/2"	12	EX	15	40
41	20	EX	12	1/2"	RECEPTACLES		1.2						C					1.2						2		42

LIGHTING (KVA):	4.3	0.0	3.0	0.0	3.0	25.2	8.9	2.2		4.3	1.4	0.0	6.4	4.0	9.7	0.0	CONNECTED LOAD (KVA):	68.2
RECEPTACLES (KVA):	4.4																DEMAND LOAD (KVA):	62.8
MOTORS (KVA):	0.0								PHASE A	26 214.0								
A/C (KVA):	9.4								PHASE B	25 205.6							CONNECTED LOAD (AMPS):	189.4
HEATING (KVA):	29.2								PHASE C	18 149.1							DEMAND LOAD (AMPS):	174.3
KITCHEN (KVA):	18.6									KVA AMPS								
MISCELLANEOUS (KVA):	2.2																	
NOTES:																		



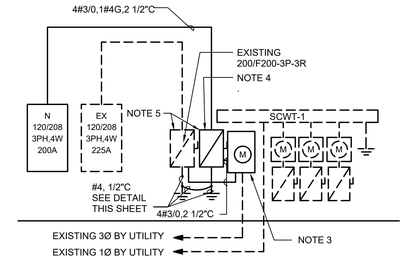
RESISTANCE TO GROUND SHALL BE LESS THAN 25 OHMS

2 E2.1 SERVICE GROUNDING DETAIL
NO SCALE



3 E2.1 POWER RISER - EXISTING CONDITION
NO SCALE

NOTES:
1. ITEMS INDICATED AS DASHED ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
2. ITEMS INDICATED AS "X'ED" OUT ARE EXISTING TO BE DEMOLISHED.



4 E2.1 POWER RISER - NEW CONDITION
NO SCALE

NOTES:
1. ITEMS INDICATED AS DASHED ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
2. ITEMS INDICATED AS SOLID ARE NEW WORK.
3. NEW 320A METER BASE PER UTILITY STANDARDS.
4. NEW 200/F200-3P-3R DISCONNECT SWITCH. PROVIDE 100% FULLY RATED 10,000 AIC CLASS "J" LIMITING FUSES.
5. PROVIDE PHENOLIC LABEL INDICATING DISCONNECT 1 OF 2 AND 2 OF 2 FOR EACH RESPECTIVE DISCONNECT SWITCH. ALSO LABEL FIELD DETERMINED AIC RATING OF AIC AVAILABLE.
6. ALUMINUM EQUIVALENT FEEDER MAY BE OFFERED AS VE ITEM IF ACCEPTED BY OWNER. PROPER LUGS AND FITTINGS SHALL BE PROVIDED.

PANEL 'N' NOTES:
1. PANEL AND BREAKERS ARE NEW.
2. * - INDICATES EXISTING CIRCUIT TO BE REFED AS REQUIRED.
3. ** - INDICATES GFCI BREAKER.

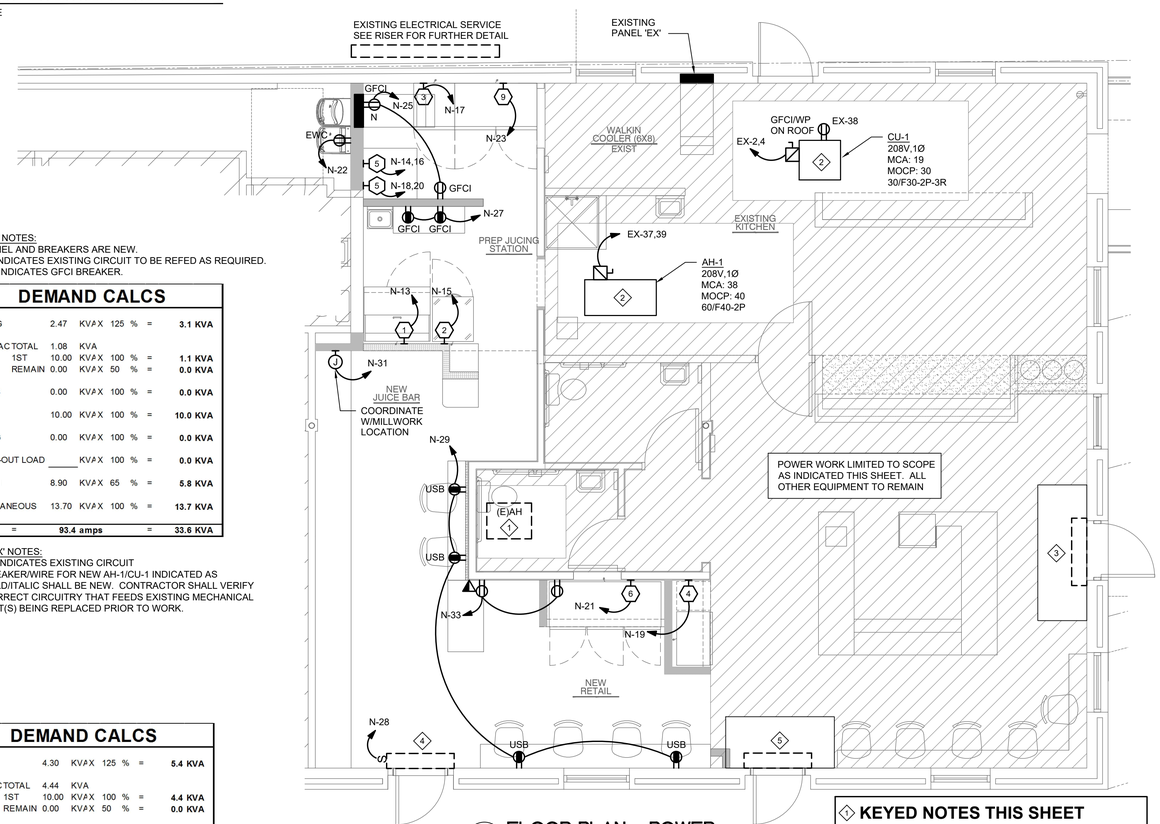
DEMAND CALCS

LIGHTING	2.47	KVA	X	125 %	=	3.1 KVA
RECEPTAC TOTAL	1.08	KVA				
1ST	10.00	KVA	X	100 %	=	1.1 KVA
REMAIN	0.00	KVA	X	50 %	=	0.0 KVA
MOTORS	0.00	KVA	X	100 %	=	0.0 KVA
A/C	10.00	KVA	X	100 %	=	10.0 KVA
HEATING	0.00	KVA	X	100 %	=	0.0 KVA
LOCKED-OUT LOAD		KVA	X	100 %	=	0.0 KVA
KITCHEN	8.90	KVA	X	65 %	=	5.8 KVA
MISCELLANEOUS	13.70	KVA	X	100 %	=	13.7 KVA
TOTAL =	93.4 amps				=	33.6 KVA

PANEL 'EX' NOTES:
1. EX INDICATES EXISTING CIRCUIT
2. BREAKER/WIRE FOR NEW AH-1/CU-1 INDICATED AS BOLD/ITALIC SHALL BE NEW. CONTRACTOR SHALL VERIFY CORRECT CIRCUITRY THAT FEEDS EXISTING MECHANICAL UNIT(S) BEING REPLACED PRIOR TO WORK.

DEMAND CALCS

LIGHTING	4.30	KVA	X	125 %	=	5.4 KVA
RECEPTAC TOTAL	4.44	KVA				
1ST	10.00	KVA	X	100 %	=	4.4 KVA
REMAIN	0.00	KVA	X	50 %	=	0.0 KVA
MOTORS	0.00	KVA	X	100 %	=	0.0 KVA
A/C	9.45	KVA	X	100 %	=	9.4 KVA
HEATING	29.22	KVA	X	100 %	=	29.2 KVA
LOCKED-OUT LOAD		KVA	X	100 %	=	0.0 KVA
KITCHEN	18.64	KVA	X	65 %	=	12.1 KVA
MISCELLANEOUS	2.20	KVA	X	100 %	=	2.2 KVA
TOTAL =	174.3 amps				=	62.8 KVA



1 E2.1 FLOOR PLAN - POWER
SCALE: 1/4" = 1'-0"

GENERAL NOTES THIS SHEET

1. DEVICES INDICATED AS DASHED ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED. MECHANICAL EQUIPMENT AND CONNECTIONS ARE NEW.
2. COORDINATE LOCATION OF ALL MECHANICAL EQUIPMENT WITH OWNER PRIOR TO ANY ROUGH IN WORK. ELECTRICAL SHALL MOVE TO RESPECTIVE LOCATION IF REQUIRED.

1 KEYED NOTES THIS SHEET

1. THE CONTRACTOR SHALL COORDINATE EXACT LOCATION OF MECHANICAL UNIT RELOCATION WITH MECHANICAL CONTRACTOR/OWNER PRIOR TO ELECTRICAL WORK. THE ELECTRICAL CONTRACTOR SHALL EXTEND CONDUIT AND CONDUCTORS TO NEW LOCATION AS REQUIRED AND MAKE FINAL CONNECTIONS.
2. THE CONTRACTOR SHALL CONNECT NEW MECHANICAL UNIT AS REQUIRED REPLACING EXISTING MECHANICAL UNIT. COORDINATE WITH OTHER TRADES AS REQUIRED.
3. EXISTING LOCATION OF AIR CURTAIN. REMOVE CONDUCTORS BACK TO PANEL.
4. NEW LOCATION OF AIR CURTAIN. PROVIDE NEW CONNECTION, CIRCUIT, PROVIDE NEW CONTROL, & MAKE FINIAL CONNECTIONS TO AIR CURTAIN AS REQUIRED FOR PROPER OPERATION.
5. PROVIDE NEW CONTROL FOR EXISTING AIR CURTAIN.

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INFO@WAVE-ENGINEERING.COM
NC CORP. LICENSE #P-1621
WAVE PROJECT #17040

NORTH CAROLINA PROFESSIONAL SEAL 037734 ENGINEER MICHAEL J. SENIVA
9/21/2017

THE PICKLED PEACH Handcrafted Foods

202 S. MAIN STREET
SUITE E
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OWNER SET	#1
BID SET	#1
BUILDING DEPT	#0
FIRE MARSHAL	#0
HEALTH DEPT	#0

ISSUE DATE: 3.31.17

PICKLED PEACH

REVISION no.	date	comment	DATE
1			
2			
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4			
5			
6			
7			

DRAWN BY	GG
CHECKED BY	MS
PROJECT DATE	3.31.2017
PROJECT NUMBER	17-1867R

POWER PLAN & DETAILS

E2.1

GAS LINE
HOLLOW METAL DOOR
NEW DOOR
EXISTING WINDOW

Town of Davidson, NC
Design Review Board: Staff Analysis
Project Manager: Chad Hall
April 19, 2017

Project:	Proposed new side door on south elevation of addition
Location:	202 South Main Street, Suite E
Applicant:	Pickled Peach (Jen Jentz)
Designer:	Jen Jentz
Planning Area:	Village Center and within the Local Historic District

---

A project is proposed at 202 South Main Street on the exterior of the Pickled Peach restaurant. The applicant proposes to add a second door on the south elevation of the addition that was constructed in 2013.

The south elevation faces a secondary/service courtyard that provides access area for several businesses. These accesses are typically utilized by staff or for deliveries.

The proposal is for a new door, to the right of an existing door which provides access to an office area. The new door would allow for a straight route for deliveries to the kitchen without interrupting the office environment. The indicated design for the door is the same as the current metal door and would utilize the same colors and trim.

There is a gas line that will need to be routed overtop of the new door; it is not clear if it is to be painted.

Two lights are proposed to the right of each door (new and existing); design and color to match previously approved goose neck designs (approved January 2017).

The building is located within the Village Center Planning Area. This building is considered to be a storefront building and is a contributing structure in the Local Historic District. As such, the Historic Preservation Commission (HPC) may use its Design Guidelines to ensure that facades, sites and their features meet the spirit and intent of the Davidson Planning Ordinance, even if all aspects do not necessarily meet the requirements for façades.

HISTORIC DISTRICT GUIDELINES:

Exterior Walls and Trim

1. *Retain and preserve exterior walls that contribute to the overall historic form and character of a building, including their functional and decorative features, such as cornices, foundations, bays, quoins, arches, water tables, brackets, entablatures, and storefronts.*

6. *It is not appropriate to compromise the architectural character of a building by introducing or removing windows, doors, chimneys, bays, or other features on character-defining exterior walls.*

Windows and Doors

6. It is not appropriate to compromise the architectural integrity of a building by introducing or eliminating historic window or door openings on character-defining elevations.

Exterior Lighting

5. If needed, introduce exterior lighting fixtures sensitively so that the overall character of the historic building, site, or district is not diminished. Select and install new fixtures so that the location, orientation, height, brightness, design, and material are compatible with the human scale and character of the historic district.

DAVIDSON PLANNING ORDINANCE:

Section 4.2.1 – Historic District Regulations

All changes or improvements made to structures within the Local Historic District must comply with the Historic District Regulations as described in Section 22.

Section 4.4.1.E.1 – General Building Design Standards - Materials

Materials shall be selected for suitability to the type of building and design for which they are used.

Section 4.4.1.E.4a-b – General Building Design Standards - Materials

Building materials and colors shall be complimentary to materials already being used in the general area. If dissimilar materials are being proposed, other characteristics such as scale, proportion, form, architectural detailing, color, and texture shall be used to ensure that the building relates to the rest of the neighborhood.

T:\Planning_Shared_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2017 DRB Agendas\20170419_DRB Agenda\Pickled Peach Door\20170411_202 S Main St-Pickled Peach_Staff Analysis.doc

Agenda Title: Sweet Shop Sign

Summary:

ATTACHMENTS:

	Description	Upload Date	Type
	Application	4/12/2017	Exhibit
	Proposed Sign Picture	4/12/2017	Exhibit
	Previous Sign Permit	4/12/2017	Exhibit
	Staff Analysis	4/12/2017	Exhibit

Design Review

The Town of Davidson
College Town. Lake Town. *Your Town.*

South Main Sweet Shop
(Name of Project)

Sign - Project Description

Application Date: 3/7/17

Project Location: 107. N. Main St.
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s):

Planning Area:

Planning Area Overlay District:

Master or Conditional Plan:
(Include any conditions of approval)

General Statement of Intent: One sign for each window: (1) Chocolate (2) Candy. – Red backround w/ white letters

Project Details:

Project Type: [x] individual sign [x] multi-tenant building [ ] sign plan development

Sign Type: [ ] wall sign [ ] projecting sign [ ] hanging sign
[ ] freestanding sign [ ] canopy/awning sign [x] window/door sign
[ ] building name [ ] sidewalk sign [ ] temporary sign

Other sign type:
Dimensions: 25" x 11.5" each
Square Footage:
Height from grade:
Sign materials: corregated cardboard with grommets
Lighting: –

Existing Signs, include signs to remain and signs to be removed:
Sign on trellis – Remain
Sidewalk sign – Remain

The Town of Davidson
College Town. Lake Town. Your Town.

Design Review

South Main Sweet Shop
(Name of Project)

Contact Information

Applicant's Information

Name: Regina McGrath

E-Mail: regina@southmainsweetshop.com

Mailing Address: Po Box 1011
Davidson NC 28036

Business Phone: (704)997-5767 Mobile Phone:

Property Owner's Information
(If Different from Applicant)

Name: Sandy Carnegie - 107 N. Main Street LLC

E-Mail: Sandy@mcintoshlawfirm.com

Mailing Address: Po Box 363 Davidson NC 28036

Business Phone: (704)892-1699 Mobile Phone:

Architect's Information

Name of Firm:

Architect's Name:

E-Mail:

Mailing Address:

Business Phone: Mobile Phone:

Chocolate
Candy

APPLICATION FOR SIGN PERMIT

PERMIT #

LOCATION

STREET # 107 (N,S,E,W) N STREET NAME Main St (AV, RD, ST, etc)

SUITE/UNIT(S):

TAX JURISDICTION: (Check One) ☐ 0-Mecklenburg ☐ 1-Charlotte ☐ 2-Davidson ☐ 3-Cornelius ☐ 4-Pineville ☐ 5-Matthews ☐ 6-Huntersville ☐ 7-Mint Hill

PROPERTY OWNER Sandy Carnegie ADDRESS

CITY Davidson STATE NC ZIP 28036 PHONE #

TAX PARCEL # 00325703 ZONING JURIS MAP #

SPECIAL USE: (circle) C D N P S STREET CLASSIFICATION: (circle) I II III IV V VI N/A

JOB # PROPERTY USE: Candy Store

USDC # 329 REMARKS:

CONTRACTOR

SIGN CONTRACTOR Artisan Signs + Graphics PHONE # (704) 655-9100

ADDRESS 18335 Old Statesville Rd CITY Cornelius STATE NC ZIP 28031

CONTRACTOR # BONDED WITH BUILDING STANDARDS DEPARTMENT: ☐ Yes ☐ No

ELECTRICAL CONTRACTOR PHONE #

ADDRESS CITY STATE ZIP

CONTRACTOR # BONDED WITH BUILDING STANDARDS DEPARTMENT: ☐ Yes ☐ No

OWNER

SIGN OWNER Regina McGrath PHONE # (704) 657-2752

ADDRESS 237 Charter Oak Ct CITY Mooresville STATE NC ZIP 28115

DESCRIPTION

CATEGORY: ☐ Detached Attached: ☐ Canopy or Awning ☐ Projecting ☐ Roof ☐ Wall

TYPE:
- BB ☐ Bulletin Board
- BU ☐ Business
- DI ☐ Directory
- ID ☐ Identification
- NR ☐ Non-Residential Park
- OP ☐ Off-Premises
- OA ☐ Outdoor Advertising
- PD ☐ Planned Development
- PR ☐ Primary
- SD ☐ Secondary
- SC ☐ Shopping Ctr.
- SP ☐ Sponsorship
- TP ☐ Temp Planned Dev.
- OT ☐ Other (Describe)

- GENERAL INFORMATION -

ATTACHED: Existing Signs Attached to Building Wall/Roof # Total Sq. Ft.
Existing Signs Attached to Entire Building # Total Sq. Ft.
Area of Building Wall: Height Ft. In x Width Ft. In. = Sq. Ft.
Projection from Building Ft. In.

DETACHED: Ground Clearance: Ft. In. Total Height: 4' Sidewalk Ft. In.
In Sight Distance Triangle: ☐ Yes ☐ No Distance Behind R/W: 0' Ft. In.
Changeable Copy % Total Sign

OTHER: Illuminated: ☐ Yes ☐ No Flashing: ☐ Yes ☐ No Drawings Attached: ☐ Yes ☐ No

SIGN SIZE: Height: Ft. In. x Width: Ft. In. = Sq. Ft.

REMARKS: SIDEWALK SIGNS ARE TO BE COMPLIANT WITH 11.4.1.9.
FREESTANDING REPLACEMENT SIGN TO COMPLY WITH 11.4.1.1 AND FIT EXISTING FRAME.

TOTAL FEE $

THE UNDERSIGNED HEREBY CERTIFIES THAT HE/SHE IS EITHER THE OWNER OR THE AUTHORIZED AGENT OF THE OWNER AND HEREBY MAKES APPLICATION FOR PERMIT AND INSPECTION OF WORK DESCRIBED AND AGREES TO COMPLY WITH ALL APPLICABLE LAWS REGULATING THE WORK.

Regina McGrath — APPLICANT'S SIGNATURE
3/18/16 — DATE
Regina McGrath — PRINT APPLICANT'S NAME

METHOD OF PAYMENT ☑ CASH/CHECK ☐ ACCOUNT

MECKLENBURG COUNTY LAND USE & ENVIRONMENTAL SERVICES AGENCY
700 N. TRYON STREET • CHARLOTTE, NC 28202 • 704/336-2831

HOLDS	PROCESSED BY		APPROVED BY	VALIDATED BY
			Sept 3/24/16	

B-77

ORIGINAL

DRAWINGS FOR SIGN PERMIT APPLICATION

LOCATION

STREET # (N,S,E,W) STREET NAME (AV,RD,ST, etc)

107 N Main St

SUITE/UNIT(S):

TAX JURISDICTION: (Check One)

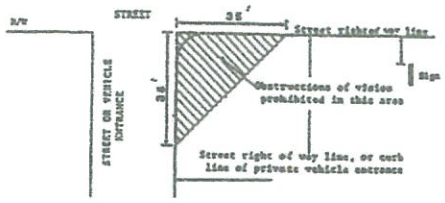
- ☑ 0-Meckienburg
- ☐ 1-Charlotte
- ☐ 2-Davidson
- ☐ 3-Cornelius
- ☐ 4-Pineville
- ☐ 5-Matthews
- ☐ 6-Huntersville
- ☐ 7-Mint Hill

TAX PARCEL # 00325703

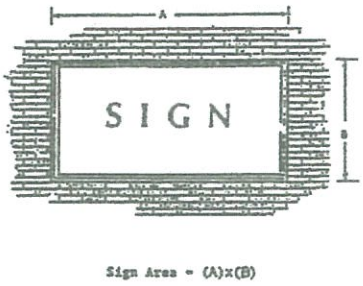
JOB #

PERMIT #

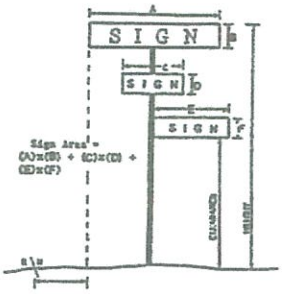
EXAMPLES



SIGHT DISTANCE TRIANGLE



ATTACHED/WALL SIGN

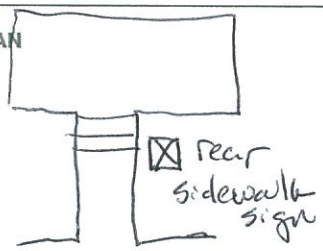


DETACHED SIGN

DRAWINGS

DRAW NEW AND EXISTING SIGNS, STREET R/W'S, DRIVEWAYS, SIGHT DISTANCE TRIANGLES, ETC.
(Separate application and drawings required for each sign)

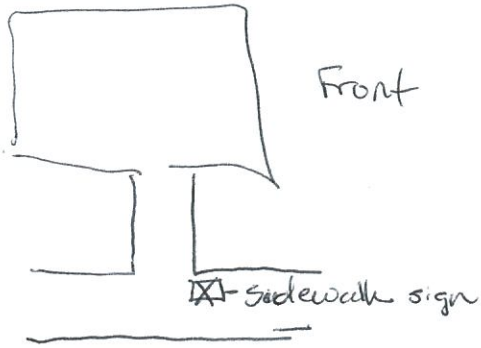
SITE PLAN



SIGN

Temporary Banner * on porch

* (60 DAYS MAXIMUM FROM APPROVAL DATE)



ALL EXISTING AND PROPOSED SIGNS ARE SHOWN WITH EXACT MEASUREMENTS.

Regina McGrath — APPLICANT'S SIGNATURE

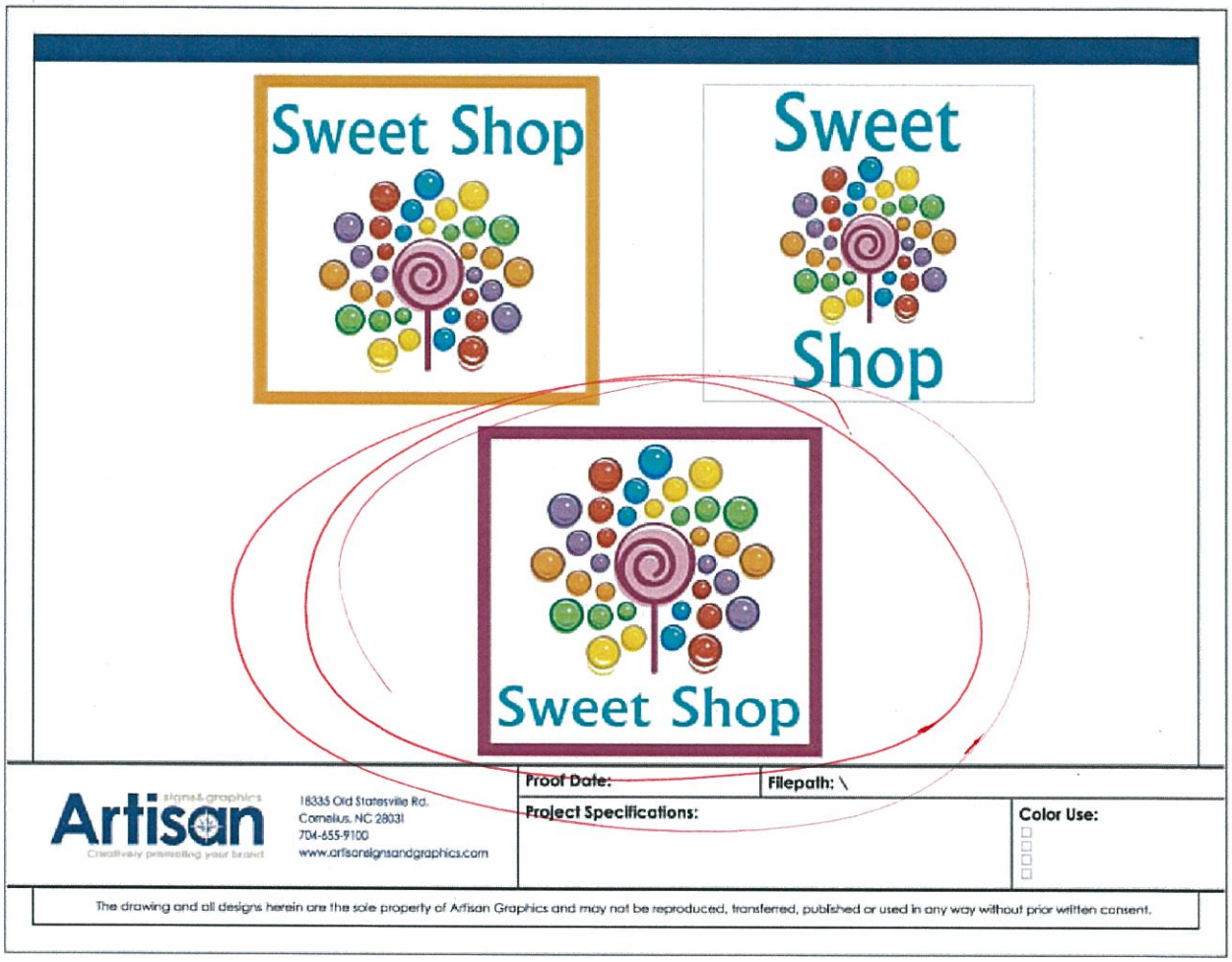
3/17/16 — DATE

Regina McGrath — PRINT APPLICANT'S NAME

APPROVED BY SAA 3/24/16

CHARLOTTE-MECKLENBURG BUILDING STANDARDS DEPARTMENT
P.O. BOX 31097 • CHARLOTTE, NC 28231-1097 • 704/336-2831
B-86

ORIGINAL


Sweet Shop
Sweet
Shop
Sweet Shop
Artisan
signs & graphics
Creatively presenting your brand
18335 Old Statesville Rd.
Cornelius, NC 28031
704-655-9100
www.artisansignsandgraphics.com
Proof Date:
Filepath: \
Project Specifications:
Color Use:
The drawing and all designs herein are the sole property of Artisan Graphics and may not be reproduced, transferred, published or used in any way without prior written consent.

Design Review

South Main Sweet Shop
(Name of Project)

Sign - Application Requirements

Date Received		
3/10/16	☑	Application Fee per Town of Davidson Fee Schedule
3/10/16	☑	Contact Information
3/10/16	☑	Project Description (including General Statement of Intent)
	–	Statement of Compliance with Section 9
	–	Any Approved Sign Plan or Conditional Planning Area for Signs (including all renderings, plans, and conditions of approval)
3/18/16	☑	Site and Building Plan Indicating the Location of all Signs
3/18/16	☑	Color Photos (including existing and adjacent sites and building(s) showing signage taken from the perspective of the public streets adjacent to the site)
	–	List of all Existing Signs with their Location and Dimensions
	–	Color Photo of Building(s) with Proposed Sign(s) Superimposed
	–	Landscape Schematic Design in accordance with Section 8.6
	☑	Representative Materials and Colors
3/18/16	–	Proposed Lighting Type and Location
	–	Statement of Compliance with Planning Ordinance Section 14

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

Applicant's Signature _____ Date _____

Design Review

The Town of Davidson
College Town. Lake Town. *Your Town.*

South Main Sweet Shop
(Name of Project)

Sign - Project Description

Application Date: 3-16-16

Project Location: 107 N Main St
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s):

Planning Area:

Planning Area Overlay District:

Master or Conditional Plan:
(Include any conditions of approval)

General Statement of Intent:

Project Details:

Project Type: ☐ individual sign ☑ multi-tenant building ☐ sign plan development

Sign Type: ☐ wall sign ☐ projecting sign ☑ hanging sign

☐ freestanding sign ☐ canopy/awning sign ☐ window/door sign

☐ building name ☑ sidewalk sign ☑ temporary sign

Other sign type:
Dimensions:
Square Footage:
Height from grade:
Sign materials:
Lighting:

Existing Signs, include signs to remain and signs to be removed:
Designing Brides sign removed + replaced

The Town of Davidson
College Town. Lake Town. Your Town.

Design Review

South Main Sweet Shop
(Name of Project)

Contact Information

Applicant's Information

Name: Caryl Leone / Regina McGrath

E-Mail: caryl@southmainsweetshop.com

Mailing Address: 107 N. Main St on 3/28 28036
428 S. Main St. till the 28TH

Business Phone: 704-997-5167 Mobile Phone: 772-696 0702

Property Owner's Information
(If Different from Applicant)

Name: Sandy Carnegie

E-Mail:

Mailing Address:

Business Phone: (704) 892-1699 Mobile Phone:

Architect's Information

Name of Firm:

Architect's Name:

E-Mail:

Mailing Address:

Business Phone: Mobile Phone:

The Town of Davidson

College Town. Lake Town. *Your Town.*

Design Review

(Name of Project)

Sign - Development Process

Date Completed	
3/10/16	☑ Initial Meeting
3/18/16	☑ Application and Fee
N/A	– Design Review Board Preliminary Review, if applicable
SAH	– Planning Director Review for Compliance with Planning Ordinance
N/A	– Design Review Board Approval
3/24/16	☑ Sign Permit Approval

Town of Davidson
Post Office Box 579
Davidson, NC 28036
(704) 892-7591

18043

DATE_____20__

RECEIVED FROM_____

_____ DOLLARS

_____

Account Total $_____

Amount Paid $_____

Balance Due $_____ _____

PLANNING	Fee
Permits - residential	
Detached (Single-family)	$ 30.00
Accessory structure, addition, or alteration	$ 30.00
Attached (multi-family per dwelling unit)	$ 50.00
Site/building foundation	$ 50.00
Permits - non-residential	
Minor (less than 5,000 sq. ft.)	$ 100.00
Major (5,000 sq.ft.or greater)	$ 200.00
Site/building foundation	$ 50.00
Accessory structure, addition, or alteration (less than 5,000 sq ft)	$ 100.00
Accessory structure, addition, or alteration (5,000 sq ft or greater)	$ 200.00
Permits - other	
Sign permit per sign (fee waived if submitted with an approved Certificate of Appropriateness)	$ 50.00
Sign package permit	$ 150.00
Zoning use permit	$ 30.00
Demolition permit	$ 30.00
Temporary use permit	$ 75.00
Temporary use permit - construction trailer/sales office/tent	$ 25.00
Plan review	
Master plan	$ 750.00
Conditional master plan	$ 1,000.00
Individual building	$ 350.00
Conditional planning area single family residential on an individual lot	$ 500.00
Minor subdivision plan	$ 200.00
Master plan or conditional amendment not substantial (as defined by Planning Ordinance)	$ 200.00
Master plan or conditional amendment (substantial as defined by Planning Ordinance)	$ 375.00
Plat Review	
Exempt subdivision	No Fee
Minor subdivision	$ 100.00
Preliminary plat	$ 750.00
Final plat	$ 300.00
Site plan review	$ 200.00
Plat amendment/re-combo	$ 50.00
Application to boards and commissions	
Design Review Board	$ 400.00
Design Review sign package within a traditional neighborhood development or historic district	$ 225.00
Design Review Board consent item or minor alteration or addition	$ 100.00
Certificate of Appropriateness in an historic district, including sign or vendor cart	$ 50.00
Board of Adjustments variance	$ 400.00
Board of Adjustments appeal	$ 400.00
Other	
Zoning verification	$ 30.00
Text or map amendment	$ 400.00
Vested rights	$ 300.00
Any permit, application, or submittal after the fact	Double the fee
Annexations	$ 150.00

Town of Davidson, NC
Design Review Board: Staff Analysis
Project Manager: Chad Hall
April 19, 2017

Project:	Window Sign – Neon ONLY
Location:	107 South Main Street
Applicant:	South Main Sweet Shop
Designer:	South Main Sweet Shop
Planning Area:	Village Center within Local Historic District

The applicant proposes a neon window sign on the front elevation of South Main Sweet Shop, located at 107 South Main Street. Please note that the provided images also show two red and white signs reading Chocolate and Candy; these were their original intent, but the applicant is already over the maximum allotment of signs on site. Therefore, the current request is only for the neon window sign.

<u>WINDOW SIGN – MAIN STREET</u>
The proposed neon window sign facing Main Street is approximately 24”x12” (2 square feet). The proposed sign is to be hanging in a front window, under the porch area.

The Sweet Shop has an approved sign permit which illustrates a rear sidewalk sign; they are wishing to forego that sign and replace it with the neon window sign, as permitted per 11.3.1.2.

DAVIDSON PLANNING ORDINANCE:

Section 11.2.2.B Required Permits
All signs proposed to be affixed to a structure in the Local Historic Overlay District must be approved by the Design & Historic Review Board to determine that the signage meets the provisions of this section and any additional historic district requirements.

Section 11.3.1.2 Multi-Tenant Buildings
Each tenant on the street on ground-level may display one of the following signs on each façade: wall, projecting, hanging, freestanding, and two additional from the following: sidewalk, awning, canopy, window, or door.

Only one of the total numbers of allowed signs may contain neon. The neon sign area shall not exceed 10 square feet and shall be approved by the Design Review Board.

Section 11.4.1.3 Window Sign
A sign affixed to the surface of a window or displayed within one foot of the window and visible from a street or park.

1. *Permitted Location*
   - *Windows on ground-level facades and upper level arcades only.*
2. *Area & Dimensions*
   - *Maximum size is 25 percent of the window area*

- *Neon signs mounted on the interior of storefront windows shall not exceed 10 square feet in area, and shall be counted as part of the total window sign area.*

3. *Height*
   - *No maximum, but signs are limited to windows on ground-level facades and upper level arcades only.*
4. *Additional Requirements*
   - *Internally illuminated signs, including LED and neon, are not permitted, except for interior mounted neon signs not exceeding 10 square feet in area.*
   - *To ensure that visibility both in and out of the window is not obscured, such signs may be silk-screened, vinyl, etched, or hand-painted.*

HISTORIC DISTRICT DESIGN GUIDELINES:

Signs

5. *Introduce new signs, if needed, in traditional locations where they do not diminish or compromise the overall historic character of the building, site, or district. Design new signs to be compatible in location, configuration, orientation, height, material, scale, and detail with the historic character of the building, site, and district.*

7. *Construct new signs in traditional materials, such as wood, stone, or metal, or apply lettering and graphics on display windows or awning fabric. It is not appropriate to introduce signage in contemporary materials such as plastics or to introduce internally lighted signage that is incompatible with the overall historic character of the district.*

T:\Planning_Shared_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2017 DRB Agendas\20170419_DRB Agenda\Sweet Shop Signs\20170411_Sweet Shop Sign_Staff_Analysis.doc

Agenda Title: Training Update

Summary: