



**TOWN OF DAVIDSON  
DESIGN REVIEW BOARD  
Town Hall Board Room at 216 S Main St, Davidson, NC 28036**

**August 16, 2017**

- 
- I. CALL TO ORDER**
  - II. SILENT ROLL CALL**
  - III. CHANGES TO THE AGENDA**
  - IV. REVIEW/APPROVAL OF THE MINUTES**
    - (a) Minutes 20170719
  - V. NEW BUSINESS**
    - (a) Elisabeth Rose signage
    - (b) The Hub signage
  - VI. OLD BUSINESS**
  - VII. OTHER ITEMS**
    - (a) DRB Report to TB August 22
  - VIII. ADJOURN**



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**Agenda Title:** Minutes 20170719

**Summary:**

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**ATTACHMENTS:**

Description	Upload Date	Type
☐ Minutes 20170719	8/9/2017	Exhibit

# Meeting Minutes

## Design Review Board

Town of Davidson, NC  
July 19, 2017

A meeting of the Town of Davidson *Design Review Board* was held in the Town Hall, Administrative Conference Room, 216 S. Main St.

**Call to Order:** 7:00 p.m.

### Silent Roll Call and Determination of Quorum:

Members Present signified by ☒:

☒ Bob Lauer, Chair

☐ John Burgess

☒ Mike Kessler

☒ Bruce Barteldt

☒ Tom Goodwin

☒ Bob Sipp

☐ Brian Bumann

Town Staff Present: Chad Hall (Senior Planner)

Others in Attendance: Larry Schaeffer (Adams Architecture) and others of design team for Mandolino's

**Changes to the Agenda:** Staff added a discussion about the State Historic Preservation Office (SHPO) visit to Davidson on Friday, July 14. A motion was made (MK) to add this item to the agenda. It was seconded (BBarteldt) and the motion was approved unanimously.

### Review/Approval of the Minutes

A motion was made (BSipp) to approve meeting minutes of June 21, 2017 with a change to the Sadler Square report, where a direction was misidentified. It was seconded (MK) and the motion was approved unanimously.

**Consent Item:** None

### New Business:

#### 1. Mandolino's – Signage, change of color on facades and site furnishings

Located at 208 South Main Street

Proposed signs, change of color and site furnishings

Represented by Larry Schaeffer (Adams Architecture)

Chad Hall gave a brief introduction of the project, stating that there are four basic projects: signage, lighting, colors to facades and site furnishings.

#### Colors

Colors are to brighten the building by using muted earth tones, but brighter than existing conditions. Accents will be punctuated with wine and umber colors amongst a tan field color.

### Signage

One the front façade, a vertical projecting sign is proposed, meeting dimensional and spacing requirements. Two window signs are also proposed, each flanking the main entry (which is designed to have a Mandolin door pull).

Signage on the rear façade is limited to a wall painted wall sign, also in a vertical orientation.

No lighting is associated with any sign request.

### Lighting

Lighting is proposed as matching sconces, to replace all exiting lights. This will include replacing two wall scone and a gooseneck on the front façade and adding a scone beside of the rear door.

### Site Furnishings

Planters and tables/chairs are illustrated with intent and are illustrative in nature. Staff asked if the HPC wanted to review the actual items at a later date or if they would be acceptable if they were close to eh presented concept design. HPC allows staff

Afterward, Larry Schaeffer provided any corrections or missing info, such as scone lighting follow-up where frosted glass was confirmed.

Questions/Comments from the Board:

- Will the existing vent pipe be visible?
  - *LS: That location is set and cannot be altered.*
- Alcohol sales outside? Does that need to be roped off?
  - *CH: Davidson has been inconsistent; will look into it.*

A motion was made (BBarteldt) to approve the building as submitted with conditions and was seconded (TG):

- Front projecting sign to have raised letters (3D relief)
- Front window signs to have same horizontal baseline above grade; and
- Rear wall sign to have border (golden); and
- Sconces will have frosted glass; and
- Staff will approve furniture if similar to that presented.

The motion was approved unanimously.

### **Old Business:**

#### **1. SHPO Visit (July 14)**

Staff met with the State Historic Preservation Office (SHPO) on July 14. HP member John Burgess and resident Autumn Michael also joined. The first part of the visit was to confirm the process if the Town wanted to expand or create another Local Historic District (LHD).

The second part of the visit was a tour of Davidson, particularly areas within the National Register of Historic Places District, such as North Main Street, Concord Road and South Street.



**Adjourn:** A motion was made to adjourn (BBarteldt), seconded (BL), and approved unanimously. The meeting was adjourned at 8:45 pm.

**Approval of Minutes:**

Date: \_\_\_\_\_ By: \_\_\_\_\_

**Please note: This is a summary of the meeting and not to be considered a complete transcript.**



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**Agenda Title:** Elisabeth Rose signage

**Summary:**

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**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
<input type="checkbox"/> Application	8/9/2017	Exhibit
<input type="checkbox"/> Wall Sign	8/9/2017	Exhibit
<input type="checkbox"/> Sidewalk Sign	8/9/2017	Exhibit
<input type="checkbox"/> Staff Analysis	8/9/2017	Presentation



# Design Review

Elisabeth Rose

(Name of Project)

## Sign - Application Requirements

### Date Received

\_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

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\_\_\_\_\_

\_\_\_\_\_



Application Fee per Town of Davidson Fee Schedule



Contact Information



Project Description  
(including General Statement of Intent)



Statement of Compliance with Section 9



Any Approved Sign Plan or Conditional Planning Area for Signs  
(including all renderings, plans, and conditions of approval)



Site and Building Plan Indicating the Location of all Signs



Color Photos  
(including existing and adjacent sites and building(s) showing signage taken from the perspective of the public streets adjacent to the site)



List of all Existing Signs with their Location and Dimensions



Color Photo of Building(s) with Proposed Sign(s) Superimposed



Landscape Schematic Design in accordance with Section 8.6



Representative Materials and Colors



Proposed Lighting Type and Location



Statement of Compliance with Planning Ordinance Section 14

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

[Signature]  
Applicant's Signature

7.26.2017  
Date



# Design Review

Elisabeth Rose  
(Name of Project)

## Sign - Project Description

Application Date: 07.25.2017

Project Location: 202 S. Main St., Suite C  
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s): \_\_\_\_\_

Planning Area: \_\_\_\_\_

Planning Area Overlay District: \_\_\_\_\_

Master or Conditional Plan: \_\_\_\_\_  
(Include any conditions of approval)

General Statement of Intent: Install storefront sign

### Project Details:

Project Type: ☐ individual sign ☐ multi-tenant building ☐ sign plan development

Sign Type: ☒ wall sign ☐ projecting sign ☐ hanging sign

☐ freestanding sign ☐ canopy/awning sign ☐ window/door sign

☐ building name ☐ sidewalk sign ☐ temporary sign

Other sign type: \_\_\_\_\_

Dimensions: 3'5" Tall by 7" Long

Square Footage: 23.87

Height from grade: \_\_\_\_\_

Sign materials: Brushed Brass, acrylic, black vinyl

Lighting: N/A

Existing Signs, include signs to remain and signs to be removed:

N/A



# Design Review

Elisabeth Rose

(Name of Project)

## Sign - Development Process

**Date Completed**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

☐

Initial Meeting

☐

Application and Fee

→ Paid Sharon @ Town Hall

☐

Design Review Board Preliminary Review, if applicable

☐

Planning Director Review for Compliance with Planning Ordinance

☐

Design Review Board Approval

☐

Sign Permit Approval





Dear Developer,

The Town of Davidson and the Planning staff appreciate your interest in our community as a development opportunity and hope you find your venture a pleasant and rewarding experience.

This packet was assembled to provide step by step information to make the design review process easier to understand and complete. In order to assure that your project results in a development that serves both your needs and the needs of the community, it is reviewed under the regulations of the Town of Davidson Planning Ordinance, in particular Section 14, Signs; 9, Design Regulations; and the General Principals for Planning in Davidson, which are

- We must preserve Davidson's status as a small town.
- We must preserve and enhance Davidson's unique downtown.
- Growth must be sustainable.
- We must preserve substantial amounts of open space.
- We must re-establish our historic diversity of people.
- Development must proceed no faster than the Town can provide public facilities.
- In Davidson we rely on a unique combination of private property rights and the health of the community as a whole.
- Architecture design and planning will be used to enhance the quality of life.

The Planning Ordinance in its entirety is available on the Town of Davidson website [www.townofdavidson.org/planningordinance](http://www.townofdavidson.org/planningordinance).

The Design Review Board works hand in hand with the developer and the architect to assure the scope of work approved by the Design Review Board, including all conditions of approval and agreements are met. The enclosed information should help guide you through this process.

A project manager from the Planning Department will work closely with you throughout the process and is available to answer any questions or concerns you may have. You may reach him or her by the phone number or email on the business card included in this packet.

We look forward to working with you to make Davidson the best small town in North Carolina.

Sincerely,

*Ben McCrary*

Ben McCrary  
Planning Manager

P.O. Box 579, Davidson, N.C. 28036 Phone 704 892-7591 Fax 704 892-3971 [www.townofdavidson.org](http://www.townofdavidson.org)



## Design Review

Elisabeth Rose  
(Name of Project)

### Contact Information

#### Applicant's Information

Name: Elisabeth Connolly  
E-Mail: info@elisabeth-rose.com  
Mailing Address: PO Box 1808 Davidson, NC 28036  
Business Phone: \_\_\_\_\_ Mobile Phone: 704.299.3642

#### Property Owner's Information

(If Different from Applicant)

Name: Oikodome Properties, LLC  
E-Mail: jen@thepickledpeach.com  
Mailing Address: 202 S. Main Street  
Davidson, NC 28036  
Business Phone: 704.765.2190 Mobile Phone: \_\_\_\_\_

#### Architect's Information

Name of Firm: \_\_\_\_\_  
Architect's Name: \_\_\_\_\_  
E-Mail: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Business Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_



# Design Review

*Elisabeth Rose*

(Name of Project)

## Development Process

Date Completed	Outline of Steps & Checklist
_____	<input type="checkbox"/> 1. Initial Meeting
_____	<input type="checkbox"/> 2. Application and Fee
_____	<input type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
_____	<input type="checkbox"/> 4. Planning Director Site Schematic Design Review
_____	<input type="checkbox"/> 5. Design Review Board Approval
_____	<input type="checkbox"/> 6. Building Construction Documents
_____	<input type="checkbox"/> 7. Site and Landscape Construction Documents
_____	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
_____	<input type="checkbox"/> 9. Building Permit Approval
_____	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
_____	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
_____	<input type="checkbox"/> 12. Certificate of Occupancy

*\* For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*





## Design Review

Elisabeth Rose  
(Name of Project)

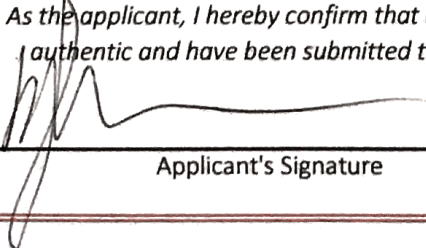
### Application Requirements

#### Date Received

\_\_\_\_\_  
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- ☐ Application Fee per Town of Davidson Fee Schedule
- ☐ Contact Information
- ☐ General Statement of Intent  
(Use, building type, approx. square footage, height, design features)
- ☐ Statement of Compliance with Section 2
- ☐ Master Plan or Conditional Planning Area  
(Including all documents, plans, maps, and conditions of approval)
- ☐ Environmental Inventory in accordance with Section 14.15.1  
(Including adjacent properties and buildings)
- ☐ General Description  
(Including a description and color photographs to existing / adjacent site)
- ☐ Site Schematic Design in accordance with Section 14.15.7
- ☐ Building Schematic Design in accordance with Section 14.15.3  
(Including rendered elevations of each façade per 14.15.3 C)
- ☐ Landscape Schematic Design in accordance with Section 14.15.5
- ☐ Building Perspective
- ☐ Building Materials/Colors  
(Roofing, siding, doors, windows, etc.)

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

  
Applicant's Signature

07.25.2017  
Date



## Design Review

Elisabeth Rose  
(Name of Project)

### Contact Information

#### Applicant's Information

Name: Elisabeth Connolly  
E-Mail: info@elisabeth-rose.com  
Mailing Address: P.O. Box 1808  
Davidson, NC 28036  
Business Phone: 704.299.3642 Mobile Phone: \_\_\_\_\_

#### Property Owner's Information

(If Different from Applicant)

Name: Oikodome Properties  
E-Mail: jen@thepickledpeach.com  
Mailing Address: 202 S. Main St.  
Davidson, NC 28036  
Business Phone: 704.765.2190 Mobile Phone: \_\_\_\_\_

#### Architect's Information

Name of Firm: N/A  
Architect's Name: \_\_\_\_\_  
E-Mail: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Business Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_



## Design Review

Elisabeth Rose  
(Name of Project)

### Project Description

Application Date:

7.25.2017

Project Location:

202 S. Main St., Ste. C

Tax Parcel(s):

Planning Area:

Overlay District:

Master or Cond. Plan

(Attach Conditions of Approval)

Gen. Statement of  
Intent:

Sign application for wall and  
sidewalk signs

### Project Details:

• Project Type:

☐

Individual Bldg.

☐

Master Plan

☐

Conditional Planning Area

☒

Sign

• Building Type:

☐

Detached House

☐

Townhouse

☐

Attached House (Tri- or Quadplex)

☐

Institutional

☐

Live/Work

☐

Multi-family (Apts., Condos, Flats)

☐

Workplace

☒

Storefront

☐

Accessory Structure

• Use(s):

Retail

• Height & Stories:

1

• Square Footage:

730

• Building Materials:

Architectural

Features:

Existing Site

Conditions:

See 14.12.2.D



# Design Review

*Elisabeth Rose*

(Name of Project)

## Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.

☐

### Planning Ordinance

<http://www.townofdavidson.org/1006/Planning-Ordinance>

(Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)

☐

### Section 2 Planning Areas

☐

Permitted Use/Add'l Req.

☐

Not Permitted

☐

Permitted Building Type

☐

Not Permitted

☐

Meets Setback Criteria

☐

Does Not Meet

☐

Meets Open Space Criteria

☐

Does Not Meet

☐

Meets Density Criteria

☐

Does Not Meet

☐

### Section 4 Design Standards

☐

General Site Design Criteria (4.3)

☐

General Building Design Criteria (4.4)

☐

Specific Building Type Criteria (4.5)

☐

Existing Industrial Campuses Criteria (4.6)

☐

Renovation of Existing Structures Criteria (4.7)

☐

### Section 8 Parking & Driveways

☐

### Section 9 Tree Preservation, Landscaping & Screening

☐

### Section 10 Lighting

☐

### Section 22 Local Historic District Guidelines



# APPLICATION FOR SIGN PERMIT

<b>L O C A T I O N</b>	STREET # (N,S,E,W) <u>202 S</u> STREET NAME <u>Main Street</u> (AV, RD, ST, etc)		<b>PERMIT #</b>	
	SUITE/UNIT(S): <u>Suite C</u>			
	TAX JURISDICTION: (Check One) <input checked="" type="checkbox"/> 0-Mecklenburg <input type="checkbox"/> 1-Charlotte <input type="checkbox"/> 2-Davidson <input type="checkbox"/> 3-Cornelius <input type="checkbox"/> 4-Pineville <input type="checkbox"/> 5-Matthews <input type="checkbox"/> 6-Huntersville <input type="checkbox"/> 7-Mint Hill			
	PROPERTY OWNER <u>Oikodome Properties</u> ADDRESS <u>202 S. Main Street</u> CITY <u>DAVIDSON</u> STATE <u>NC</u> ZIP <u>28036</u> PHONE # <u>704.765.2190</u>			
<b>C O N T R A C T O R</b>	TAX PARCEL # _____ ZONING _____ JURIS _____ MAP # _____			
	SPECIAL USE: (circle) C D N P S STREET CLASSIFICATION: (circle) I II III IV V VI N/A			
	JOB # _____	PROPERTY USE: <u>Retail</u>		
	USDC # <u>329</u>	REMARKS: _____		
<b>O W N E R</b>	SIGN CONTRACTOR <u>Artisan Signs &amp; Graphics</u> PHONE # <u>828.310.4205</u>			
	ADDRESS <u>18335 Old Statesville Road</u> CITY <u>DAVIDSON</u> STATE <u>NC</u> ZIP <u>28031</u> <u>Cornelius</u>			
	CONTRACTOR # _____ BONDED WITH BUILDING STANDARDS DEPARTMENT: <input type="checkbox"/> Yes <input type="checkbox"/> No			
	ELECTRICAL CONTRACTOR _____ PHONE # _____			
<b>D E S C R I P T I O N</b>	ADDRESS _____ CITY _____ STATE _____ ZIP _____			
	CONTRACTOR # _____ BONDED WITH BUILDING STANDARDS DEPARTMENT: <input type="checkbox"/> Yes <input type="checkbox"/> No			
	SIGN OWNER <u>Elisabeth Connolly</u> PHONE # <u>704.299.3642</u>			
	ADDRESS <u>P.O. Box 1808</u> CITY <u>DAVIDSON</u> STATE <u>NC</u> ZIP <u>28036</u>			
<p>CATEGORY: <input type="checkbox"/> Detached Attached: <input type="checkbox"/> Canopy or Awning <input type="checkbox"/> Projecting <input type="checkbox"/> Roof <input checked="" type="checkbox"/> Wall</p> <p>TYPE: BB <input type="checkbox"/> Bulletin Board NR <input type="checkbox"/> Non-Residential Park PR <input type="checkbox"/> Primary TP <input type="checkbox"/> Temp Planned Dev.          BU <input checked="" type="checkbox"/> Business OP <input type="checkbox"/> Off-Premises SD <input type="checkbox"/> Secondary OT <input type="checkbox"/> Other (Describe)          DI <input type="checkbox"/> Directory OA <input type="checkbox"/> Outdoor Advertising SC <input type="checkbox"/> Shopping Ctr. _____          ID <input type="checkbox"/> Identification PD <input type="checkbox"/> Planned Development SP <input type="checkbox"/> Sponsorship _____</p> <p style="text-align: center;"><b>- GENERAL INFORMATION -</b></p> <p>ATTACHED: Existing Signs Attached to Building Wall/Roof # _____ Total Sq. Ft. _____          Existing Signs Attached to Entire Building # _____ Total Sq. Ft. _____          Area of Building Wall: Height <u>3</u> Ft. <u>5</u> In x Width <u>7</u> Ft. _____ In. = <u>23.87</u> Sq. Ft.          Projection from Building _____ Ft. _____ In.</p> <p>DETACHED: Ground Clearance: _____ Ft. _____ In. Total Height: _____ Ft. _____ In.          In Sight Distance Triangle: <input type="checkbox"/> Yes <input type="checkbox"/> No Distance Behind R/W: _____ Ft. _____ In.          Changeable Copy _____ % Total Sign</p> <p>OTHER: Illuminated: <input type="checkbox"/> Yes <input type="checkbox"/> No Flashing: <input type="checkbox"/> Yes <input type="checkbox"/> No Drawings Attached: <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>SIGN SIZE: Height: _____ Ft. _____ In. x Width: _____ Ft. _____ In. = _____ Sq. Ft.</p> <p>REMARKS: _____</p> <div style="text-align: right; border: 1px solid black; padding: 5px; width: fit-content;">TOTAL FEE \$</div>				

THE UNDERSIGNED HEREBY CERTIFIES THAT HE/SHE IS EITHER THE OWNER OR THE AUTHORIZED AGENT OF THE OWNER AND HEREBY MAKES APPLICATION FOR PERMIT AND INSPECTION OF WORK DESCRIBED AND AGREES TO COMPLY WITH ALL APPLICABLE LAWS REGULATING THE WORK.

APPLICANT'S SIGNATURE [Signature] DATE 07.25.17 PRINT APPLICANT'S NAME Elisabeth Connolly

METHOD OF PAYMENT ☒ CASH/CHECK ☐ ACCOUNT

MECKLENBURG COUNTY LAND USE & ENVIRONMENTAL SERVICES AGENCY  
700 N. TRYON STREET • CHARLOTTE, NC 28202 • 704/336-2831

HOLDS	PROCESSED BY	APPROVED BY	VALIDATED BY

<b>LOCATION</b>	STREET # (N,S,E,W)	STREET NAME	(AV, RD, ST, etc)	PERMIT #
	202 S	Main	St.	
	SUITE/UNIT(S): Suite C			
	TAX JURISDICTION: (Check One) <input checked="" type="checkbox"/> 0-Mecklenburg <input type="checkbox"/> 1-Charlotte <input type="checkbox"/> 2-Davidson <input type="checkbox"/> 3-Cornelius <input type="checkbox"/> 4-Pineville <input type="checkbox"/> 5-Matthews <input type="checkbox"/> 6-Huntersville <input type="checkbox"/> 7-Mint Hill			
	TAX PARCEL #	JOB #		
<b>EXAMPLES</b>				
	SIGHT DISTANCE TRIANGLE			
<b>DRAWINGS</b>				
	ATTACHED/WALL SIGN			
	DETACHED SIGN			
	DRAW NEW AND EXISTING SIGNS, STREET R/W'S, DRIVEWAYS, SIGHT DISTANCE TRIANGLES, ETC. (Separate application and drawings required for each sign)			
	SITE PLAN		SIGN	
	See Attached Proofs			

ALL EXISTING AND PROPOSED SIGNS ARE SHOWN WITH EXACT MEASUREMENTS.

*[Signature]*  
 APPLICANT'S SIGNATURE

7.25.17 *Elisabeth Connolly*  
 DATE PRINT APPLICANT'S NAME

APPROVED BY  
 \_\_\_\_\_



# APPLICATION FOR SIGN PERMIT

<b>L O C A T I O N</b>	STREET # (N,S,E,W) <u>202 S</u> STREET NAME <u>Main St.</u> (AV, RD, ST, etc)		<b>PERMIT #</b>
	SUITE/UNIT(S): <u>Ste. C</u>		
	TAX JURISDICTION: (Check One) <input checked="" type="checkbox"/> 0-Mecklenburg <input type="checkbox"/> 1-Charlotte <input type="checkbox"/> 2-Davidson <input type="checkbox"/> 3-Cornelius <input type="checkbox"/> 4-Pineville <input type="checkbox"/> 5-Matthews <input type="checkbox"/> 6-Huntersville <input type="checkbox"/> 7-Mint Hill		
	PROPERTY OWNER <u>O. Kodome Properties</u> ADDRESS <u>202 S. Main Street</u>		
	CITY <u>Davidson</u> STATE <u>NC</u> ZIP <u>28036</u> PHONE # <u>704 765 2190</u>		
<b>C O N T R A C T O R</b>	TAX PARCEL # _____ ZONING _____ JURIS _____ MAP # _____		
	SPECIAL USE: (circle) C D N P S STREET CLASSIFICATION: (circle) I II III IV V VI N/A		
	JOB # _____	PROPERTY USE: <u>Retail</u>	
	USDC # <u>329</u>	REMARKS: _____	
	SIGN CONTRACTOR <u>Artisan Signs &amp; Graphics</u> PHONE # <u>828 310 4205</u>		
<b>O W N E R</b>	ADDRESS <u>18335 Old Statesville Rd</u> CITY <u>Cornelius</u> STATE <u>NC</u> ZIP <u>28031</u>		
	CONTRACTOR # _____ BONDED WITH BUILDING STANDARDS DEPARTMENT: <input type="checkbox"/> Yes <input type="checkbox"/> No		
	ELECTRICAL CONTRACTOR _____ PHONE # _____		
	ADDRESS _____ CITY _____ STATE _____ ZIP _____		
	CONTRACTOR # _____ BONDED WITH BUILDING STANDARDS DEPARTMENT: <input type="checkbox"/> Yes <input type="checkbox"/> No		
<b>D E S C R I P T I O N</b>	SIGN OWNER <u>Elisabeth Connolly</u> PHONE # <u>704 299 3642</u>		
	ADDRESS <u>Po Box 1808</u> CITY <u>Davidson</u> STATE <u>NC</u> ZIP <u>28036</u>		
	CATEGORY: <input checked="" type="checkbox"/> Detached Attached: <input type="checkbox"/> Canopy or Awning <input type="checkbox"/> Projecting <input type="checkbox"/> Roof <input type="checkbox"/> Wall		
	TYPE: BB <input checked="" type="checkbox"/> Bulletin Board NR <input type="checkbox"/> Non-Residential Park PR <input type="checkbox"/> Primary TP <input type="checkbox"/> Temp Planned Dev. BU <input type="checkbox"/> Business OP <input type="checkbox"/> Off-Premises SD <input type="checkbox"/> Secondary OT <input type="checkbox"/> Other (Describe) DI <input type="checkbox"/> Directory OA <input type="checkbox"/> Outdoor Advertising SC <input type="checkbox"/> Shopping Ctr. _____ ID <input type="checkbox"/> Identification PD <input type="checkbox"/> Planned Development SP <input type="checkbox"/> Sponsorship _____		
	<b>- GENERAL INFORMATION -</b>		
ATTACHED: Existing Signs Attached to Building Wall/Roof # _____ Total Sq. Ft. _____ Existing Signs Attached to Entire Building # _____ Total Sq. Ft. _____ Area of Building Wall: Height _____ Ft. _____ In. x Width _____ Ft. _____ In. = _____ Sq. Ft. Projection from Building _____ Ft. _____ In.			
DETACHED: Ground Clearance: _____ Ft. _____ In. Total Height: _____ Ft. <u>40</u> In. In Sight Distance Triangle: <input type="checkbox"/> Yes <input type="checkbox"/> No Distance Behind R/W: _____ Ft. _____ In. Changeable Copy <u>100</u> % Total Sign			
OTHER: Illuminated: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Flashing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Drawings Attached: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
SIGN SIZE: Height: _____ Ft. <u>40</u> In. x Width: _____ Ft. <u>21</u> In. = <u>582</u> Sq. Ft.			
REMARKS: _____			
<b>TOTAL FEE \$</b>			

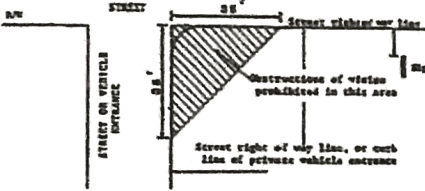
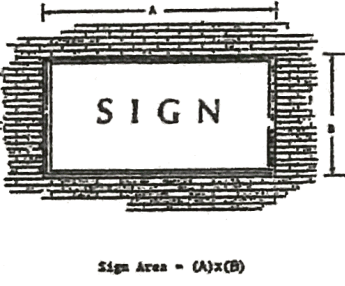
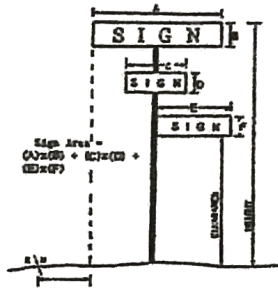
THE UNDERSIGNED HEREBY CERTIFIES THAT HE/SHE IS EITHER THE OWNER OR THE AUTHORIZED AGENT OF THE OWNER AND HEREBY MAKES APPLICATION FOR PERMIT AND INSPECTION OF WORK DESCRIBED AND AGREES TO COMPLY WITH ALL APPLICABLE LAWS REGULATING THE WORK.

APPLICANT'S SIGNATURE Elisabeth Connolly DATE 0725-17 PRINT APPLICANT'S NAME Elisabeth Connolly METHOD OF PAYMENT ☐ CASH/CHECK ☐ ACCOUNT

MECKLENBURG COUNTY LAND USE & ENVIRONMENTAL SERVICES AGENCY  
700 N. TRYON STREET • CHARLOTTE, NC 28202 • 704/336-2831

HOLDS	PROCESSED BY	APPROVED BY	VALIDATED BY

ORIGINAL

<b>LOCATION</b>	STREET # (N,S,E,W) <u>202 S</u> STREET NAME <u>Main St</u> (AV, RD, ST, etc) SUITE/UNIT(S): <u>Suite C</u>	<b>PERMIT #</b>  
	TAX JURISDICTION: (Check One) <input checked="" type="checkbox"/> 0-Mecklenburg <input type="checkbox"/> 1-Charlotte <input type="checkbox"/> 2-Davidson <input type="checkbox"/> 3-Cornelius <input type="checkbox"/> 4-Pineville <input type="checkbox"/> 5-Matthews <input type="checkbox"/> 6-Huntersville <input type="checkbox"/> 7-Mint Hill	
	TAX PARCEL #	JOB #
<b>EXAMPLES</b>	  	
	SIGHT DISTANCE TRIANGLE	ATTACHED/WALL SIGN
<b>DRAWINGS</b>	DRAW NEW AND EXISTING SIGNS, STREET R/W'S, DRIVEWAYS, SIGHT DISTANCE TRIANGLES, ETC. (Separate application and drawings required for each sign)	
	SITE PLAN	SIGN
<p style="font-size: 2em; font-family: cursive;">see Attached</p>		

ALL EXISTING AND PROPOSED SIGNS ARE SHOWN WITH EXACT MEASUREMENTS.

APPLICANT'S SIGNATURE [Signature] DATE 07.25.19 PRINT APPLICANT'S NAME Elisabeth R. Connolly

APPROVED BY



# Town of Davidson

Post Office Box 579  
Davidson, NC 28036  
(704) 892-7591

19514

DATE 7-26-2017

RECEIVED FROM Elyz R Connolly

Sign Permit #430 DOLLARS

Account Total \$ 50<sup>-</sup>

Amount Paid \$ 50<sup>-</sup>

Balance Due \$ —

Obv



20.85" x 17.25" Routed Clear Acrylic  
with Black Vinyl Knockout



Largest Letter  
5" x 5.9"

5.9" **ELISABETH ROSE**  
**SOCIAL STATIONERY** 3.675"  
 64.34"  
 84"

Largest Letter  
3.61" x 3.675"  
Brushed Brass Faces

Date	07/31/2017_R1
Designer	Designer
Salesperson	Zack
Sign Style:	Dimensional Letters
Additional:	
Material	TBD
Trim	N/A
Face	N/A
Mounting	N/A
Colors	No PMS
<input type="checkbox"/> PMS <input type="checkbox"/> PMS <input type="checkbox"/> PMS <input type="checkbox"/> PMS	

#### Job Description

No further information

#### Installation method

Employee Install

#### Approval

**Artisan** signs&graphics  
Creatively promoting your brand

18335 Old Statesville Rd.  
Cornelius, NC 28031  
704-655-9100

www.artisansignsandgraphics.com

**Customer** Elisabeth Rose

**Filename** DLR\_ExteriorMainSign\_DF.ai

**Revision** 1

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Page 22 of 58

## Folding Sidewalk Sign



Roll over image to zoom in



**Town of Davidson, NC**  
**Design Review Board: Staff Analysis**  
**Project Manager: S. Chad Hall**  
**August 16, 2017**

**Project:** Elisabeth Rose - signage  
**Location:** 202 South Main Street, Suite C  
**Applicant:** Elisabeth Connolly  
**Planning Area:** Village Center, Local Historic District: Contributing Resource

---

Two signs are proposed for the Elisabeth Rose stationary store at 202 S. Main Street. One sign is a wall sign, above the entry. The second sign is a sidewalk sign.

The wall sign is proposed of vinyl, acrylic and brushed brass and measures 23.87 square feet, meeting the 24 square foot maximum.

The sidewalk sign is proposed as wooden with a chalkboard sign face. It also meets the dimensional requirements of the Davidson Planning Ordinance.

The building is located within the Village Center Planning Area. This building is considered to be a storefront building. The building is a contributing structure in the Local Historic District. As such, the Historic Preservation Commission (HPC) may use its Design Guidelines to ensure that facades and their features meet the spirit and intent of the Davidson Planning Ordinance, even if all aspects do not necessarily meet the requirements for façades.

**HISTORIC DISTRICT DESIGN GUIDELINES:**

***Signs***

5. *Introduce new signs, if needed, in traditional locations where they do not diminish or compromise the overall historic character of the building, site, or district. Design new signs to be compatible in location, configuration, orientation, height, material, scale, and detail with the historic character of the building, site, and district.*
7. *Construct new signs in traditional materials, such as wood, stone, or metal, or apply lettering and graphics on display windows or awning fabric. It is not appropriate to introduce signage in contemporary materials such as plastics or to introduce internally lighted signage that is incompatible with the overall historic character of the district.*

**DAVIDSON PLANNING ORDINANCE:**

***SIGNS***

***Section 11.2.2.B Required Permits***

*All signs proposed to be affixed to a structure in the Local Historic Overlay District must be approved by the Design & Historic Review Board to determine that the signage meets the provisions of this section and any additional historic district requirements.*

### **Section 11.3.1.2 Single-Tenant Buildings**

*One sign from the following list are allowed on each façade: wall, projecting, hanging, freestanding, and two additional from the following: sidewalk, awning, canopy, window, and door.*

### **Section 11.4.1.2 Wall Sign**

*A sign directly attached and parallel to a building façade or dependent upon a building for its support. Wall signs may consist of sign board, metal, or channel letters mounted directly on wall or via raceway, neon, or paint directly on brick.*

#### **1. Permitted Location**

- *Building facades that face the right of way, pedestrian passageways, and/or parking associated with the establishment.*

#### **2. Area & Dimensions**

- *Maximum sign area per facade is five percent of the ground floor facade area on which the sign is located OR 24 square feet, whichever is greater. The Design Review Board must approve all signs greater than 24 square feet.*
- *For multi-bay, multi-tenant buildings, the facade area shall include only that portion of the facade designed for a specific tenant.*

#### **3. Height**

- *The top of a wall sign shall not exceed 18 feet above grade.*

#### **4. Additional Requirements**

- *Internally illuminated signs, including LED signs, are not permitted.*
- *Signs must either be a minimum of 1.5 inches thick or include a 1.5 to 2 inch border.*

### **Section 11.4.1.9 Sidewalk Sign**

*Pedestrian-scaled non-permanent signs typically used to display restaurant menus, daily specials/sales or other events. Common types of sidewalk signs include easel signs and A-frame signs.*

#### **1. Permitted Location**

- *Within three feet of the primary entrance.*
- *Signs must leave a minimum horizontal sidewalk clearance of five feet and shall not interfere with pedestrian, bicycle, or vehicular circulation, or required sight visibility triangles.*

#### **2. Area & Dimensions**

- *Six square feet maximum area per side.*

#### **3. Height**

- *Four feet maximum.*

#### **4. Additional Requirements**

- *The sign must be constructed of a wooden or metal frame with a changeable face (e.g., chalkboard, whiteboard, and cork). Plastic signs prohibited.*
- *The signs must be removed at close of business each day.*

---

T:\Planning\_Shared\_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2017 DRB Agendas\20170816\_DRB  
Agenda\Elisabeth Rose signage\20170809\_Elisabeth Rose\_Staff Analysis.doc



---

**Agenda Title:** The Hub signage

**Summary:**

---

**ATTACHMENTS:**

Description		Upload Date	Type
❏	Application	8/9/2017	Exhibit
	Signs	8/9/2017	Exhibit
	Staff Analysis	8/9/2017	Exhibit





# Design Review

210 Delburg Street  
(Name of Project)

## Sign - Development Process

**Date Completed**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

☐

Initial Meeting

☐

Application and Fee

☐

Design Review Board Preliminary Review, if applicable

☐

Planning Director Review for Compliance with Planning Ordinance

☐

Design Review Board Approval

☐

Sign Permit Approval





# Design Review

210 Delburg  
(Name of Project)

## Sign - Application Requirements

### Date Received

7/26/17

7/26/17

7/26/17

7/26/17

n/a

7/26/17

7/26/17

7/26/17

7/26/17

7/26/17

n/a

n/a



Application Fee per Town of Davidson Fee Schedule



Contact Information



Project Description  
(including General Statement of Intent)



Statement of Compliance with Section 11



Any Approved Sign Plan or Conditional Planning Area for Signs  
(including all renderings, plans, and conditions of approval)



Site and Building Plan Indicating the Location of all Signs



Color Photos  
(including existing and adjacent sites and building(s) showing signage taken from the perspective of the public streets adjacent to the site)



List of all Existing Signs with their Location and Dimensions



Color Photo of Building(s) with Proposed Sign(s) Superimposed



Landscape Schematic Design in accordance with Section 8.6



Representative Materials and Colors



Proposed Lighting Type and Location



Statement of Compliance with Planning Ordinance Section 14

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

[Signature]  
Applicant's Signature

7/25/17  
Date



## Design Review

210 Delburg  
(Name of Project)

### Contact Information

#### Applicant's Information

Name:

Stoney Jeff Black

E-Mail:

stoney.black@signinnovations.com

Mailing Address:

5245 Old Dowd Rd., Ste. 4

Charlotte, NC 28208

Business Phone:

(704) 375-2338 Mobile Phone: (980) 521-4228

#### Property Owner's Information

(If Different from Applicant)

Name:

Trustees of Davidson College (Julie Goff)

E-Mail:

jgoff@davidson.edu

Mailing Address:

209 Ridge Road

Davidson NC 28035

Business Phone:

704 894-2003 Mobile Phone: 978 219 8654

#### Architect's Information

Name of Firm:

ADW Architects

Architect's Name:

Jonathan Koricke

E-Mail:

jkoricke@adwarchitects.com

Mailing Address:

2815 Coliseum Centre Dr., Ste. 500

Charlotte, NC 28217

Business Phone:

(704) 749-5588 Mobile Phone: (704) 307-9835



# Design Review

210 Delburg  
(Name of Project)

## Sign - Project Description

Application Date:

Project Location:

210 Delburg Street, Davidson, NC  
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s):

00326207

Planning Area:

Village Edge

Planning Area Overlay District:

N/A

Master or Conditional Plan:

N/A

(Include any conditions of approval)

General Statement of Intent:

IDENTIFICATION OF OWNERS  
AND TENANTS

Project Details:

Project Type:



individual sign



multi-tenant building



sign plan development

Sign Type:



wall sign



projecting sign



hanging sign



freestanding sign



canopy/awning sign



window/door sign



building name



sidewalk sign



temporary sign

Other sign type:

Dimensions:

48" H x 96" W

Square Footage:

32 Sq. ft.

Height from grade:

Sign materials:

Lamboo Planks / w 1/2" Thick precision  
cut ALUMINUM Letters and border

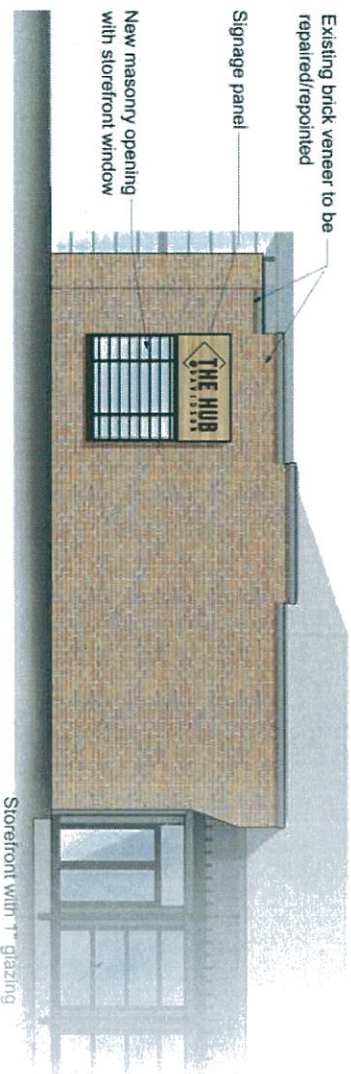
Lighting:

Existing Signs, include signs to remain and signs to be removed:

Qty: 1  
**Lamboo Planks (by others) / Painted Dimensional Letters / Painted Tubing / Spacers**  
Scale: 1/2" = 1'

Technical drawing of a wooden sign with dimensions and a logo. The sign is rectangular with a black border. The logo consists of a diamond shape containing the text "THE HUB" in large, bold, black capital letters, with "@DAVIDSON" in smaller, bold, black capital letters below it. The dimensions are as follows:

- Overall width: 96"
- Overall height: 48"
- Distance from top edge to the top of the diamond: 38"
- Distance from the top of the diamond to the bottom of the diamond: 16"
- Distance from the left edge to the left side of the diamond: 6 1/2"
- Distance from the right edge to the right side of the diamond: 6 1/2"
- Distance from the bottom of the diamond to the bottom edge: 1 1/2"



correct and that the artwork is accurate and correctly positioned.





# Design Review

210 Delburg  
(Name of Project)

## Sign - Project Description

Application Date: 7/25/17

Project Location: 210 Delburg Street, Davidson, NC  
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s): 00326207

Planning Area: Village Edge

Planning Area Overlay District: N/A

Master or Conditional Plan: N/A  
(Include any conditions of approval)

General Statement of Intent: IDENTIFICATION OF OWNERS AND TENANTS

### Project Details:

Project Type: ☒ individual sign ☐ multi-tenant building ☐ sign plan development

Sign Type: ☒ wall sign ☐ projecting sign ☐ hanging sign

☐ freestanding sign ☐ canopy/awning sign ☐ window/door sign

☐ building name ☐ sidewalk sign ☐ temporary sign

Other sign type:

Dimensions: 72" H x 60" W

Square Footage: 30 sq. ft.

Height from grade: 42" ±

Sign materials: 1/4" thick Diamond panel with

Lighting: Digital Print and vinyl (white) logo for tenants

Existing Signs, include signs to remain and signs to be removed:

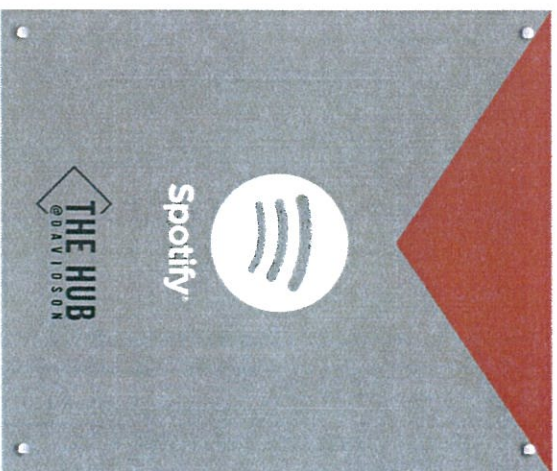
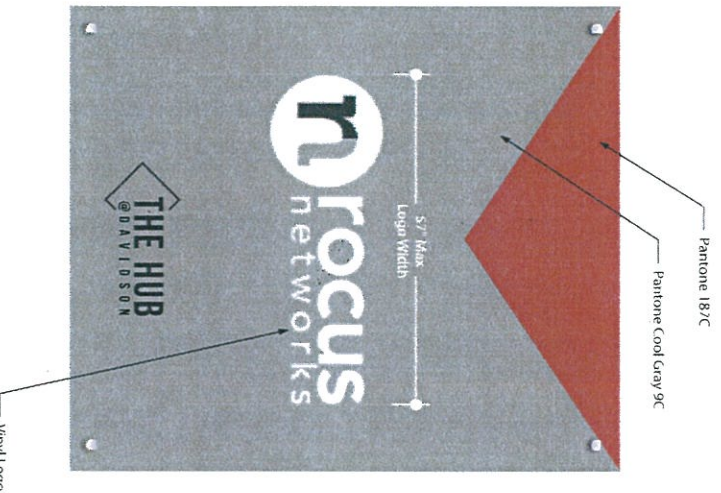
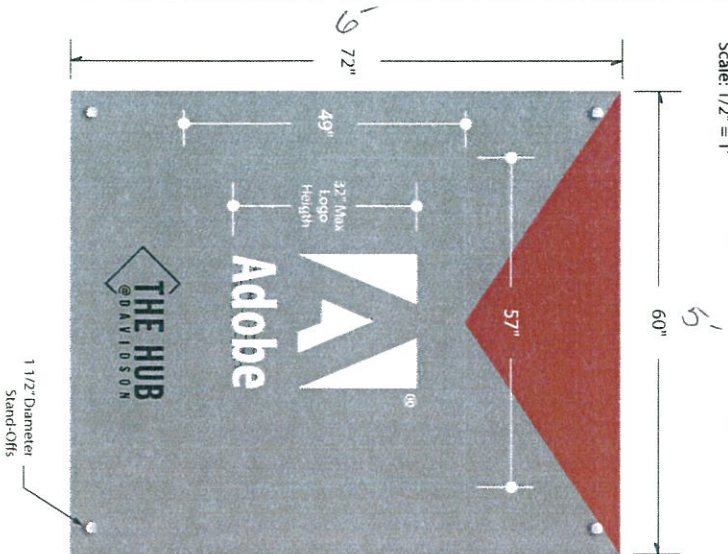
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# CONCEPT

Qty: 3

Removable Diabond Panels / Digital Print with Vinyl / Stand-Offs

Scale: 1/2" = 1'



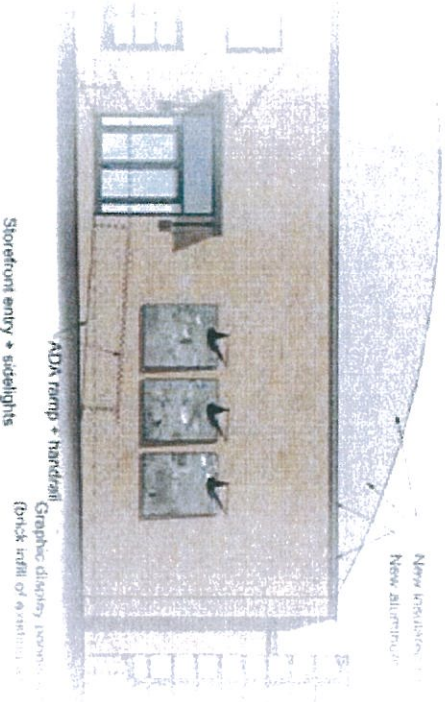
Side View

Scale: NTS

2" Stand-Offs

Removable to switch out panels

1/4" (thk) Diabond with Digital Print and Vinyl Logo



DATE:

3/22/17

REVISION DATE:

5/18/17  
6/9/17  
7/19/17

LOCATION:

Davidson, NC

CONTACT:

Sign Innovations Rep.

DRAWING:

Davidson 210

DESIGNER:

Nate

**Underwriters**  
Laborers Inc. • **ELECTRIC SIGN**  
CONTRACT TO R. 44

ELECTRICAL ELEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600

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ALL ELECTRICAL SHALL BE 120 VOLTS (UNLESS OTHERWISE NOTED)

APPROVED BY & DATE:

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PAGE:

3 of 4



## Design Review

210 Delburg  
(Name of Project)

### Sign - Project Description

Application Date:

7/25/17

Project Location:

210 Delburg Street, Davidson, NC  
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s):

00326207

Planning Area:

Village Edge

Planning Area Overlay District:

N/A

Master or Conditional Plan:

N/A

(Include any conditions of approval)

General Statement of Intent:

IDENTIFICATION OF TENANTS  
AND OWNER

#### Project Details:

Project Type:



individual sign



multi-tenant building



sign plan development

Sign Type:



wall sign



projecting sign



hanging sign



freestanding sign



canopy/awning sign



window/door sign



building name



sidewalk sign



temporary sign

Other sign type:

Dimensions:

72" H x 60" W

Square Footage:

30 sq. ft.

Height from grade:

42" ±

Sign materials:

1/4" Thick Diabond panel with

Lighting:

Digital Print and white vinyl logo  
for tenants

Existing Signs, include signs to remain and signs to be removed:

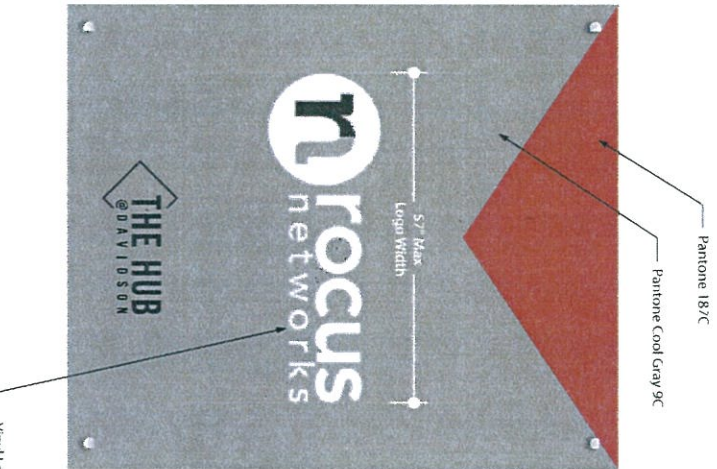
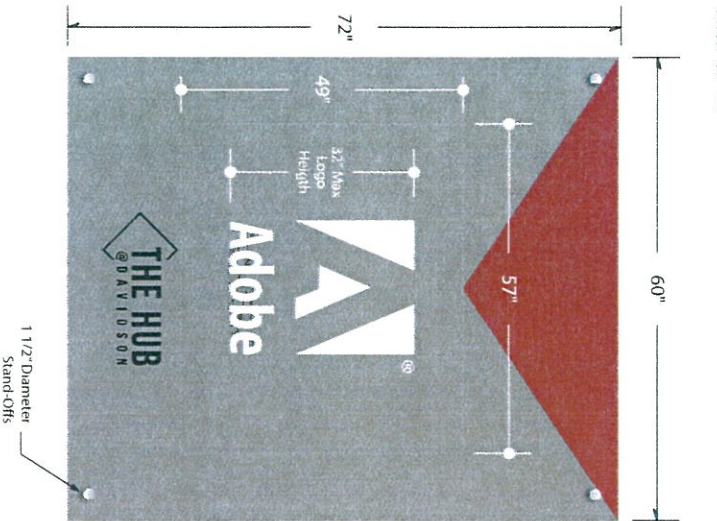


# CONCEPT

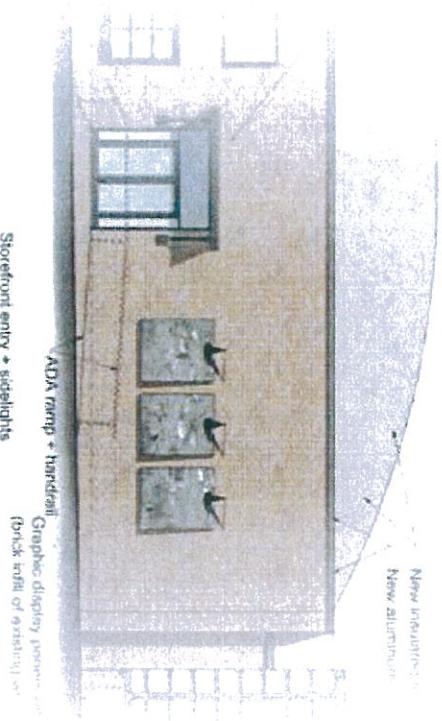
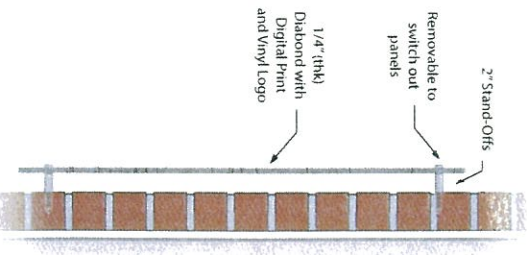
Qty: 3

Removable Diabond Panels / Digital Print with Vinyl / Stand-Offs

Scale: 1/2" = 1'



Side View  
Scale: NTS



DATE:

3/22/17

REVISION DATE:

5/18/17  
6/9/17  
7/19/17

PROJECT LOCATION:

Davidson, NC

CONTACT:

Sign Innovations Rep.

DRAWING:

Davidson 210

DESIGNER:

Name

**Underwriter**  
Laboratory Inc.  
CHARLOTTE, NC 28208

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PAGES:

3 of 4





## Design Review

210 Delburg  
(Name of Project)

### Sign - Project Description

Application Date:

7/25/17

Project Location:

210 Delburg Street, Davidson, NC  
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s):

00326207

Planning Area:

Village Edge

Planning Area Overlay District:

N/A

Master or Conditional Plan:

N/A

(Include any conditions of approval)

General Statement of Intent:

Identification of Owners & Tenants

#### Project Details:

Project Type:



individual sign



multi-tenant building



sign plan development

Sign Type:



wall sign



projecting sign



hanging sign



freestanding sign



canopy/awning sign



window/door sign



building name



sidewalk sign



temporary sign

Other sign type:

Dimensions:

72" H x 60" W

Square Footage:

30 sq. ft.

Height from grade:

42" ±

Sign materials:

1/4" thick Dibond panel with

Lighting:

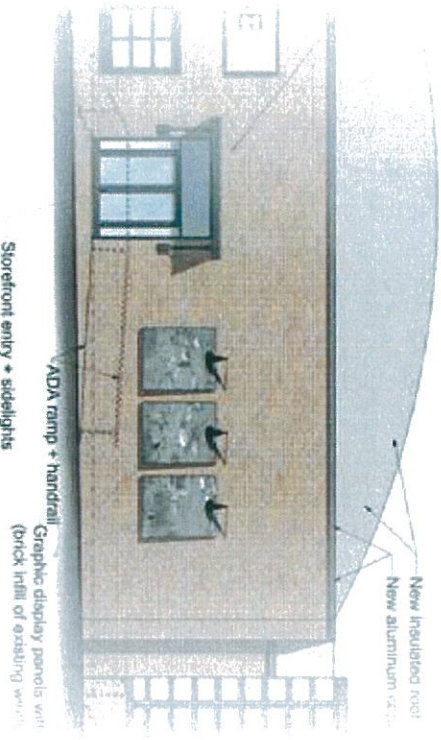
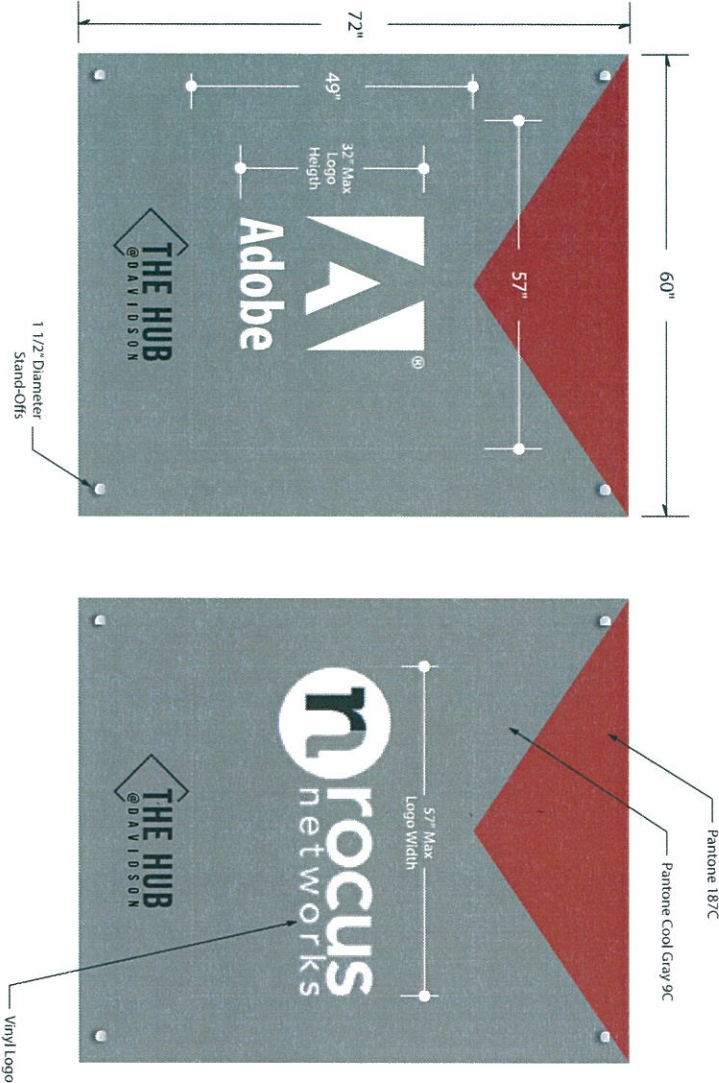
Digital Print and white vinyl

logo for tenants

Existing Signs, include signs to remain and signs to be removed:

CONCEPT

Qty: 3  
Removable Diabond Panels / Digital Print with Vinyl / Stand-Offs  
Scale: 1/2" = 1'



Side View  
Scale: NTS

5245 Old Dowd Rd, Ste. 4 • Charlotte, NC 28208  
704-375-2338 • signinnovations.com

**SIGN INNOVATIONS**

DATE: 3/22/17  
REVISION DATE:  
5/18/17  
6/9/17  
7/19/17  
JOB LOCATION:  
Davidson, NC  
CONTACT:  
Sign Innovations Rep.  
DRAWING:  
Davidson 210  
DESIGNER:  
Nate

Underwriter Laboratories Inc. • ELECTRIC SIGN LIMITED COMPLIANT TO UL 44

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APPROVED BY & DATE:

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## Design Review

210 Delburg  
(Name of Project)

### Sign - Project Description

Application Date:

7/25/17

Project Location:

210 Delburg Street, Davidson, NC  
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s):

00326207

Planning Area:

Village Edge

Planning Area Overlay District:

N/A

Master or Conditional Plan:

N/A

(Include any conditions of approval)

General Statement of Intent:

IDENTIFICATION OF OWNERS AND TENANTS

#### Project Details:

Project Type:



individual sign



multi-tenant building



sign plan development

Sign Type:



wall sign



projecting sign



hanging sign



freestanding sign



canopy/awning sign



window/door sign



building name



sidewalk sign



temporary sign

Other sign type:

Dimensions:

73 1/2" x 66"

Square Footage:

33.5 sq ft

Height from grade:

4 1/2"

Sign materials:

1/2" painted aluminum + border

Lighting:

Copy to read "THE HUB" @ Davidson

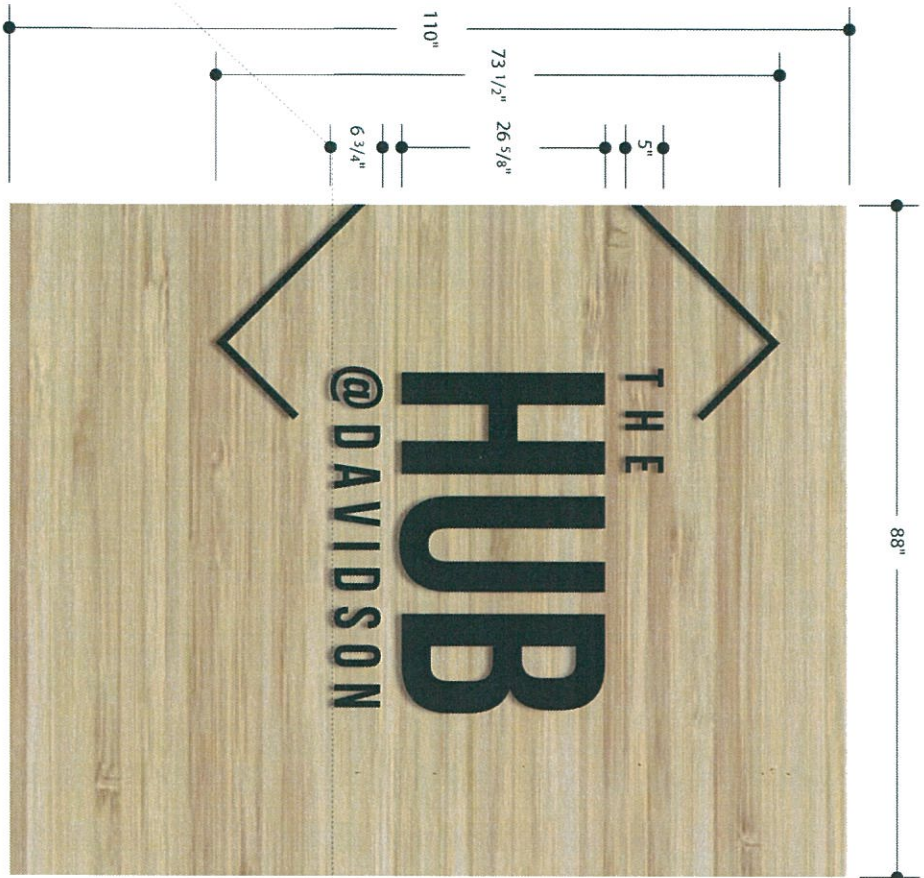
Existing Signs, include signs to remain and signs to be removed:



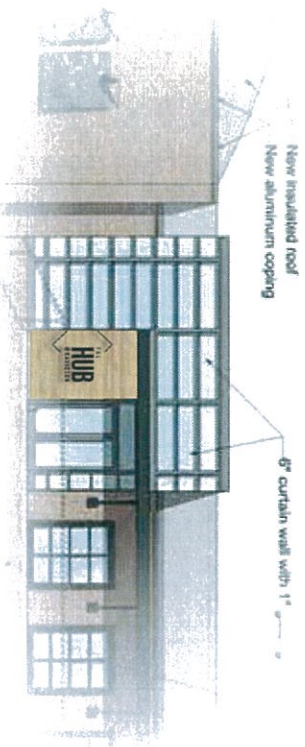
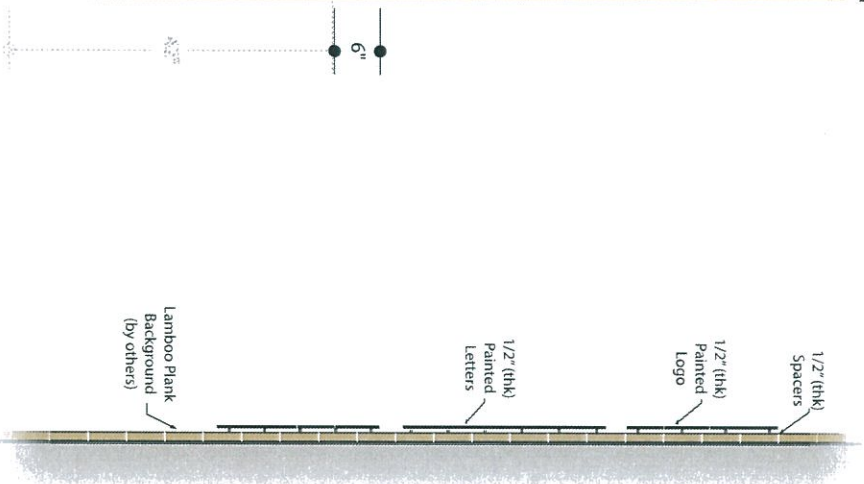
## CONCEPT

**Lamboo Planks (by others) / Painted Dimensional Letters / Spacers**

1



Scale: NTS



**SIGN** INNOVATIONS  
5245 Old Dowd Rd., Ste. 4 • Charlotte, NC 28208  
704-375-2338 • [signinnovations.com](http://signinnovations.com)

DATE: \_\_\_\_\_

3/22/17

REVISION DATE:

5/18/17

7/19/17

**JOB LOCATION:**

Davidson, NC

**CONTACT:**

Sign Innovations Rep.

Davidson 210

DESIGNER:

**Nate**

**Underwriters**  
**Laboratories Inc. •** **ELECTRIC SIGN**  
COMPLIES TO UL 48

**ELECTRICAL ELEMENTS TO BE INSTALLED  
IN ACCORDANCE WITH THE REQUIREMENTS OF  
ARTICLE 600**

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ALL ELECTRICAL SHOCKS ARE **120 VOLTS** UNLESS OTHERWISE INDICATED

APPROVED BY &amp; DATE:

**STOP** PLEASE NOTE

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**AGERS.**

2 of 4



July 25, 2017

Design Review Board  
Town of Davidson  
216 South Main Street  
Davidson, NC 28036

RE: Design Review Board Sign Application Submission for **210 Delburg Street**

To Town of Davidson Design Review Board members:

On behalf of Davidson College (Owner) and Sign Innovations (Applicant), we write to confirm our compliance with Section 11 of the Davidson Planning Ordinance, governing the use and display of signs in the Town of Davidson.

**Sign 1 – Building Signage**

The sign located on the south side of the building to the left of the main entrance complies with all location, area and dimension requirements for Wall Signs, pursuant to Section 11.4.1.2. Because it exceeds 24 square feet, we are submitting it for Design Review Board approval.

**Sign 2 – Building Signage**

The sign located on the east side of the building complies with all location, area and dimension requirements for Wall Signs, pursuant to Section 11.4.1.2. Because it exceeds 24 square feet, we are submitting it for Design Review Board approval.

**Sign 3 – Tenant Signage Panels**

The three panels located on the south side of the building comply with the provisions of Multi-Tenant Buildings Signs, pursuant to Section 11.3.1.2. The renderings submitted for review are merely examples of company logos. We intend to rotate actual tenant logos periodically – always using adhesive white vinyl and confined to the maximum dimensions provided.

**Sign 4 – Building Address**

This address sign does not need DRB approval, but we wanted to include it in this package for context. The address sign complies with the provisions of Section 11.6.2.

Kind regards,

Julie Goff  
Director of Engagement, Information Technology Services  
Davidson College  
[jugoff@davidson.edu](mailto:jugoff@davidson.edu)  
704.894.2003



210 Delburg Street – Design Review Board submission  
RE: Color Photos of adjacent sites/buildings

**From West elevation:**





From South elevation:





From East elevation:



**Town of Davidson**  
Post Office Box 579  
Davidson, NC 28036  
(704) 892-7591

19512

DATE

7-22-06 2017

RECEIVED FROM

*Segun Emmanuel*

DOLLARS

*DAV College*  
*# 2879*

Account Total \$

*225*

Amount Paid \$

*225*

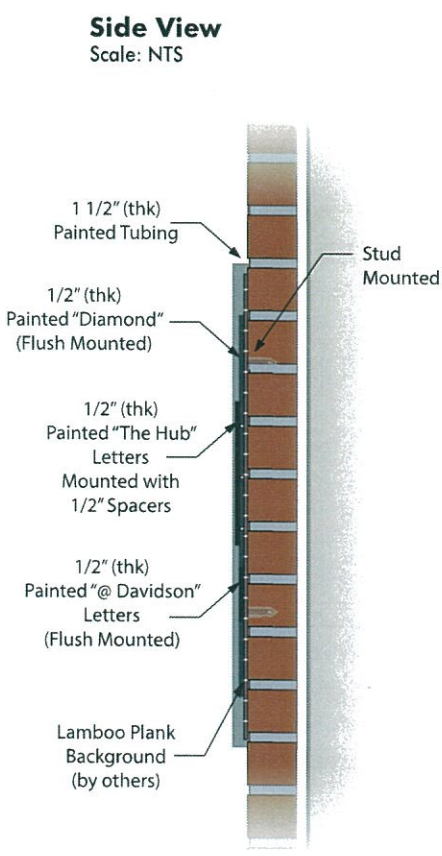
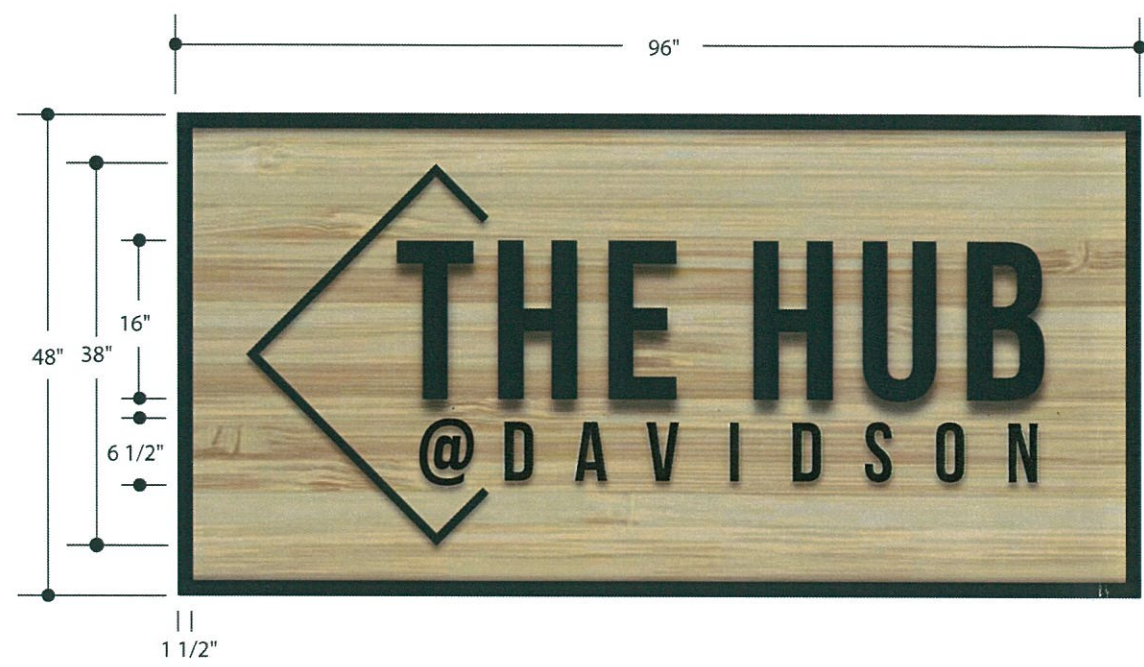
Balance Due \$

*000*



CONCEPT Sign 1 - Building Signage

Qty: 1  
Lamboo Planks (by others) / Painted Dimensional Letters / Painted Tubing / Spacers  
Scale: 1/2" = 1'



5245 Old Dowd Rd. Ste. 4 • Charlotte, NC 28208  
704-375-2338 • signinnovations.com

DATE:	3/22/17
REVISION DATE:	5/18/17 6/9/17 7/19/17 7/20/17
JOB LOCATION:	Davidson, NC
CONTACT:	Sign Innovations Rep.
DRAWING:	Davidson 210
DESIGNER:	Nate
Underwriters Laboratories Inc. LISTED	ELECTRIC SIGN COMPLIES TO UL 48
ELECTRICAL ELEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THIS SIGN.	
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ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED	
APPROVED BY & DATE:	
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PAGES:	1 of 8

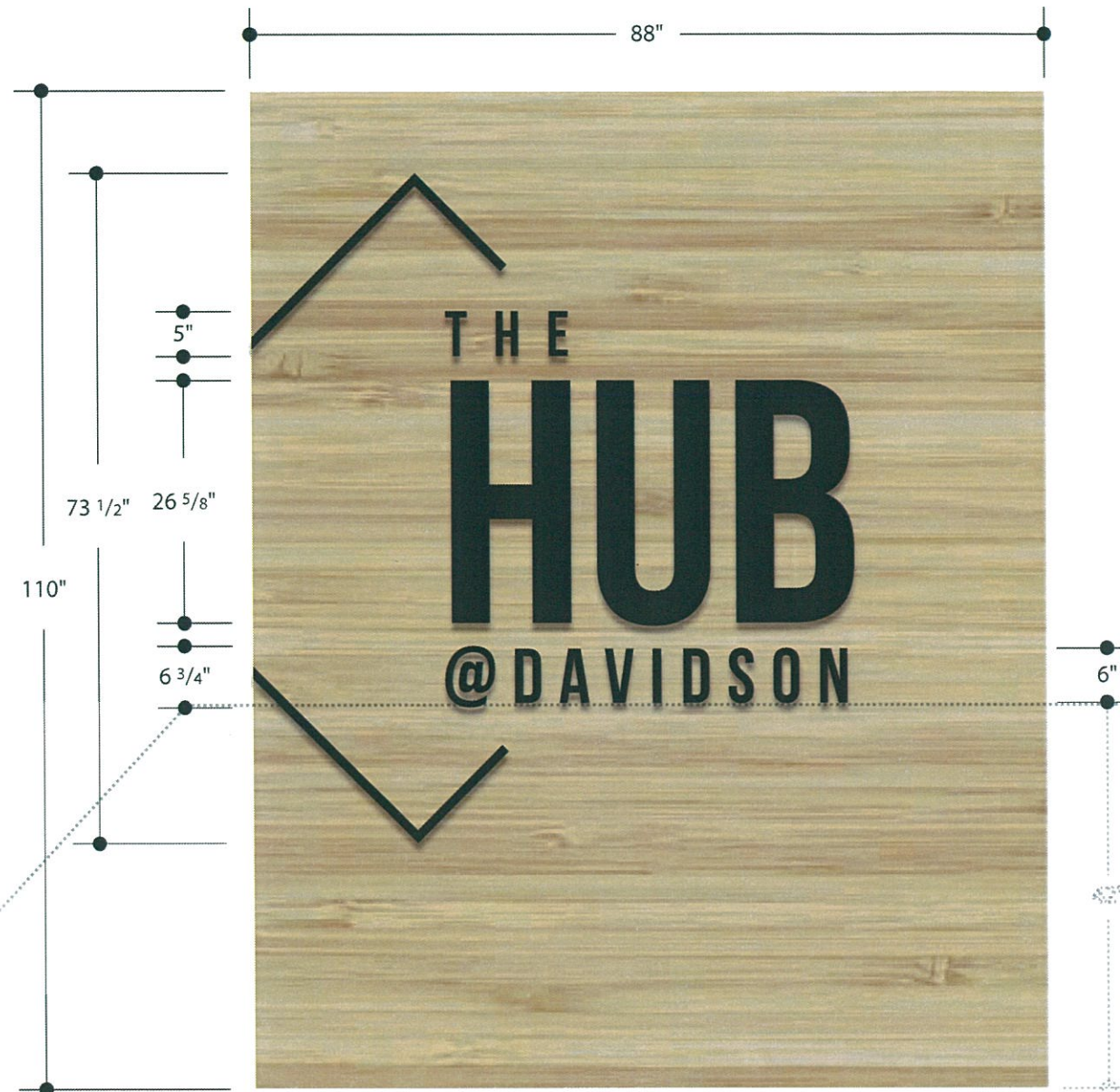


# CONCEPT Sign 2 - Building Signage

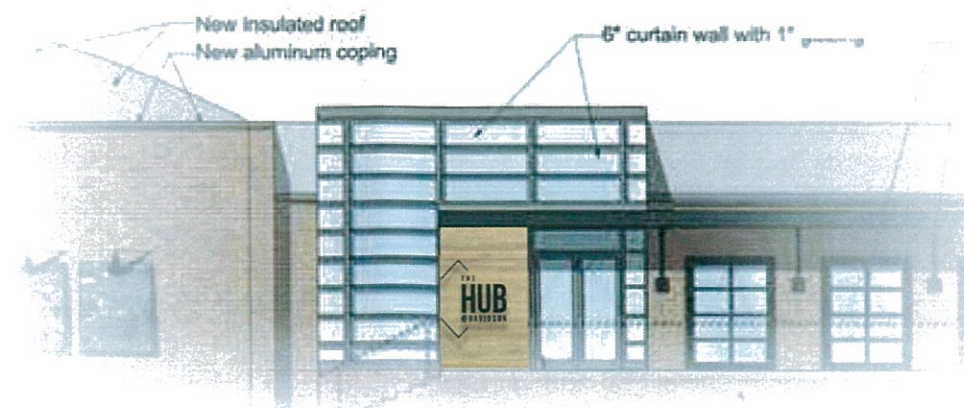
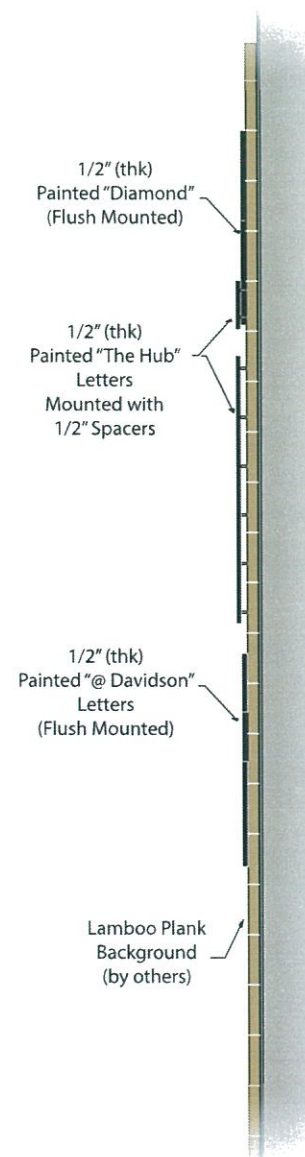
Qty: 1

Lamboo Planks (by others) / Painted Dimensional Letters / Spacers

Scale: 1/2" = 1'



Side View  
Scale: NTS



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704-375-2338 • signinnovations.com

**SIGN**  
INNOVATIONS

DATE:

3/22/17

REVISION DATE:

5/18/17

6/9/17

7/19/17

7/20/17

JOB LOCATION:

Davidson, NC

CONTACT:

Sign Innovations Rep.

DRAWING:

Davidson 210

DESIGNER:

Nate



Underwriters  
Laboratories Inc.  
LISTED

ELECTRIC SIGN  
COMPLIES TO UL 48

ELECTRICAL ELEMENTS TO BE INSTALLED  
IN ACCORDANCE WITH THE REQUIREMENTS OF  
**ARTICLE 600**

OF THE NATIONAL ELECTRICAL CODE AND OR  
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2 of 8



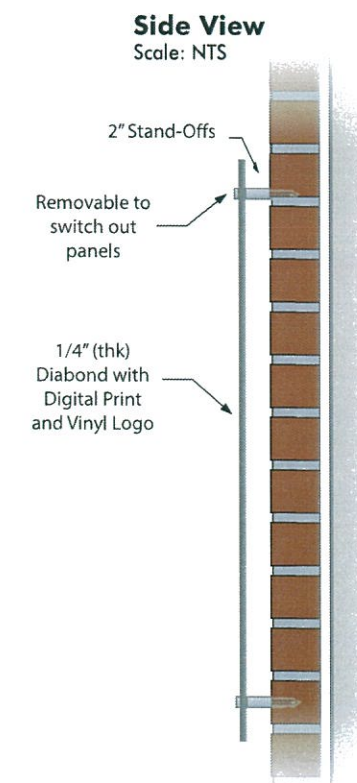
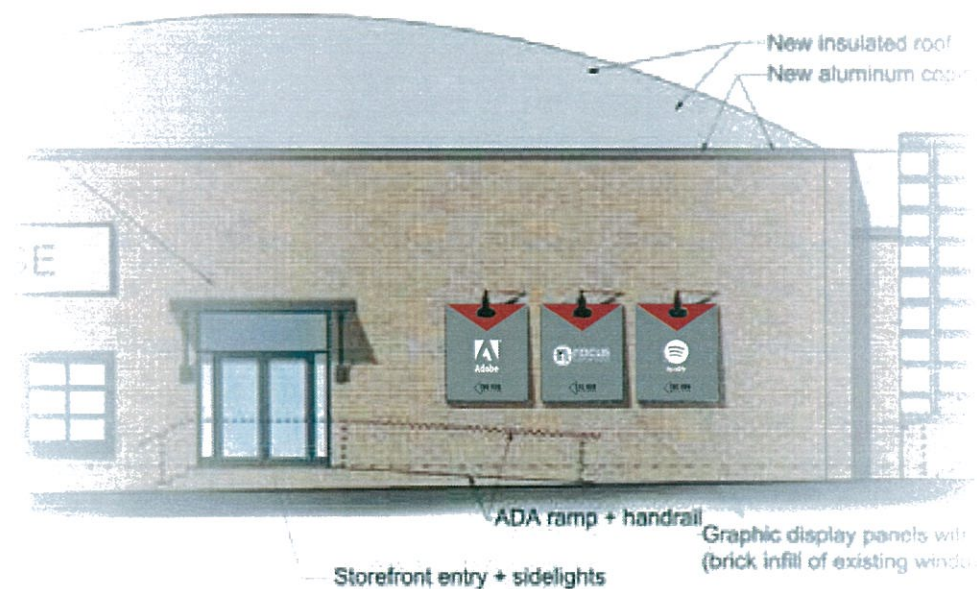
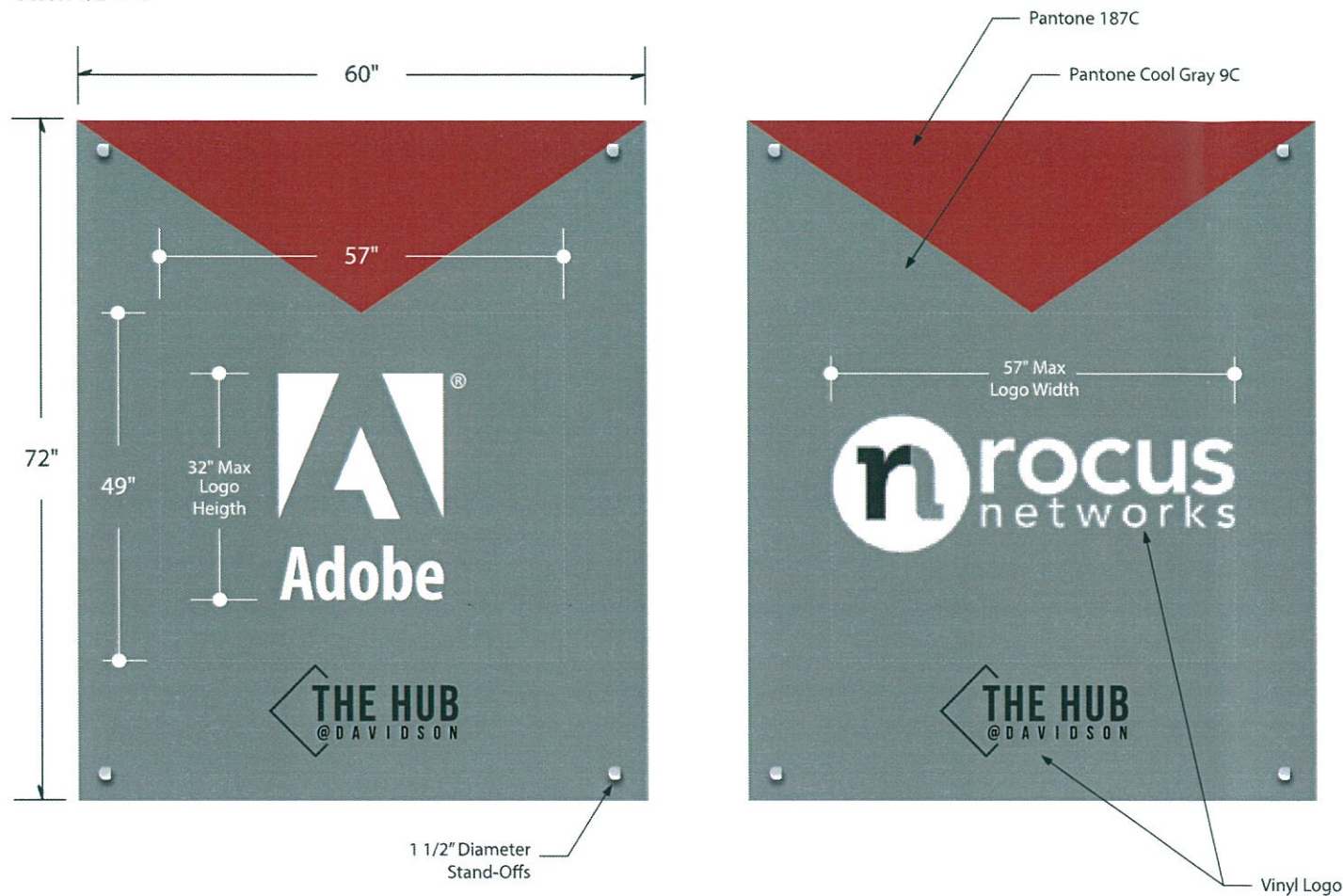
# CONCEPT

## Sign 3 - Tenant Signage Panels

Qty: 3

Removable Diabond Panels / Digital Print with Vinyl / Stand-Offs

Scale: 1/2" = 1'



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704-375-2338 • signinnovations.com

**SIGN**  
INNOVATIONS

DATE:  
3/22/17

REVISION DATE:  
5/18/17  
6/9/17  
7/19/17  
7/20/17

JOB LOCATION:  
Davidson, NC

CONTACT:  
Sign Innovations Rep.

DRAWING:  
Davidson 210

DESIGNER:  
Nate

Underwriters Laboratories Inc. LISTED

**ELECTRIC SIGN**  
COMPLIES TO UL 48

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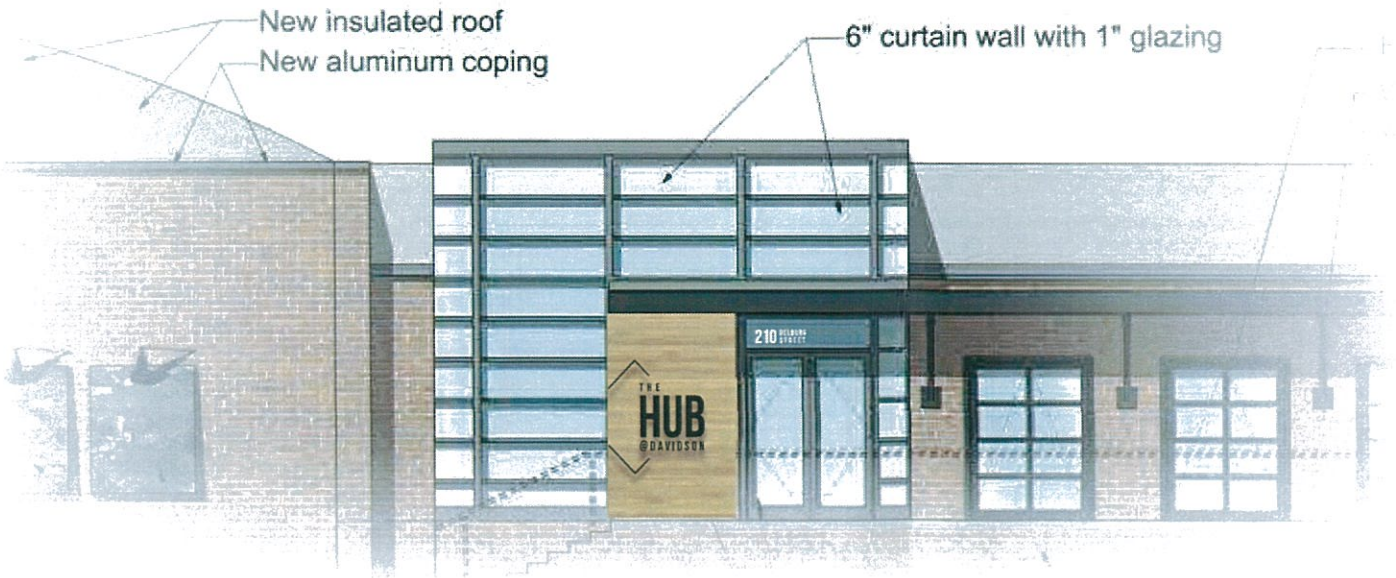
3 of 8



CONCEPT

Sign 4 - Building Address

Qty: 1  
White Vinyl - 1st Surface  
Scale: 1" = 1'



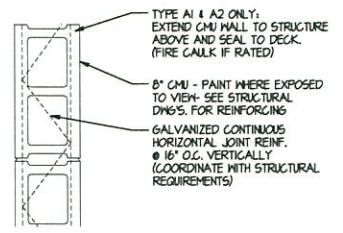
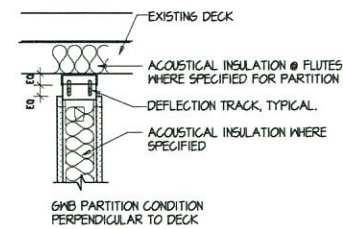
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PAGES:	
4 of 8	



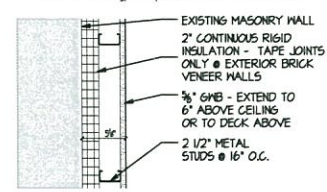
GENERAL NOTES:

1. PARTITION TYPES ARE KEYED IN ON FLOOR PLANS
2. ALL PENETRATIONS TO BE SEALED WITH ACOUSTICAL SEALTANT AT NON-RATED WALLS WITH SOUND ATTENUATION RATING
3. DENSE FIBER BOARD IS TO BE SUBSTITUTED FOR GYPSUM BOARD AT ALL WALLS TO RECEIVE CERAMIC TILE. MAINTAIN RATINGS AS REQ'D.
4. PENETRATING ITEMS PASSING ENTIRELY THROUGH BOTH PROTECTIVE MEMBRANES OF BEARING WALLS REQUIRED TO HAVE A FIRE-RESISTIVE RATING AND WALLS REQUIRING PROTECTED OPENINGS SHALL BE PROTECTED WITH THROUGH-PENETRATION FIRE STOPS
5. ALL LAYERS ARE TO BE TAPED AND MUDD (ALL WALL TYPES)
6. ALL WALLS ARE TO BE FINISHED SMOOTH (ALL WALL TYPES)
7. PROVIDE FIRE SAFING BETWEEN TOP OF STUD/CMU & STRUCTURE AS REQUIRED PER SECTION 107 OF THE NCBC - AT ALL RATED WALLS.

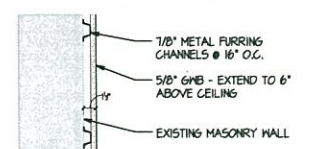


TYPE F1 8" CONCRETE MASONRY UNIT, EXTEND TO UNDERSIDE OF STRUCTURE ABOVE

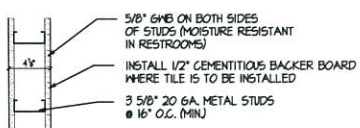
F...A 1-HOUR RATED WALL ASSEMBLY - UL DETAIL U105 (i.e. "F1A" is a Type F1 partition that is 1-hour rated)



TYPE D1 TYPICAL FURRING AT BUILDING PERIMETER: 5/8" GYPSUM WALL BOARD OVER 2" METAL STUDS, OVER 2" RIGID INSULATION, EXTEND TO UNDERSIDE OF ROOF DECK ABOVE



TYPE C1 5/8" GYPSUM WALL BOARD WITH 1/8" METAL FURRING CHANNELS @ 16" O.C. ON ONE SIDE, EXTEND 6" ABOVE CEILING



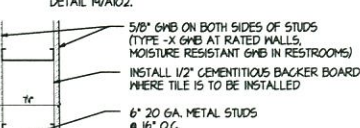
TYPE B1 5/8" GYPSUM WALL BOARD ON BOTH SIDES WITH SOUND ATTENUATION BLANKETS. EXTEND GMB AND STUDS TO STRUCTURE ABOVE. SEE HEAD PARTITION DETAIL 19/A102.

TYPE B2 5/8" GYPSUM WALL BOARD ON ONE SIDE WITH SOUND ATTENUATION BLANKETS. EXTEND GMB AND STUDS TO STRUCTURE ABOVE. SEE HEAD PARTITION DETAIL 19/A102.

TYPE B3 5/8" GYPSUM WALL BOARD ON BOTH SIDES WITH SOUND ATTENUATION BLANKETS. EXTEND GMB AND STUDS TO 6" ABOVE ADJACENT CEILING.

TYPE B4 5/8" GYPSUM WALL BOARD ON ONE SIDE WITH SOUND ATTENUATION BLANKETS. EXTEND GMB AND STUDS TO 6" ABOVE ADJACENT CEILING.

TYPE B5 5/8" GYPSUM WALL BOARD ON ONE SIDE. EXTEND GMB AND STUDS TO STRUCTURE ABOVE. SEE HEAD PARTITION DETAIL 19/A102.



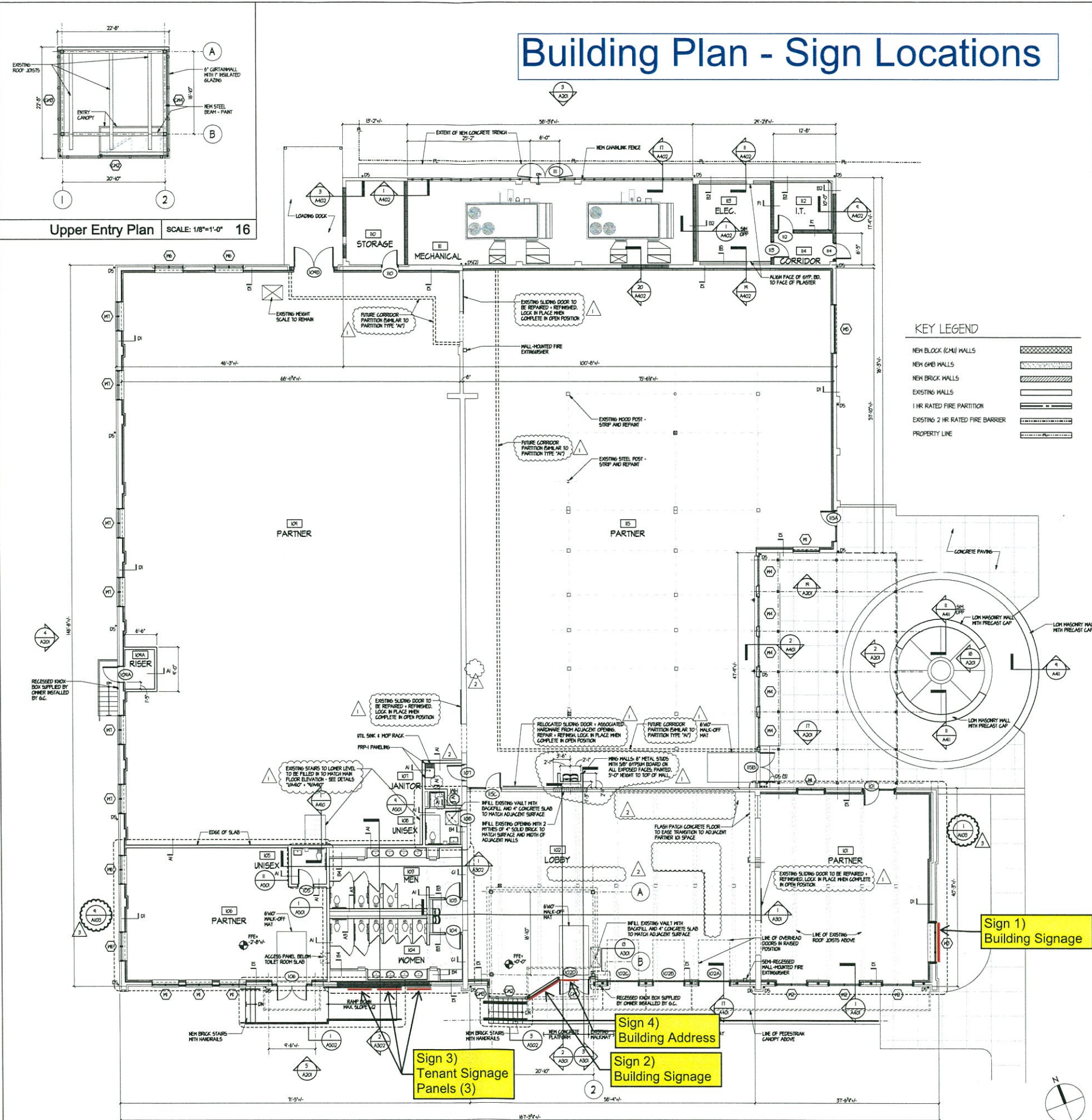
TYPE A1 5/8" GYPSUM WALL BOARD ON BOTH SIDES, SOUND ATTENUATION BLANKET, EXTEND GMB AND STUDS TO STRUCTURE ABOVE. SEE HEAD PARTITION DETAIL 19/A102.

TYPE A2 5/8" GYPSUM WALL BOARD ON BOTH SIDES, SOUND ATTENUATION BLANKET, EXTEND GMB, STUDS, AND S.A.B. 6" ABOVE ADJACENT CEILING.

TYPE A3 5/8" GYPSUM WALL BOARD ON ONE SIDE, SOUND ATTENUATION BLANKET, EXTEND GMB, STUDS, AND S.A.B. 6" ABOVE ADJACENT CEILING.

Partition Types

SCALE: 1 1/2"=1'-0" 17



Building Plan - Sign Locations

KEY LEGEND

- NEW BLOCK (CMU) WALLS
- NEW GMB WALLS
- NEW BRICK WALLS
- EXISTING WALLS
- 1 HR RATED FIRE PARTITION
- EXISTING 2 HR RATED FIRE BARRIER
- PROPERTY LINE

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DAVIDSON

Shell Building  
Renovation  
210  
Delburg  
Street

ISSUED FOR  
CONSTRUCTION

Floor Plan

DATE 12.07.2016  
PROJECT NO 14077

NO	DATE	DESCRIPTION:
1	1.3.2017	Permit review comments
2	5.2.2017	Building No.3
3	6.23.2017	Add detail references

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Floor Plan SCALE: 1/8"=1'-0" 1

A101





SEAL

## DAVIDSON

Shell Building  
Renovation

210  
Delburg  
Street

ISSUED FOR  
CONSTRUCTION

### Landscape Plan

DATE 12.07.2016  
PROJECT NO 14077

REVISIONS	
NO	DESCRIPTION
1	2-15-17 Permit Review Comments
2	4-17-17 Raised Site

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EPM REFERENCE  
#372036

SHEET NUMBER

C-600

PLANTING SCHEDULE					
KEY	QTY	BOTANICAL NAME	COMMON NAME	CALIPER ROOT	REMARKS
TREES					
AS	10	Amorpha fruticosa	Plum	2"	Single Stem
AS	1	Acacia saligna	Amorpha	3" x 4"	Full Mature Specimen
AS	1	Acacia saligna	Amorpha	3" x 4"	Single Stem Specimen
AS	1	Acacia saligna	Amorpha	3" x 4"	Single Stem Specimen
AS	1	Acacia saligna	Amorpha	3" x 4"	Single Stem Specimen
AS	1	Acacia saligna	Amorpha	3" x 4"	Single Stem Specimen
AS	1	Acacia saligna	Amorpha	3" x 4"	Single Stem Specimen
AS	1	Acacia saligna	Amorpha	3" x 4"	Single Stem Specimen
AS	1	Acacia saligna	Amorpha	3" x 4"	Single Stem Specimen
AS	1	Acacia saligna	Amorpha	3" x 4"	Single Stem Specimen
SHRUBS					
AS	5	Amorpha fruticosa	Plum	2"	Full Specimen
AS	5	Amorpha fruticosa	Plum	2"	Full Specimen
AS	5	Amorpha fruticosa	Plum	2"	Full Specimen
AS	5	Amorpha fruticosa	Plum	2"	Full Specimen
AS	5	Amorpha fruticosa	Plum	2"	Full Specimen
AS	5	Amorpha fruticosa	Plum	2"	Full Specimen
AS	5	Amorpha fruticosa	Plum	2"	Full Specimen
AS	5	Amorpha fruticosa	Plum	2"	Full Specimen
AS	5	Amorpha fruticosa	Plum	2"	Full Specimen
AS	5	Amorpha fruticosa	Plum	2"	Full Specimen
GROUND COVER/PERENNIALS/GRASSES					
LM	110	Liriodendron tulipifera	Grass	2"	Full Specimen
LM	110	Liriodendron tulipifera	Grass	2"	Full Specimen
LM	110	Liriodendron tulipifera	Grass	2"	Full Specimen
LM	110	Liriodendron tulipifera	Grass	2"	Full Specimen
LM	110	Liriodendron tulipifera	Grass	2"	Full Specimen
LM	110	Liriodendron tulipifera	Grass	2"	Full Specimen
LM	110	Liriodendron tulipifera	Grass	2"	Full Specimen
LM	110	Liriodendron tulipifera	Grass	2"	Full Specimen
LM	110	Liriodendron tulipifera	Grass	2"	Full Specimen
LM	110	Liriodendron tulipifera	Grass	2"	Full Specimen

### LANDSCAPE NOTES

#### PLANT MATERIAL

- MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 2' TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 10' TALL.
- ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS. BRANCHES TO THE TOP OF THE CROWN UNDER MULTI-STEM TREES ARE SPECIFIED. ALL TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY. TREES WITH UNUSUAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH UNUSUAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH UNUSUAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS.
- SIZE OF PLANTS, SPACING OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH AHS 2001 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CORRELATION.

#### PLANTING REQUIREMENTS

- PLANTING MORE PARTS WILL NOT BE ACCEPTED FOR TREE BATHING. SEE DETAILS AND SPECIFICATIONS FOR APPROVED STAKING METHOD/MATERIALS.
- ALL STAKING AND TOP 1/3 OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS, REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL PLANTING MIX SPECIFICATIONS FOR TREES.
- ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
- THE TOP OF ALL ROOT BALLS FOR SHRUBS & GROUNDCOVERS SHALL BEAT THE SAME RELATIONSHIP TO FINISHED GRADE AS BORN TO PREVIOUS GROWING CONDITIONS.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- MULCH A MINIMUM 4" ROOT AREA AROUND EACH TREE AND - MULCH A CONTIGUOUS AREA AROUND ALL SHRUB BEDS, AS INDICATED ON THE PLAN. MULCH SHALL BE 3-4" THICK. MULCH AROUND TREES SHALL BE TAPERED TOWARD TRUNK SO THAT NO MORE THAN 2" IS PLACED AT TREE TRUNK AS SHOWN ON DETAIL. SEE SPECIFICATIONS FOR TYPE.

#### UTILITY ISSUES

- LARGE MATURING TREES MAY NOT BE PLANTED WITHIN 20' OF OVERHEAD POWER DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR BUNKS, CALL UNDERGROUND ARCHITECT TO RESOLVE BEFORE PLANTING.
- CONTRACTOR IS RESPONSIBLE FOR HAVING ALL UNDERGROUND UTILITIES LOCATED AND CLEARLY PLANTED WITHIN 10 DAYS OF ANY GROUND DISTURBING ACTIVITY. OWNER WILL NOT PAY FOR UTILITY REPAIRS DUE TO FAILURE TO MARK AND OBTAIN UTILITY LOCATIONS.
- ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES - PLANT 15' FROM ELECTRICAL LINES.
- SEE EROSION CONTROL/GROWING PLAN FOR ADDITIONAL TREE PRESERVATION NOTES.

#### GENERAL

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUANTITY OF PLANTS SHOWN ON THE PLAN. ANY DISCREPANCIES BETWEEN QUANTITIES ON PLAN AND PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO PLANTING.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY CONDITION FOR ONE (1) YEAR AFTER ACCEPTANCE BY OWNER OF ALL PLANT MATERIAL.
- ALL DISTURBED AREAS SHALL BE RESEED AS SPECIFIED.
- SEE EROSION CONTROL/GROWING PLAN FOR ADDITIONAL TREE PRESERVATION NOTES.



SCALE: 1"=20'



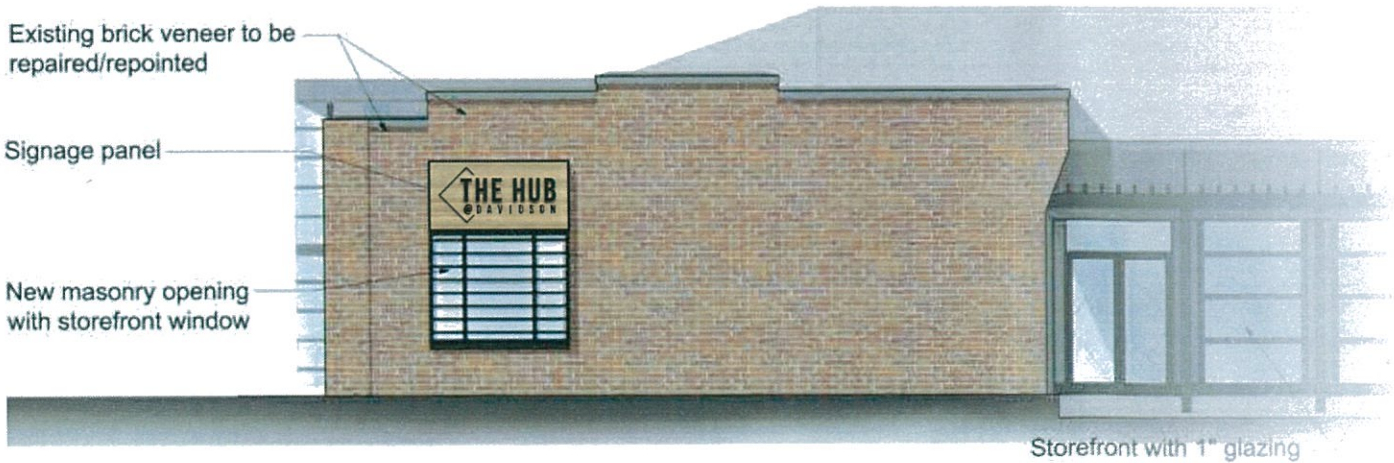
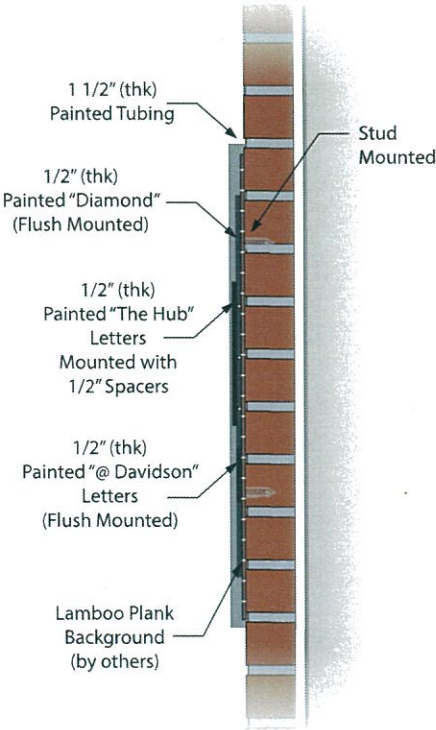


CONCEPT

Qty: 1  
Lamboo Planks (by others) / Painted Dimensional Letters / Painted Tubing / Spacers  
Scale: 1/2" = 1'



Side View  
Scale: NTS



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704-375-2338 • [signinnovations.com](http://signinnovations.com)

SIGN

INNOVATIONS

DATE:

3/22/17

REVISION DATE:

5/18/17  
6/9/17  
7/19/17  
7/20/17

JOB LOCATION:

Davidson, NC

CONTACT:

Sign Innovations Rep.

DRAWING:

Davidson 210

DESIGNER:

Nate

UL

Underwriters Laboratories Inc. LISTED

ELECTRIC SIGN

COMPLIES TO UL 48

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APPROVED BY & DATE:

STOP

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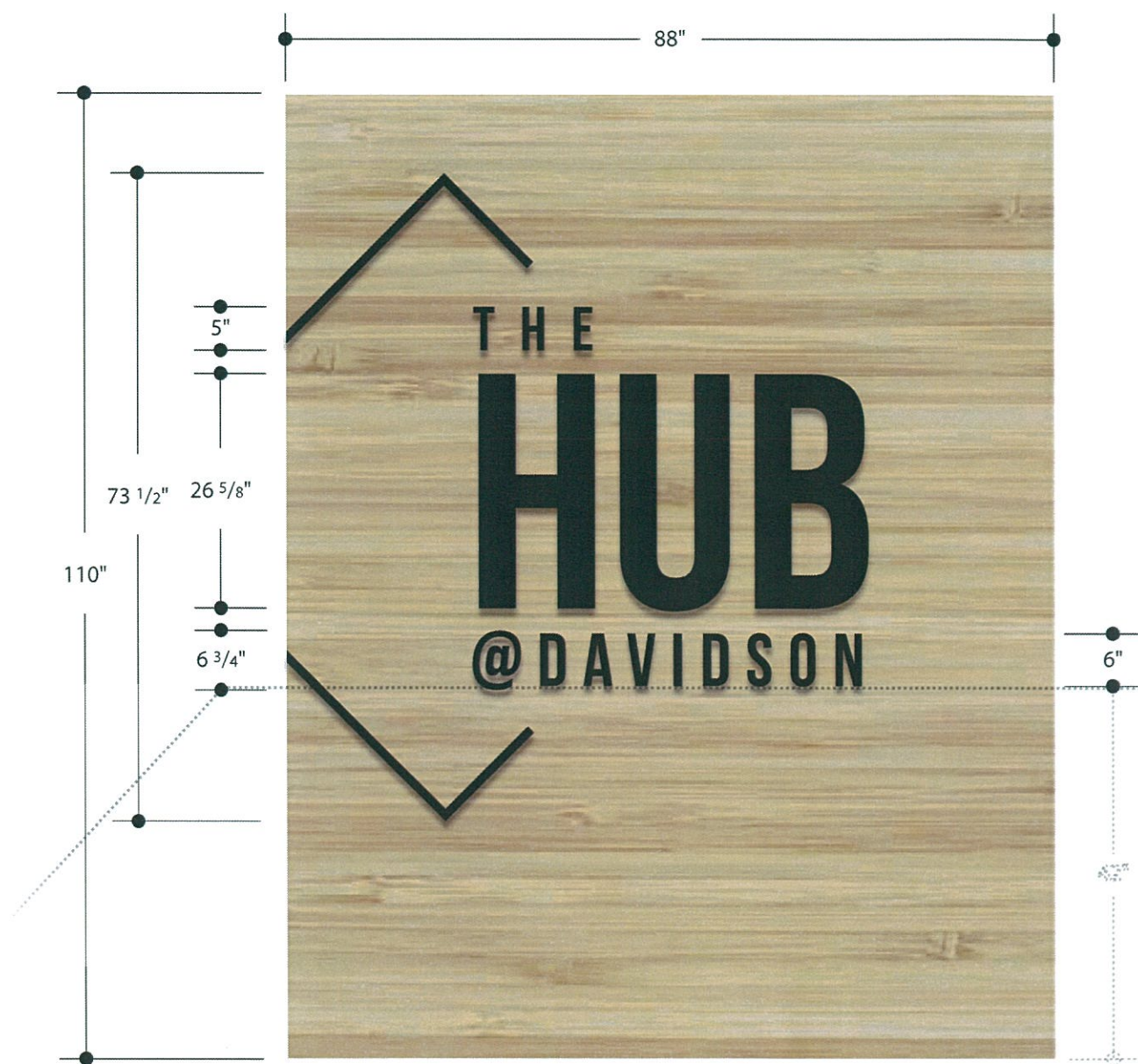
1 of 4

Page 52 of 58

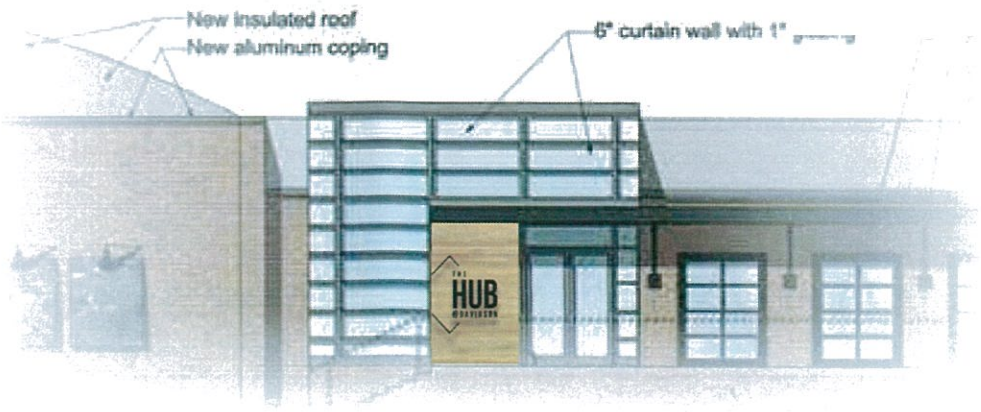
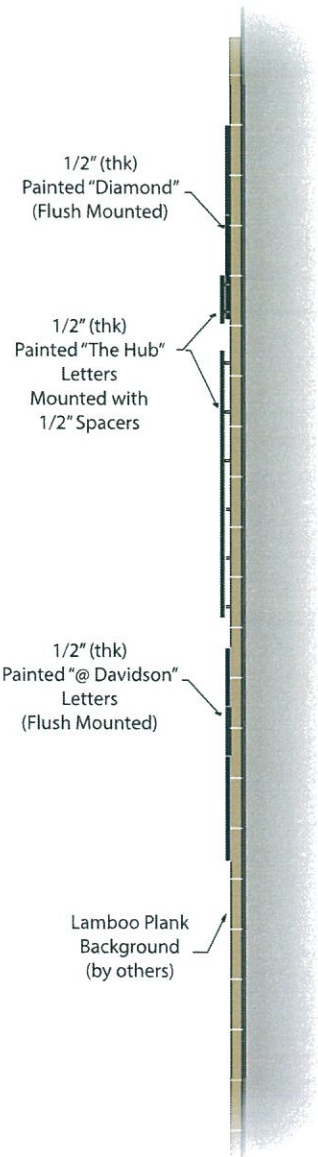


CONCEPT

Qty: 1  
Lamboo Planks (by others) / Painted Dimensional Letters / Spacers  
Scale: 1/2" = 1'



Side View  
Scale: NTS



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704-375-2338 • signinnovations.com

DATE: 3/22/17  
REVISION DATE: 5/18/17, 6/9/17, 7/19/17, 7/20/17  
JOB LOCATION: Davidson, NC  
CONTACT: Sign Innovations Rep.  
DRAWING: Davidson 210  
DESIGNER: Nate

ELECTRIC SIGN  
COMPLIES TO UL 48

ELECTRICAL ELEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THIS SIGN.

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ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED

APPROVED BY & DATE:

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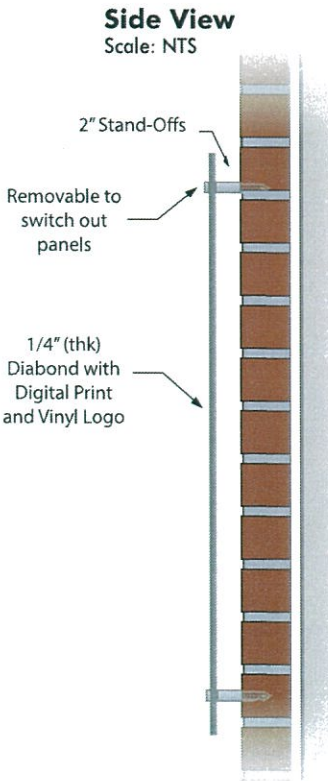
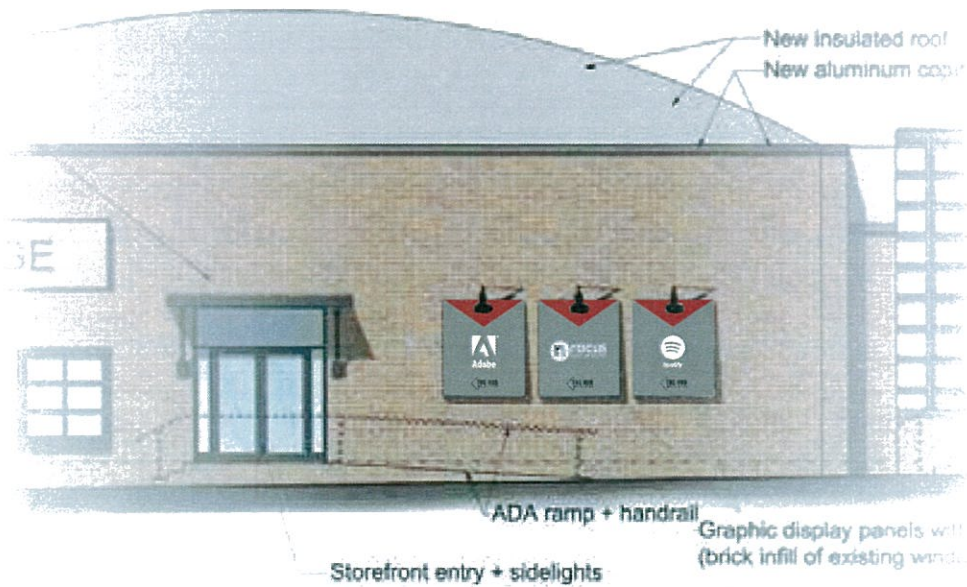
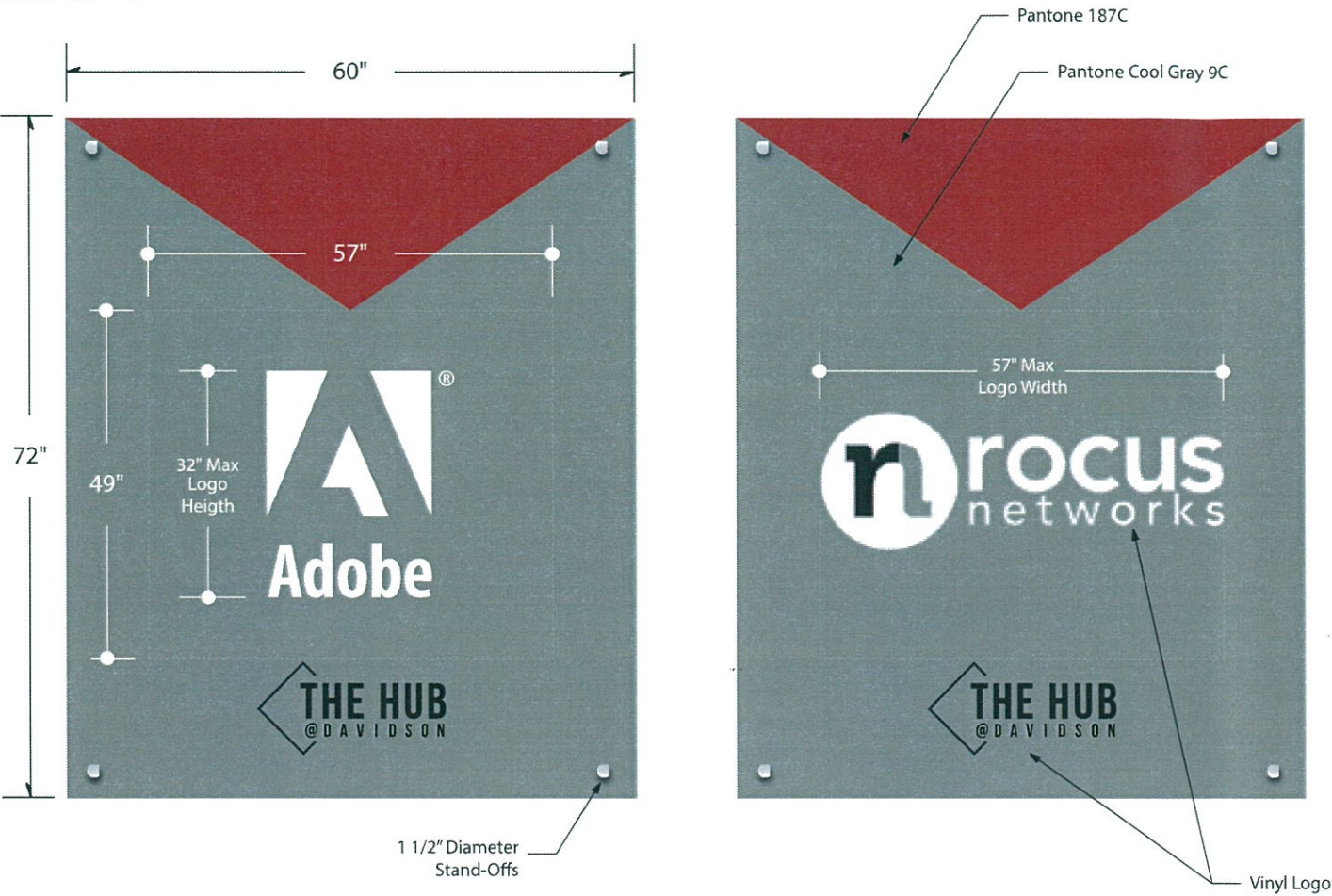
PAGES: 2 of 4



CONCEPT

Qty: 3  
Removable Diabond Panels / Digital Print with Vinyl / Stand-Offs

Scale: 1/2" = 1'



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SIGN

INNOVATIONS

DATE:

3/22/17

REVISION DATE:

5/18/17  
6/9/17  
7/19/17  
7/20/17

JOB LOCATION:

Davidson, NC

CONTACT:

Sign Innovations Rep.

DRAWING:

Davidson 210

DESIGNER:

Nate

UL

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COMPLIES TO UL 48

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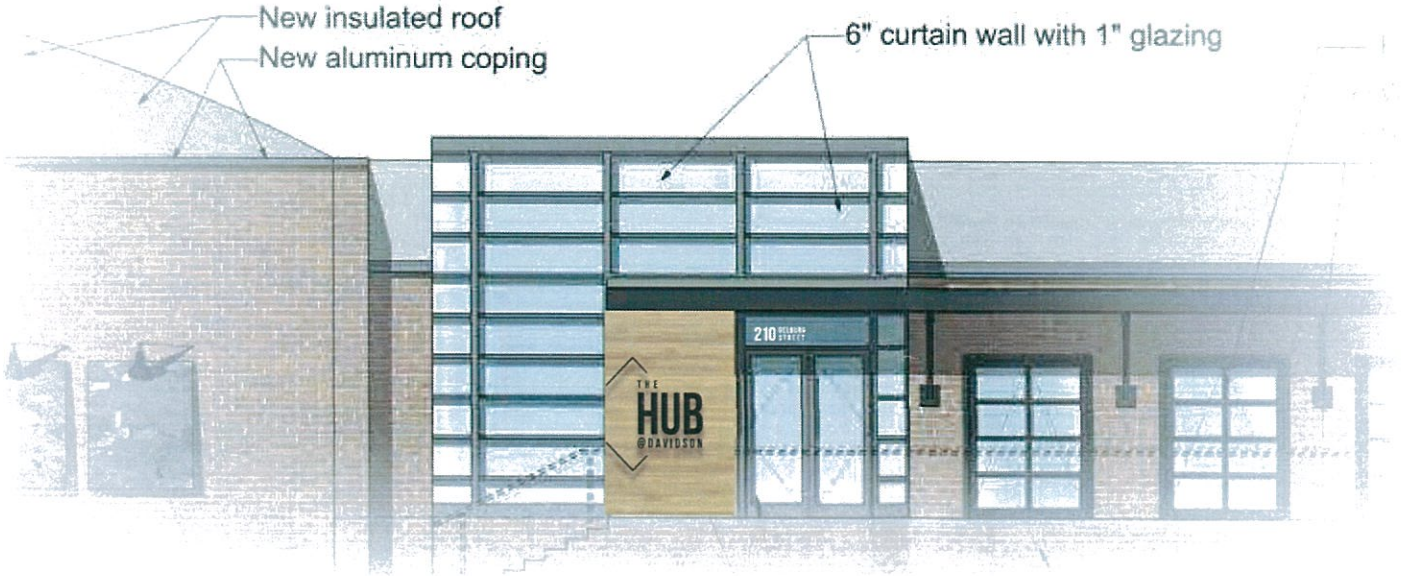
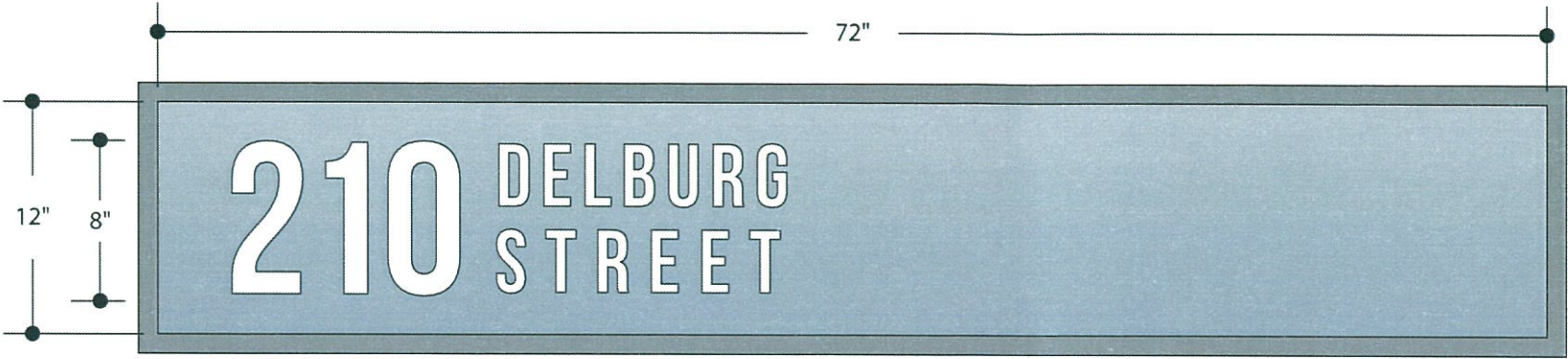
3 of 4

Page 54 of 58



CONCEPT

Qty: 1  
White Vinyl - 1st Surface  
Scale: 1" = 1'



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INNOVATIONS

DATE:  
3/22/17

REVISION DATE:  
5/18/17  
6/9/17  
7/19/17  
7/20/17

JOB LOCATION:  
Davidson, NC

CONTACT:  
Sign Innovations Rep.

DRAWING:  
Davidson 210

DESIGNER:  
Nate

UL

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ELECTRIC SIGN

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PAGES:  
4 of 4

Page 55 of 58

**Town of Davidson, NC**  
**Design Review Board: Staff Analysis**  
**Project Manager: S. Chad Hall**  
**August 16, 2017**

**Project:** The Hub - signage  
**Location:** 210 Delburg Street  
**Applicant:** Davidson College  
**Designer:** Jonathan Koricke (ADW Architects)  
**Planning Area:** Village Edge

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The Hub, located at 210 Delburg, has three signs that exceed the common dimensional criteria of the Davidson Planning Ordinance (DPO), but they are allowed with Design Review Board approval. The DPO restricts wall signs to a 24 square foot maximum, though signs may be larger if they are within five percent of the ground floor area of the façade.

The first wall sign is located on the front façade and it is the primary sign flanking the main front door. This sign measures 67 square feet for the total board, though the sign area reading “THE HUB” (including “@ Davidson” and the broken diamond elements) is approximately 36 square feet. The design includes a lamboo plank background with raised black lettering.

Also on the front façade (south facing), there are three wall signs that are proposed at 30 square feet each. These are panels that will retain an overall common design, but will change as tenants change. It is anticipated that each time one of these signs change that it will not need to come back to DRB for review, so long as the board design remains the same while only changing the logo within it (even though a new board will be produced for each new tenant).

The last is a wall sign located on the eastern façade. This is a 32 square foot lamboo plank sign. The sign will feature raised black lettering for “THE HUB” with other lettering being flush mounted.

**DAVIDSON PLANNING ORDINANCE:**

**SIGNS**

**Section 11.2.2.B Required Permits**

*All signs proposed to be affixed to a structure in the Local Historic Overlay District must be approved by the Design & Historic Review Board to determine that the signage meets the provisions of this section and any additional historic district requirements.*

**Section 11.3.1.2 Multi-Tenant Buildings**

*Each tenant on the street on ground-level may display one of the following signs on each façade: wall, projecting, hanging, freestanding, and two additional from the following: sidewalk, awning, canopy, window, or door.*

#### **Section 11.4.1.2 Wall Sign**

*A sign directly attached and parallel to a building façade or dependent upon a building for its support. Wall signs may consist of sign board, metal, or channel letters mounted directly on wall or via raceway, neon, or paint directly on brick.*

##### **1. Permitted Location**

- *Building facades that face the right of way, pedestrian passageways, and/or parking associated with the establishment.*

##### **2. Area & Dimensions**

- *Maximum sign area per facade is five percent of the ground floor facade area on which the sign is located OR 24 square feet, whichever is greater. The Design Review Board must approve all signs greater than 24 square feet.*
- *For multi-bay, multi-tenant buildings, the facade area shall include only that portion of the facade designed for a specific tenant.*

##### **3. Height**

- *The top of a wall sign shall not exceed 18 feet above grade.*

##### **4. Additional Requirements**

- *Internally illuminated signs, including LED signs, are not permitted.*
- *Signs must either be a minimum of 1.5 inches thick or include a 1.5 to 2 inch border.*

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**Agenda Title:** DRB Report to TB August 22

**Summary:**

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