



**TOWN OF DAVIDSON  
DESIGN REVIEW BOARD  
Town Hall Board Room at 216 S Main St, Davidson, NC 28036**

**October 18, 2017**

- 
- I. CALL TO ORDER**
  - II. SILENT ROLL CALL**
  - III. CHANGES TO THE AGENDA**
  - IV. REVIEW/APPROVAL OF THE MINUTES**
    - (a) Minutes 2017 August 16
  - V. CONSENT ITEMS**
    - (a) Abersham Picnic Shelter
  - VI. NEW BUSINESS**
    - (a) Gallery Sign
    - (b) DCPC Sign
    - (c) Tree Removal Request
    - (d) Bexley Awnings
    - (e) Davidson Bay Mail Kiosk
    - (f) Accessory Structure - 105 College Dr
    - (g) Accessory Structure - 517 Lorimer Rd
    - (h) Davidson Elementary Addition FYI
    - (i) Cotton Mill FYI
  - VII. ADJOURN**



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**Agenda Title:** Minutes 2017August16

**Summary:**

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**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
☐ DRAFT Minutes from August 16, 2017	10/11/2017	Exhibit

# Meeting Minutes

## Design Review Board

Town of Davidson, NC  
August 16, 2017

A meeting of the Town of Davidson *Design Review Board* was held in the Town Hall, Administrative Conference Room, 216 S. Main St.

**Call to Order:** 7:00 p.m.

### Silent Roll Call and Determination of Quorum:

Members Present signified by :

Bob Lauer, Chair

Bruce Barteldt

Brian Bumann

John Burgess

Tom Goodwin

Mike Kessler

Bob Sipp

Town Staff Present: Chad Hall (Senior Planner)

Others in Attendance: Ronnie Shirley (Davidson College)

**Changes to the Agenda:** None.

### Review/Approval of the Minutes

A motion was made (TG) to approve meeting minutes of July 19, 2017 as written It was seconded (BS) and the motion was approved unanimously.

**Consent Item:** None

### New Business:

#### 1. Elisabeth Rose – Wall and Sidewalk Sign

Located at 202 South Main Street

Proposed signs (Wall and Sidewalk)

Represented by Elisabeth Connolly

Chad Hall gave a brief introduction of the project, stating materials and colors.

Afterward, Elisabeth Connolly provided any missing info and answered questions from the Board.

Questions/Comments from the Board:

- Are the letters and rose applied to the wall?
  - *EC: Not sure of thickness of letters, but will be off of wall with connectors.*
  
- Any lighting?
  - *EC: No.*

A motion was made (JB) to approve the signs as submitted and was seconded (BBumann). The motion was approved unanimously.

**2. The Hub at 210 Delburg – Wall Signs (excess of 24 square feet)**

Located at 210 Delburg Street

Proposed wall signs in excess of 24 square feet

Represented by Ronnie Shirley (Davidson College)

Before reviewing this case, a motion was made (JB) and seconded (BS) to recuse Bob Lauer from the Board and that Tom Goodwin should be Chair in the absence of Bruce Barteldt. The motion was approved.

Chad Hall gave a brief overview of the project, stating that there are three areas for the signage:

Flanking main door fronting Delburg Street

Trio of signs adverting tenants fronting Delburg Street

Wall sign above building directory on east elevation

A motion was made (BS) to approve the signs as submitted and was seconded (BBumann). The motion was approved unanimously.

After reviewing this case, a motion was made (JB) and seconded (BBumann) to have Bob Lauer rejoin the Board. The motion was approved.

**Old Business:** None.

**Other Items:**

**1. Town Board Update (August 22 @ 6:00PM)**

The Town Board would like an update at the August 22 meeting, preferably from the chair. Chad had highlighted a few projects; the DRB provided others for consideration. Bob will attend.

**Adjourn:** A motion was made to adjourn (BBarteldt), seconded (BL), and approved unanimously. The meeting was adjourned at 7:18 pm.

**Approval of Minutes:**

Date: \_\_\_\_\_ By: \_\_\_\_\_

**Please note: This is a summary of the meeting and not to be considered a complete transcript.**



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**Agenda Title:** Abersham Picnic Shelter

**Summary:**

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**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
<input type="checkbox"/> Staff Analysis	10/11/2017	Presentation
<input type="checkbox"/> Application	10/11/2017	Exhibit
<input type="checkbox"/> Shelter Design	10/11/2017	Exhibit
<input type="checkbox"/> Color Chart	10/11/2017	Exhibit

**Town of Davidson, NC**  
**Design Review Board: Staff Analysis**  
**Project Manager: Chad Hall**  
**October 18, 2017**

**Project:** Picnic Shelter  
**Location:** 18559 Abersham Drive (Abersham Park)  
**Applicant:** Mecklenburg County (Alicia Rocco)  
**Designer:** (Prefabricated)  
**Planning Area:** Rural Reserve Planning Area

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The applicant proposes a one story civic building (picnic shelter) off of Abersham Drive in Abersham Park (AKA Alison Farm Regional Park). The picnic shelter is a medium-sized prefabricated shelter commonly installed for Parks and Recreation in Mecklenburg County.

The shelter is approximately 22'x31' (682 square feet). It features stone wrapped steel columns and a metal roof atop tongue-and-groove roof decking. Roof color is indicated as being a dark green, either Evergreen or Hartford Green.

**DAVIDSON PLANNING ORDINANCE:**

**4.5 SPECIFIC BUILDING TYPE REQUIREMENTS**

**Section 4.5.1 Standards**

*Institutional buildings are typically used for public or semi-public purposes. These buildings must be designed appropriately to fit within neighborhoods as integral parts of the community. Institutional buildings serve as places of assembly. They have a sense of prominence within their respective neighborhoods. Their uses may include churches, libraries, post offices, and schools. All institutional buildings are subject to the Individual Building process and Design Review Board approval.*

*A. The scale and architectural sophistication of these buildings should support their civic importance and complement Davidson's existing civic buildings.*

**4.4 GENERAL BUILDING DESIGN STANDARDS**

**Section 4.4.1 Standards**

**C. Facade Articulation**

*All building facades visible from a public street or park/open space shall have:*

- 1. A recognizable base, distinguished from the body of the building by features such as, but not limited to:
  - a. Thicker walls, ledges or sills;*
  - b. Visually heavier materials (such as brick, stone, tile or other masonry) than those used on the body of the building; and/or*
  - c. Lighter or darker colored materials, mullions, panels or planters.**
- 2. A recognizable top, occupying the highest portion of the building and distinguished from the body of the building by features such as, but not limited to:*

- a. *A dimensional cornice capping the top of a building wall;*
- b. *Different materials or differently colored materials; and/or*
- c. *A roof overhang with brackets.*

*E. Materials*

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*
3. *All sides of the building should use materials consistent with those on the front if visible from public streets or neighboring properties, and should be carefully designed with similar detailing, comparable quality, and compatible materials.*
4. *Building materials and colors shall be:*
  - a. *Complementary to the materials already being used in the neighborhood, or*
  - b. *If dissimilar materials are being proposed, other characteristics such as scale, proportion, form, architectural detailing, color, and texture shall be used to ensure that the building relates to the rest of the neighborhood.*

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T:\Planning\_Shared\_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2017 DRB Agendas\20171018\_DRB Agenda\Alison Farm Park-rec shelter\20171011\_Abersham Picnic Shelter\_Staff Analysis.doc





# Design Review

Abersham Park - Picnic Shelter

(Name of Project)

## Development Process

Date Completed	Outline of Steps & Checklist
_____	<input type="checkbox"/> 1. Initial Meeting
_____	<input type="checkbox"/> 2. Application and Fee
_____	<input type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
_____	<input type="checkbox"/> 4. Planning Director Site Schematic Design Review
_____	<input type="checkbox"/> 5. Design Review Board Approval
_____	<input checked="" type="checkbox"/> 6. Building Construction Documents
_____	<input checked="" type="checkbox"/> 7. Site and Landscape Construction Documents
_____	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
_____	<input type="checkbox"/> 9. Building Permit Approval
_____	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
_____	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
_____	<input type="checkbox"/> 12. Certificate of Occupancy

*\* For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*



# Design Review

Abersham Park - Picnic Shelter

(Name of Project)

## Application Requirements

Date Received

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

- Application Fee per Town of Davidson Fee Schedule
- Contact Information
- General Statement of Intent  
*(Use, building type, approx. square footage, height, design features)*
- Statement of Compliance with Section 2
- Master Plan or Conditional Planning Area  
*(Including all documents, plans, maps, and conditions of approval)*
- Environmental Inventory in accordance with Section 14.15.1  
*(Including adjacent properties and buildings)*
- General Description  
*(Including a description and color photographs to existing / adjacent site)*
- Site Schematic Design in accordance with Section 14.15.7
- Building Schematic Design in accordance with Section 14.15.3  
*(Including rendered elevations of each façade per 14.15.3 C)*
- Landscape Schematic Design in accordance with Section 14.15.5
- Building Perspective
- Building Materials/Colors  
*(Roofing, siding, doors, windows, etc.)*

*As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.*

\_\_\_\_\_

Applicant's Signature

\_\_\_\_\_

Date



# Design Review

Abersham Park - Picnic Shelter

(Name of Project)

## Contact Information

### Applicant's Information

Name: Alicia Rocco - Meck County Asset and Facility Management

E-Mail: Alicia.Rocco@mecklenburgcountync.gov

Mailing Address: 3205 Freedom Drive, Suite 101

Charlotte, NC 28208

Business Phone: 980-314-2501 Mobile Phone: 704-301-1165

### Property Owner's Information

(If Different from Applicant)

Name: Same as above

E-Mail: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Business Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_

### Architect's Information

Name of Firm: Wirth & Associates, INC.

Architect's Name: Gary Wirth

E-Mail: gwirth@wirthassociates.com

Mailing Address: 1230 W. Morehead Street, Suite 212

Charlotte, NC 28208

Business Phone: 704-375-1588 Mobile Phone: \_\_\_\_\_



# Design Review

Abersham Park - Picnic Shelter  
(Name of Project)

## Project Description

Application Date: \_\_\_\_\_

Project Location: 18559 Abersham Dr, Davidson, NC 28036

Tax Parcel(s): 00304 103

Planning Area: Rural Area Plan

Overlay District: \_\_\_\_\_

Master or Cond. Plan  
(Attach Conditions of Approval) \_\_\_\_\_

Gen. Statement of Intent: pre-fabricated metal picnic shelter

### Project Details:

- Project Type:
  - Individual Bldg.
  - Master Plan
  - Conditional Planning Area
  - Sign
- Building Type:
  - Detached House
  - Townhouse
  - Attached House (Tri- or Quadplex)
  - Institutional
  - Live/Work
  - Multi-family (Apts., Condos, Flats)
  - Workplace
  - Storefront
  - Accessory Structure

• Use(s): picnic shelter

• Height & Stories: 14', 1 story

• Square Footage: 917 SF

• Building Materials: metal and stone

Architectural Features: Mecklenburg County Standard pre-fabricated picnic shelter with stone columns added - see plans.

Existing Site Conditions: see plans

See 14.12.2.D

# Abersham Park - Picnic Shelter

18621 ABERSHAM DRIVE  
DAVIDSON, NORTH CAROLINA 28036

## DRAWING LIST

SHEET NO.	SHEET TITLE
L-1	OVERALL SITE PLAN
L-2	SITE PLAN
L-3	GRADING PLAN
L-4	PLANTING PLAN
A-1	MEDIUM SHELTER PLAN VIEW
A-2	MEDIUM SHELTER SECTIONS
A-3	STONE COLUMN WRAP DETAILS
A-4	SHELTER DETAILS
1.0	GENERAL INFORMATION, FRAME ELEVATIONS, ANCHOR BOLT LAYOUT
2.0	FRAME CONNECTIONS, T&G ROOF DETAILS AND LAYOUT
3.0	STANDING SEAM ROOF DETAILS AND LAYOUT
4.0	APPENDIX B

### PREPARED FOR:



*The Natural Place  
To Be...*

Mecklenburg County  
Park and Recreation

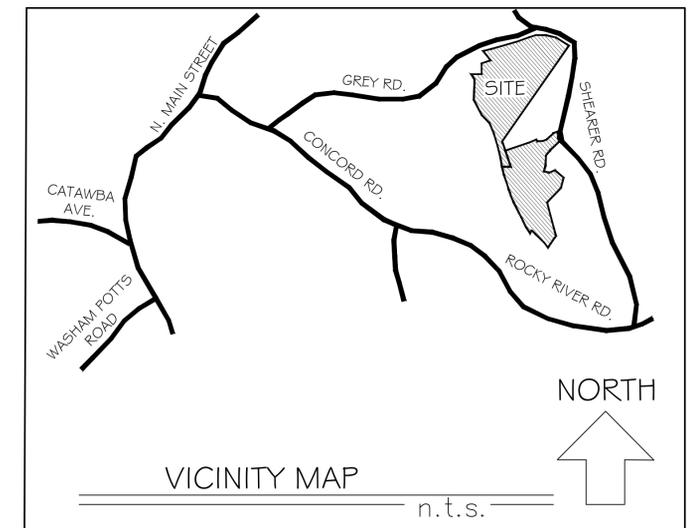
### PREPARED BY:

 **Wirth & Associates**  
LANDSCAPE ARCHITECTS AND LAND PLANNERS  
1230 W. Morehead St. Suite 212  
Charlotte, NC 28208  
Phone: 704-375-1588 Fax: 704-375-3844  
Email: gwirth@wirthassociates.com

### DRAWINGS ISSUED:

9.15.2017 100% CONSTRUCTION  
DRAWINGS - PERMIT SET

### DRAWINGS REVISED:

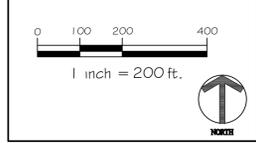
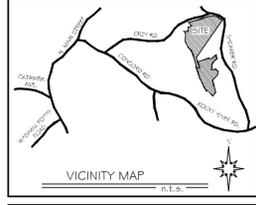




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*The Natural Place To Be...*  
**Mecklenburg County Park and Recreation**

PROJECT:  
**Abersham Park**  
 Davidson, North Carolina

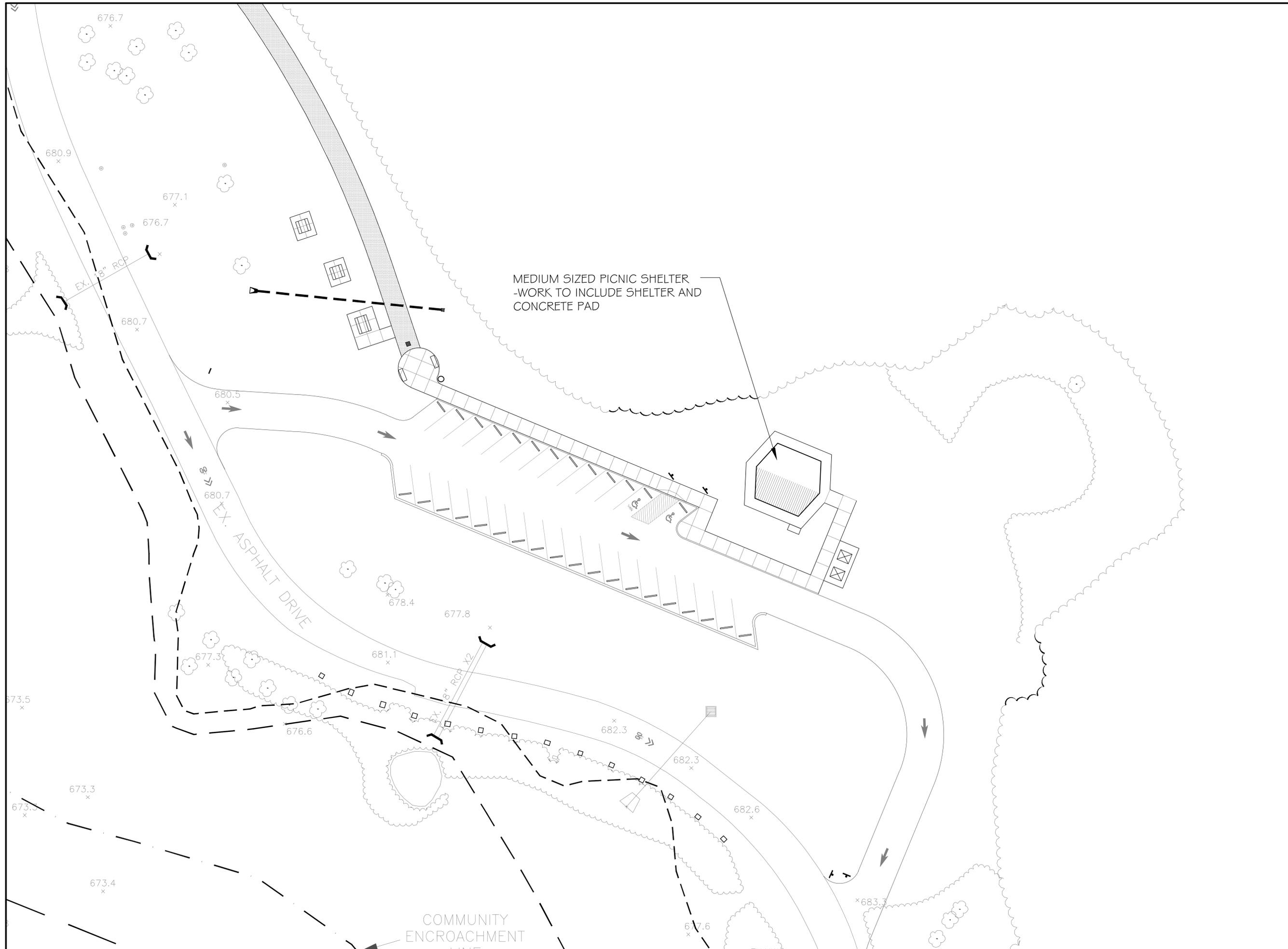
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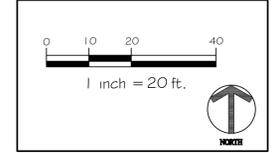
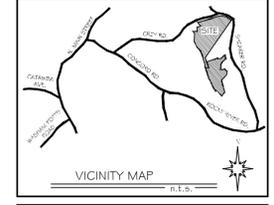
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**L-1**



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*The Natural Place To Be...*  
**Mecklenburg County Park and Recreation**

PROJECT:  
 Abersham Park  
 Davidson, North Carolina

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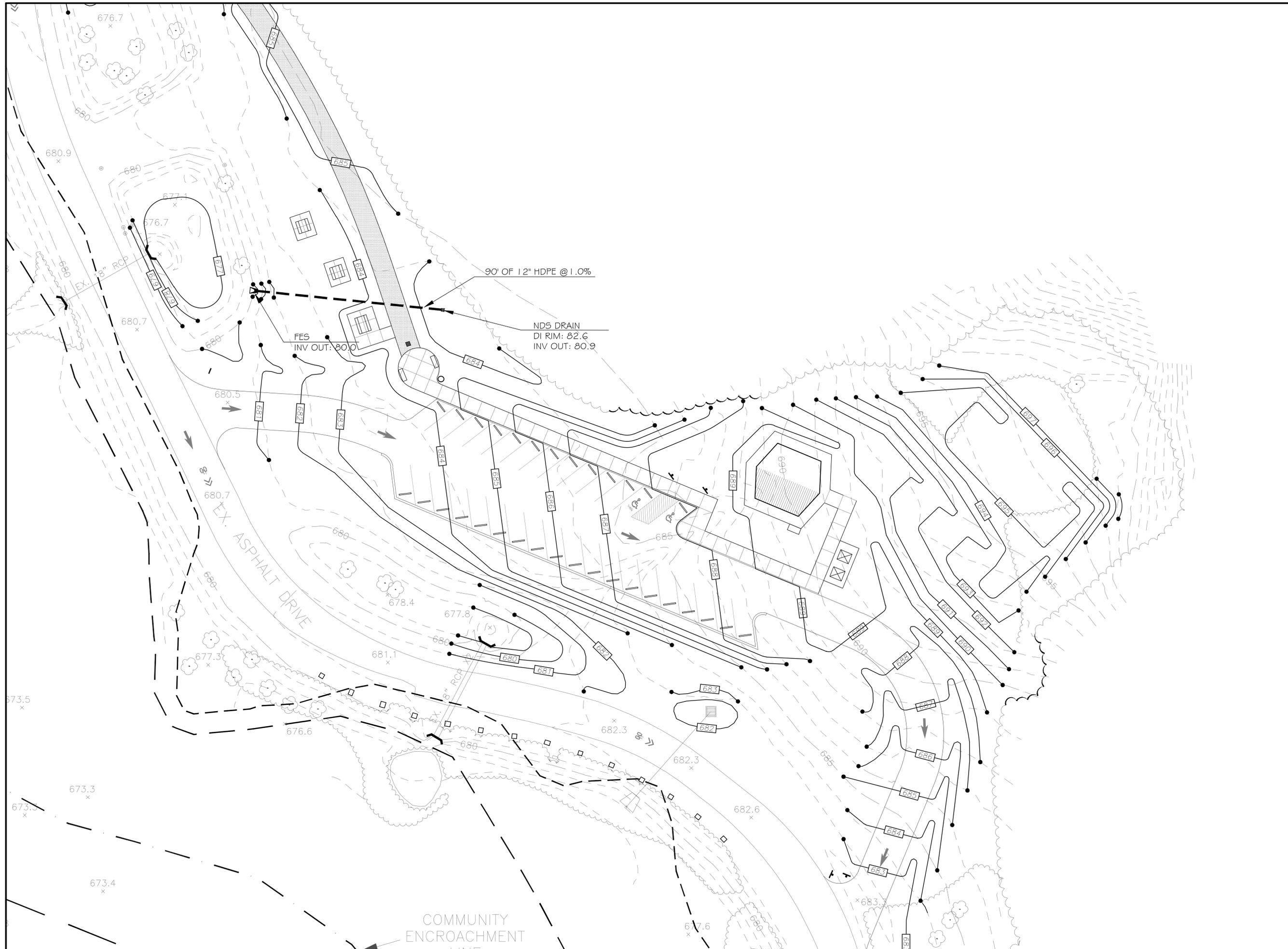
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SHEET TITLE:  
 SITE PLAN

SHEET NO.:  
 L-2



PREPARED FOR:



The Natural Place  
To Be...

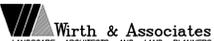
**Mecklenburg County  
Park and Recreation**

PROJECT:

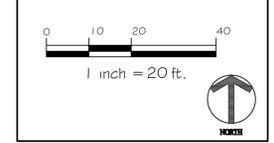
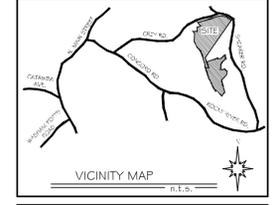
Abersham Park

Davidson, North Carolina

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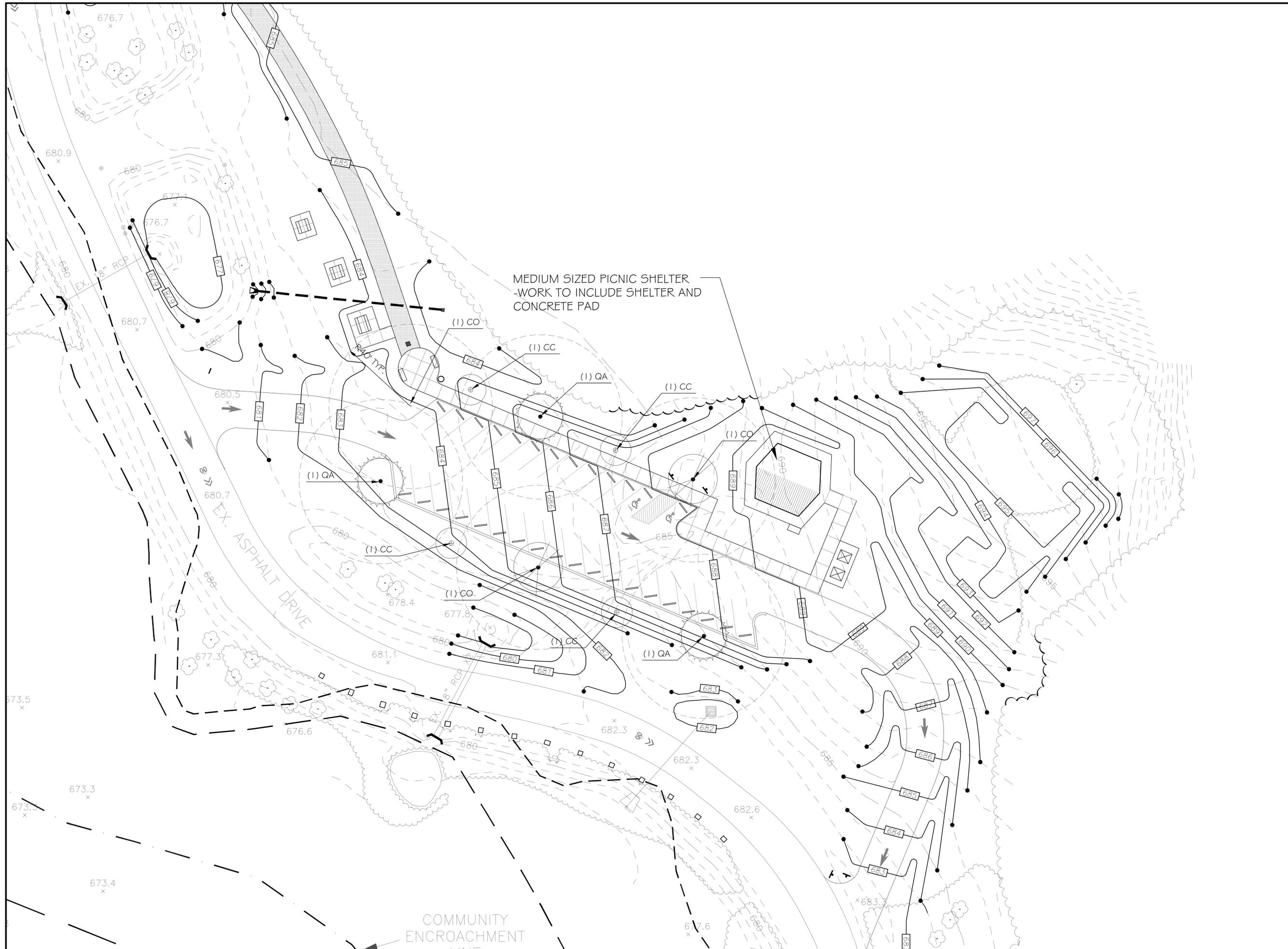
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SHEET TITLE:

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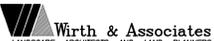
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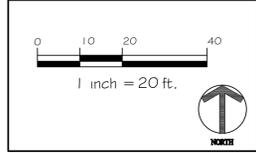
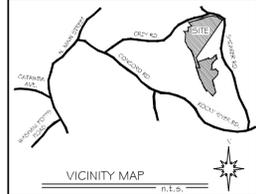
L-3



PREPARED FOR:  
  
*The Natural Place To Be...*  
**Mecklenburg County**  
**Park and Recreation**

PROJECT:  
 Abersham Park  
 Davidson, North Carolina

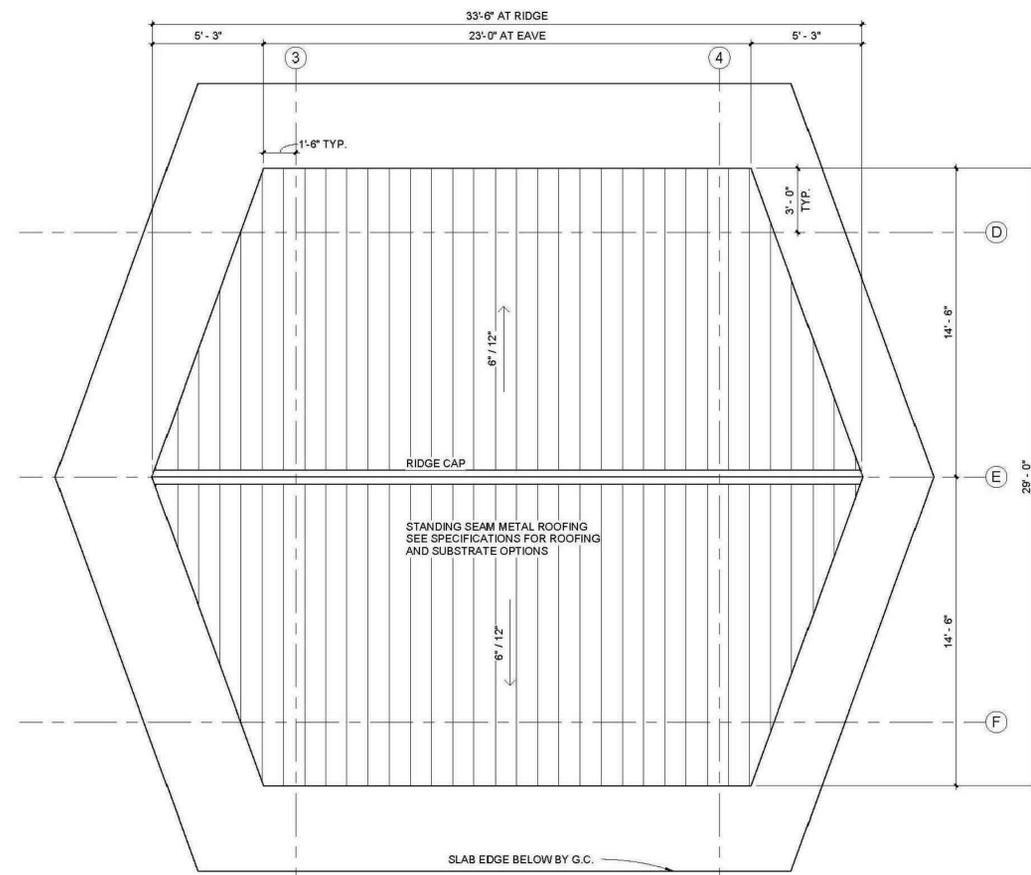
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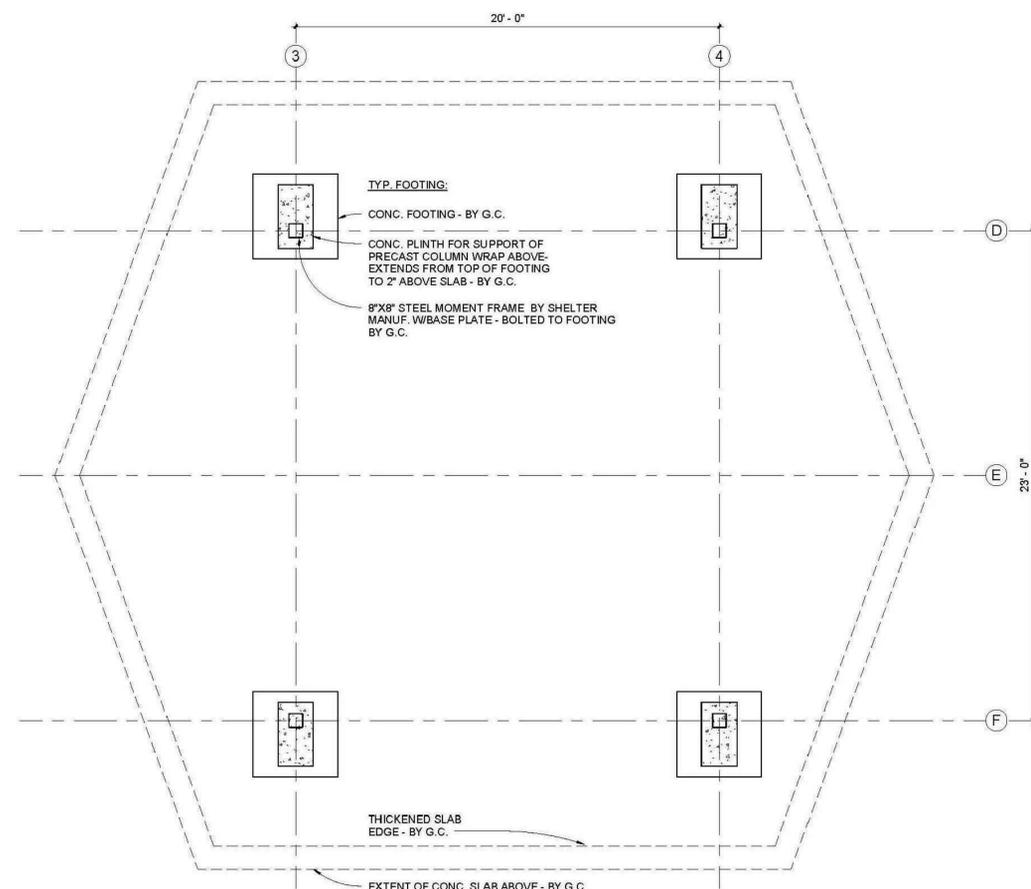
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 REVISIONS:  
 NO. DATE: DESCRIPTION: BY:

SHEET TITLE:  
 PLANTING PLAN

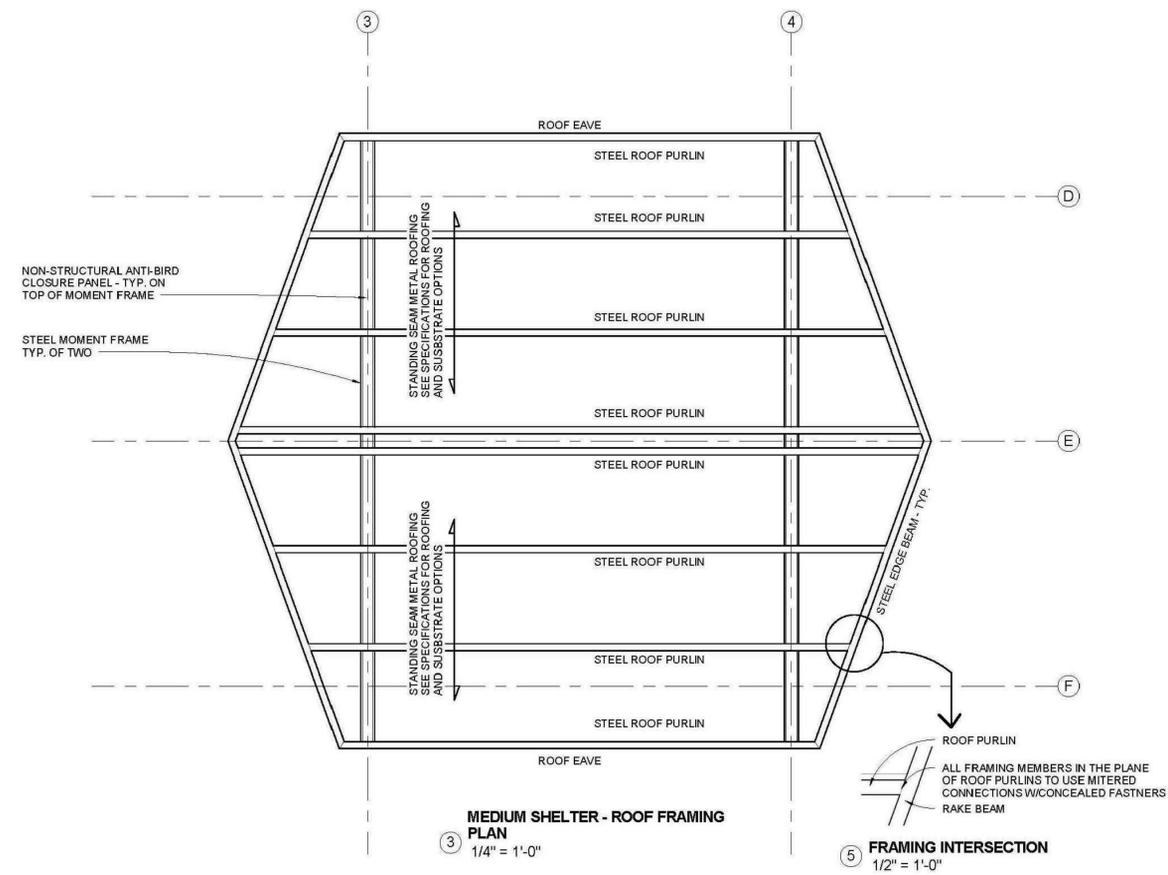
SHEET NO.:  
 L-4



④ MEDIUM SHELTER - ROOF PLAN  
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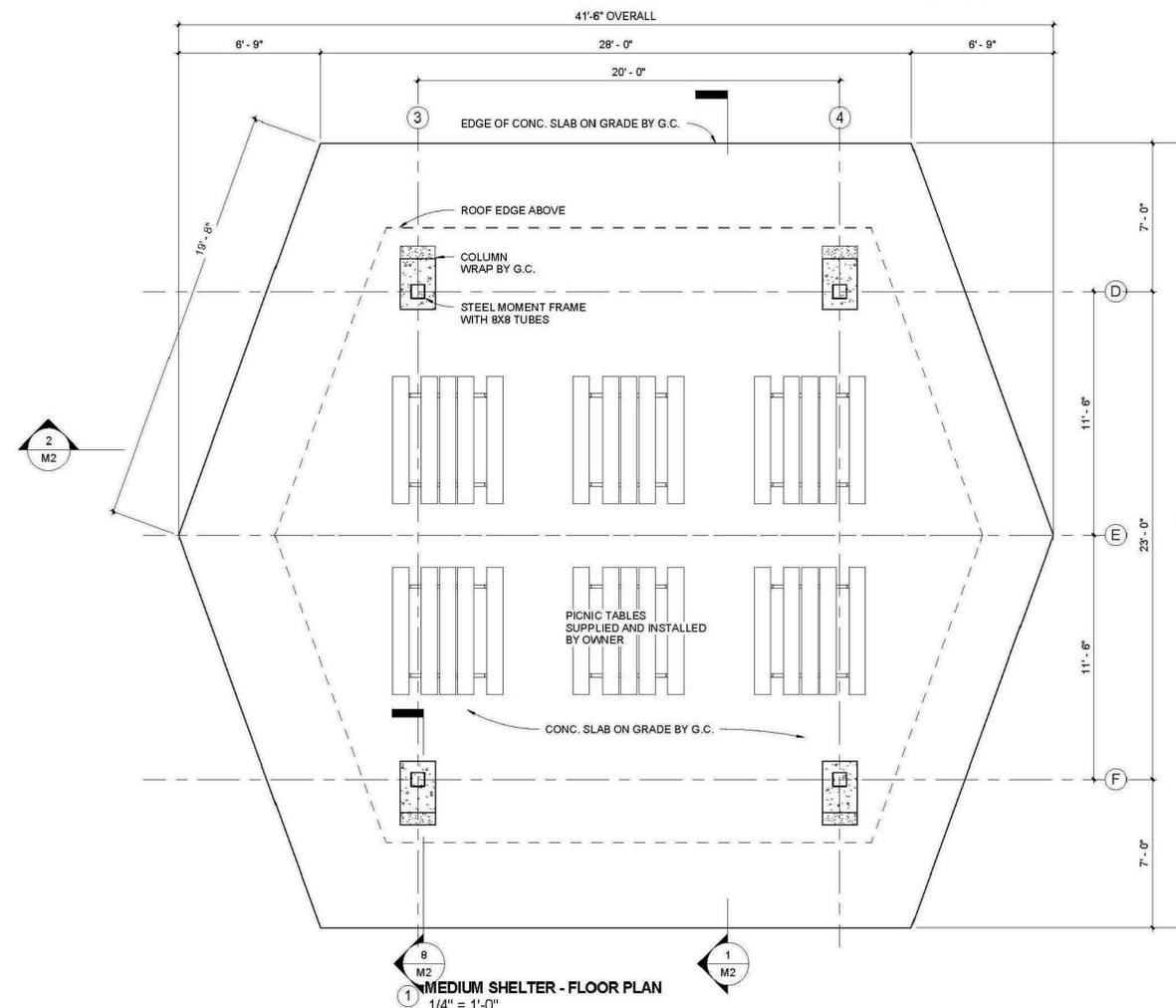


② MEDIUM SHELTER - FOUNDATION PLAN  
1/4" = 1'-0"



③ MEDIUM SHELTER - ROOF FRAMING PLAN  
1/4" = 1'-0"

⑤ FRAMING INTERSECTION  
1/2" = 1'-0"



① MEDIUM SHELTER - FLOOR PLAN  
1/4" = 1'-0"

PREPARED FOR:



The Natural Place  
To Be...  
Mecklenburg County  
Park and Recreation

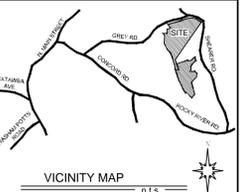
PROJECT:

Abersham Park

Davidson, North Carolina

PREPARED BY:

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Charlotte, NC 28208  
Phone: 704-375-1588 Fax: 704-375-3844  
Email: gw@wirthassociates.com



VICINITY MAP  
N.T.S.

SCALE: 1/4" = 1'-0"

DRAWN BY: CKG

CHECKED BY: GNW

SCALE: SEE SHEET

DATE: 9.15.2017

REVISIONS:

NO. DATE DESCRIPTION BY:

SHEET TITLE:

MEDIUM SHELTER  
PLAN VIEW

SHEET NO.:

A-1

PREPARED FOR:



The Natural Place  
To Be...  
Mecklenburg County  
Park and Recreation

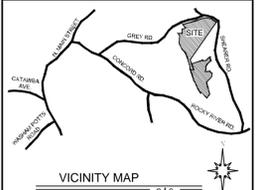
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VICINITY MAP

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CHECKED BY: GNW

SCALE: SEE SHEET

DATE: 9.15.2017

REVISIONS:

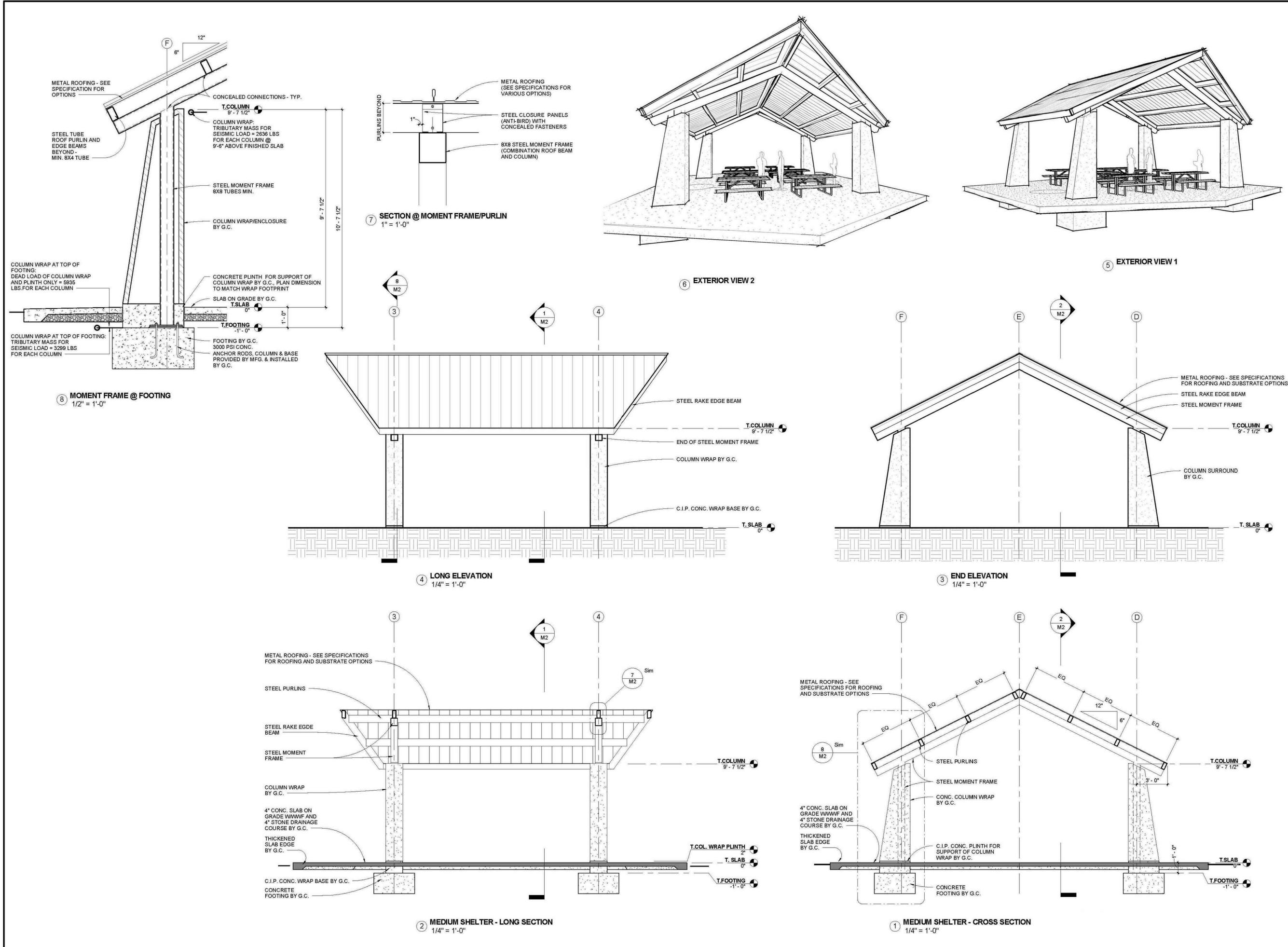
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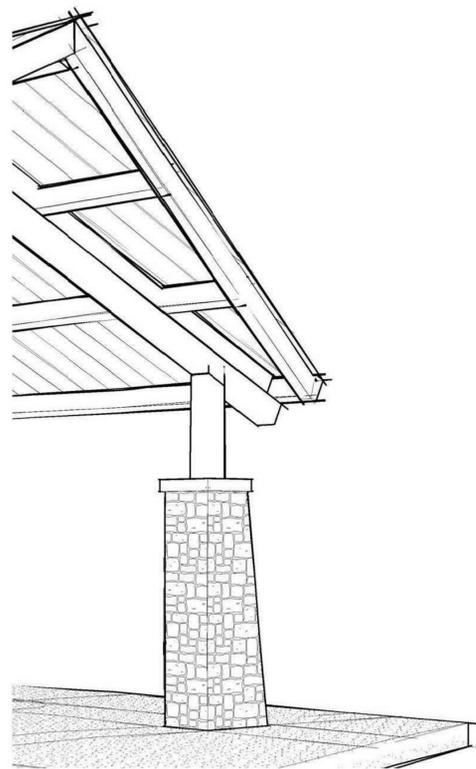
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SECTIONS

SHEET NO.:

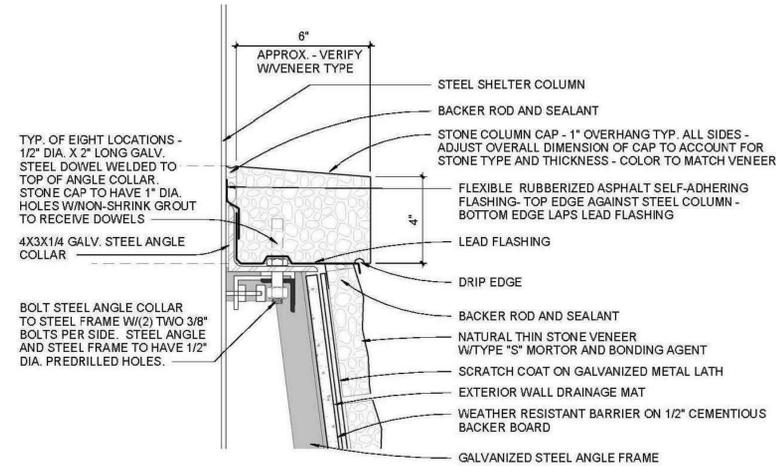
A-2



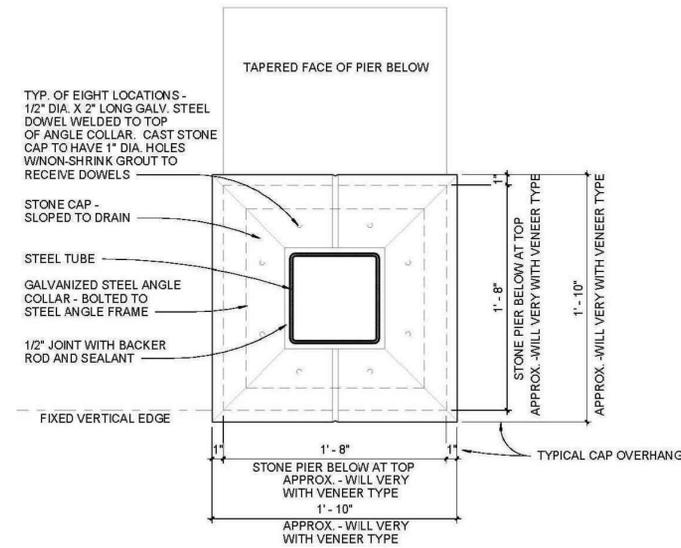
# STONE COLUMN WRAP DETAILS



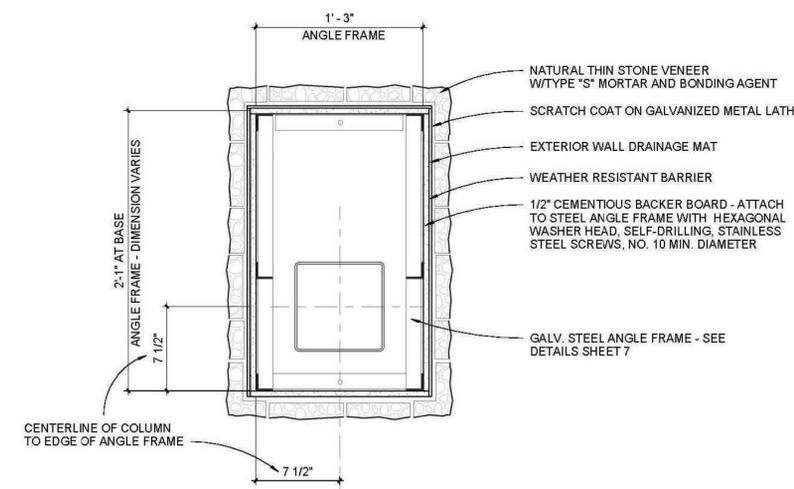
6 PERSPECTIVE - STONE COLUMN WRAP  
NTS



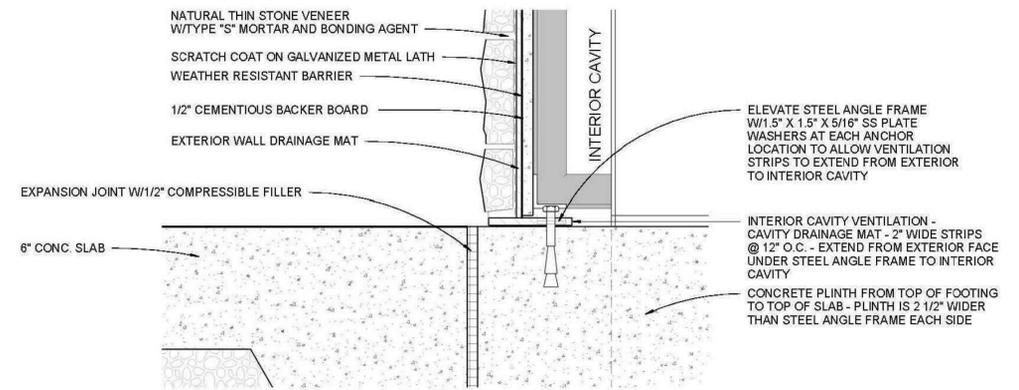
3 STONE COLUMN WRAP CAP  
NTS



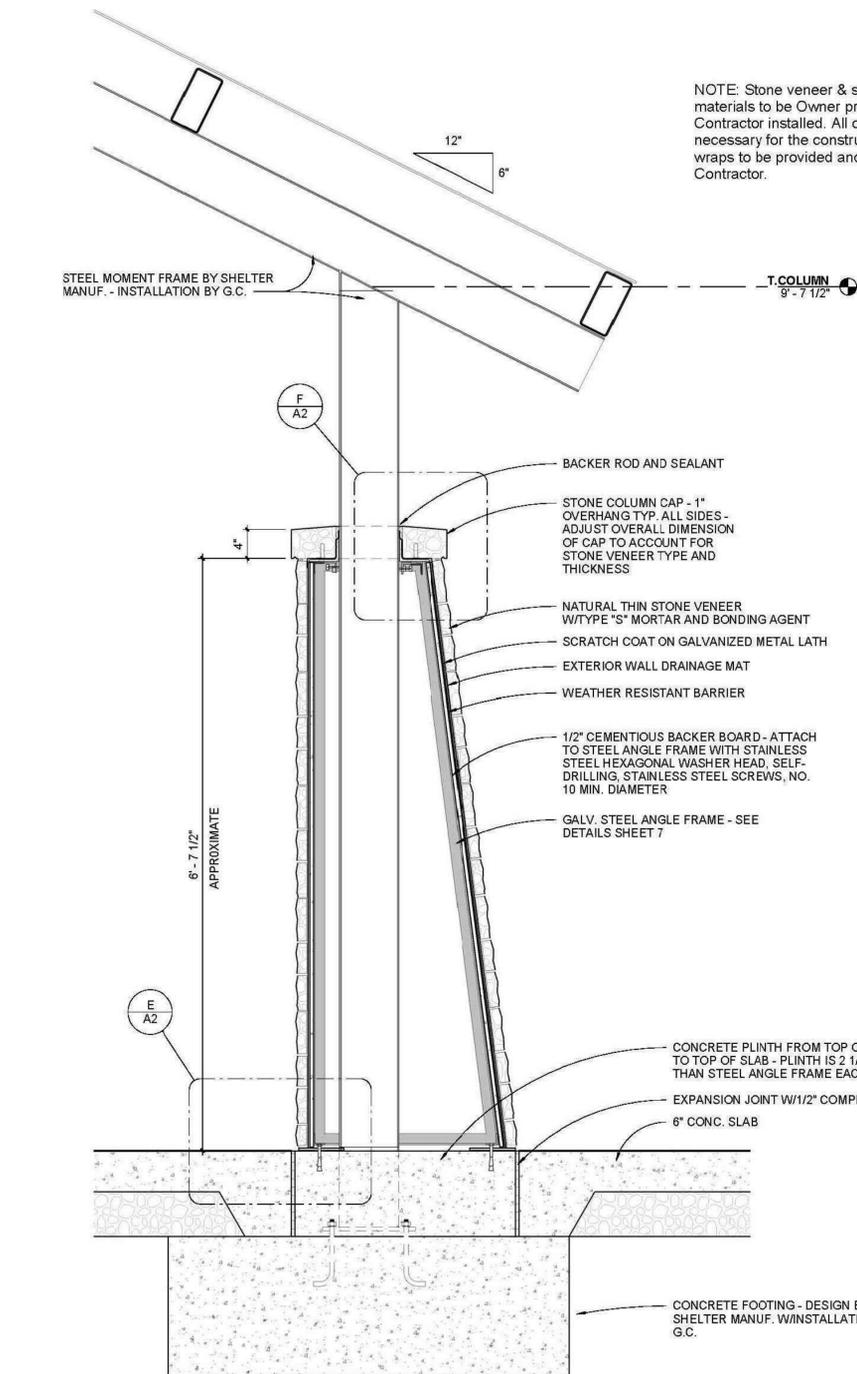
4 PIER CAP PLAN  
NTS



5 COLUMN WRAP FRAME  
NTS



2 STONE COLUMN WRAP SECTION  
NTS



1 STONE COLUMN WRAP BASE  
NTS

NOTE: Stone veneer & stone column cap materials to be Owner provided and Contractor installed. All other materials necessary for the construction of column wraps to be provided and installed by the Contractor.

PREPARED FOR:



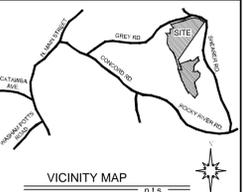
The Natural Place  
To Be...  
Mecklenburg County  
Park and Recreation

PROJECT:

Abersham/West  
Branch Rocky River  
Greenway  
Davidson, North Carolina

PREPARED BY:

Wirth & Associates  
LANDSCAPE ARCHITECTS AND LAND PLANNERS  
1230 W. Morehead St. Suite 212  
Charlotte, NC 28208  
Phone: 704-375-1588 Fax: 704-375-3844  
Email: gwirth@wirthassociates.com



DRAWN BY: CKG

CHECKED BY: GNW

SCALE: N.T.S.

DATE: 9.15.2017

REVISIONS:

NO. DATE: DESCRIPTION: BY:

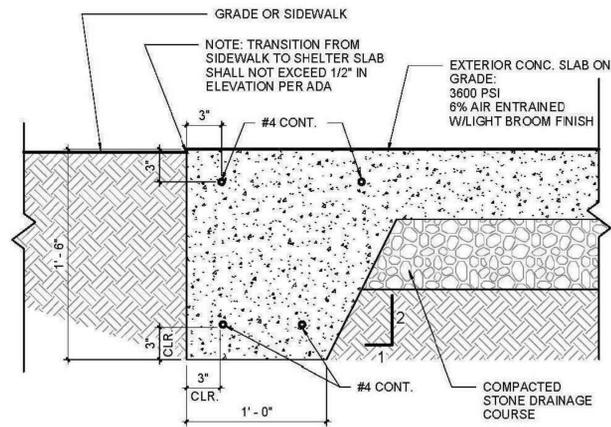
SHEET TITLE:

STONE COLUMN  
WRAP DETAILS

SHEET NO.:

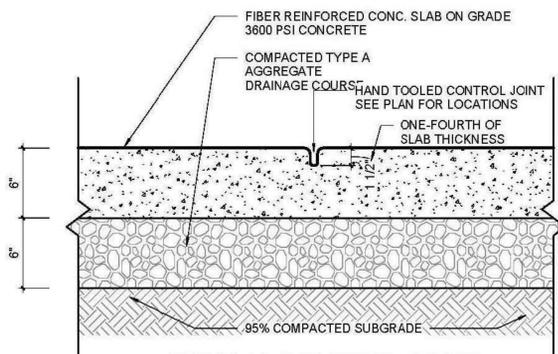
A-3

# SHELTER SLAB DETAILS

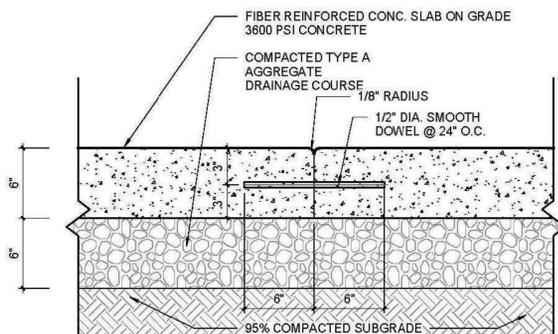


TYPICAL TURN DOWN EDGE

6 TYPICAL EXTERIOR SLAB TURNDOWN EDGE  
NTS

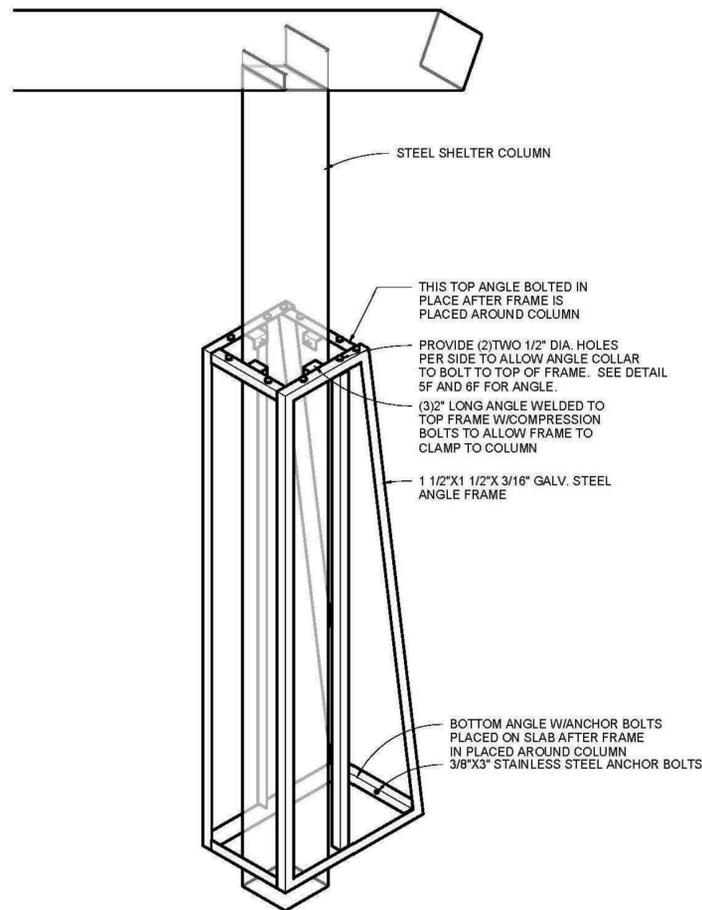


TYPICAL CONTROL JOINT  
NOTE: CONTROL OR CONSTRUCTION JOINTS @ 12'-0" MAX.



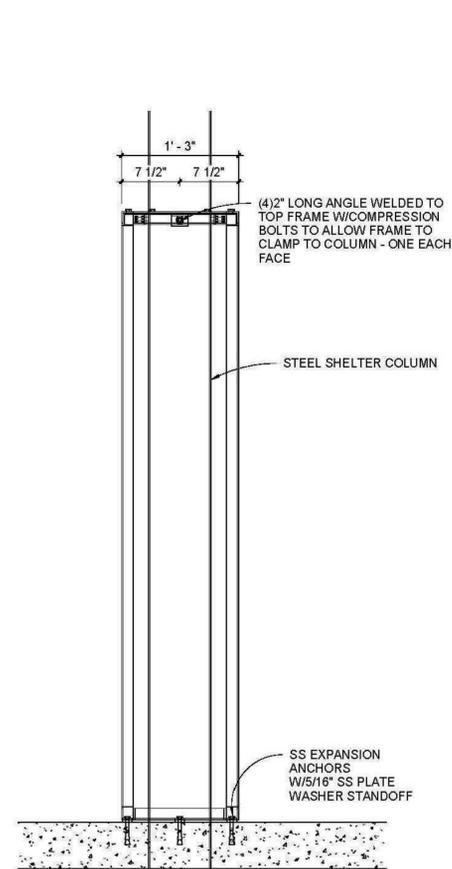
TYPICAL CONSTRUCTION JOINT  
NOTE: CONTROL OR CONSTRUCTION JOINTS @ 12'-0" MAX.

7 TYPICAL SLAB JOINTS  
NTS

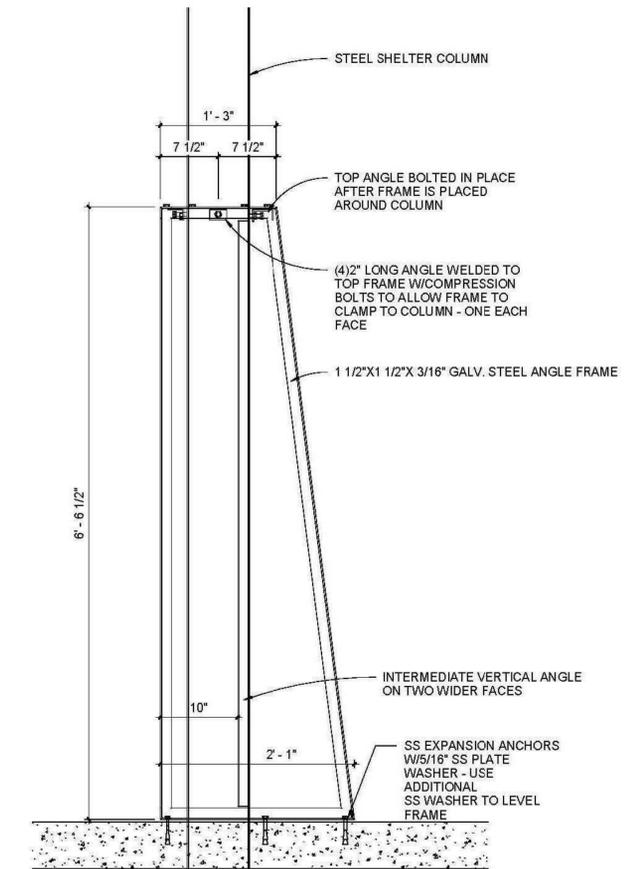


3 COLUMN WRAP FRAME  
NTS

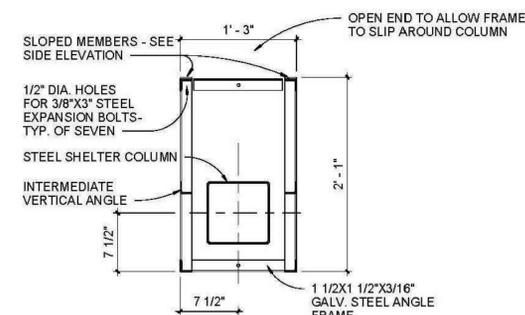
# COLUMN WRAP - STEEL ANGLE FRAME



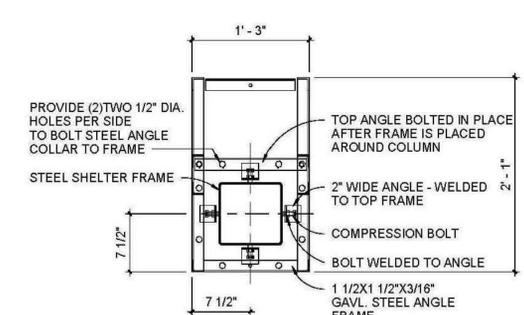
2 COLUMN WRAP STEEL FRAME - END ELEVATION  
NTS



1 COLUMN WRAP STEEL FRAME - SIDE ELEVATION  
NTS



5 COLUMN WRAP STEEL FRAME - END ELEVATION  
NTS



4 COLUMN WRAP FRAME @ TOP  
NTS

PREPARED FOR:



The Natural Place  
To Be...  
Mecklenburg County  
Park and Recreation

PROJECT:

Abersham/West  
Branch Rocky River  
Greenway  
Davidson, North Carolina

PREPARED BY:

Wirth & Associates  
LANDSCAPE ARCHITECTS AND LAND PLANNERS  
1230 W. Morehead St. Suite 212  
Charlotte, NC 28208  
Phone: 704-375-1588 Fax: 704-375-3844  
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DRAWN BY: CKG

CHECKED BY: GNW

SCALE: N.T.S.

DATE: 9.15.2017

REVISIONS:

NO. DATE: DESCRIPTION: BY:

SHEET TITLE:

SHELTER DETAILS

SHEET NO.:

A-4

**TABLE OF CONTENTS**

- 1.0 GENERAL INFORMATION, FRAME ELEV., ANCHOR BOLT LAYOUT
- 2.0 FRAME CONNECTIONS, T&G ROOF DETAILS AND LAYOUT
- 3.0 STANDING SEAM ROOF DETAILS AND LAYOUT
- 4.0 APPENDIX B

**DESIGN LOADS**

CODE: 2012 NORTH CAROLINA BUILDING CODE  
 TOTAL DEAD: 11.01 P.S.F.  
 FRAME DEAD: 5.01 P.S.F.  
 ROOF DEAD: 3.50 P.S.F.  
 COLLATERAL DEAD: 2.50 P.S.F.  
 ROOF LIVE LOAD: 18.00 P.S.F.  
 GROUND SNOW LOAD: 20.00 P.S.F.  
 ROOF SNOW LOAD: 20.00 P.S.F.  
 WIND SPEED: 90.00 M.P.H.  
 EXPOSURE: C  
 SEISMIC USE GROUP: I  
 SEISMIC SITE CLASS: D  
 SEISMIC DESIGN CATEGORY: C  
 SEISMIC ANALYSIS: EQUIVALENT ASSUMED BEARING PRESSURE FOR SOIL: 1500 P.S.F.

**NOTES**

**MATERIALS** (ASTM DESIGNATION)  
 TUBE STEEL (HSS HOLLOW STRUCTURAL SECTION) A-500 GRADE B  
 WIDE FLANGE SECTIONS A-992  
 STRUCTURAL STEEL PLATE A-36  
 ROOF PANELS (STEEL) A-446  
 ANCHOR BOLTS F1554 GRADE 36  
 CONNECTION BOLTS A-325

ALL WELDING CONFORMS TO THE LATEST EDITION OF AWS D1.1 OR D1.3 AS REQUIRED. ALL WELDING IS PERFORMED BY AWS CERTIFIED WELDERS.

IF THESE DRAWINGS ARE SEALED, THE SEAL APPLIES ONLY TO THE MATERIALS SUPPLIED BY ICON SHELTER SYSTEMS INC. AND IS NOT INTENDED AS THE SEAL OF THE ENGINEER OF RECORD FOR THE ENTIRE PROJECT.

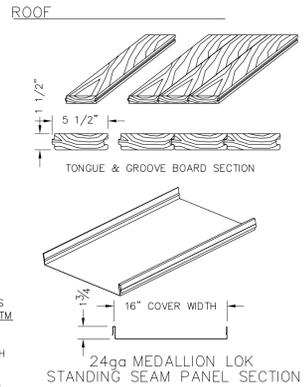
DUE TO STANDARDIZED FABRICATION PARTS SHOWN MAY BE UPGRADED, REFER TO THE SHIPPING BILL OF MATERIALS FOR POSSIBLE SUBSTITUTIONS.

ICON SHELTER SYSTEMS INC. RECOMMENDS THAT THE PRIMARY FRAMING INSTALLER AND THE ROOF INSTALLER HAVE A MINIMUM OF FIVE (5) YEARS OF DOCUMENTED EXPERIENCE INSTALLING THIS TYPE OF PRODUCT.

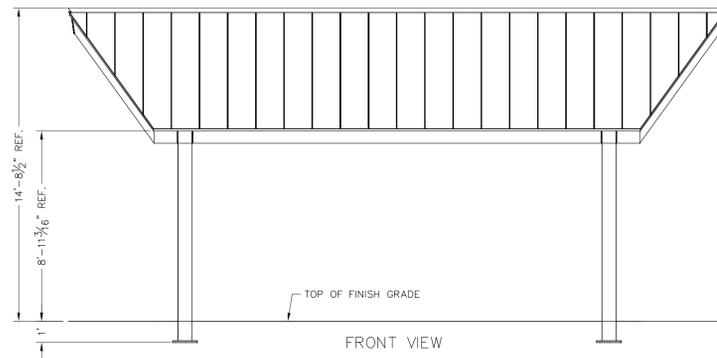
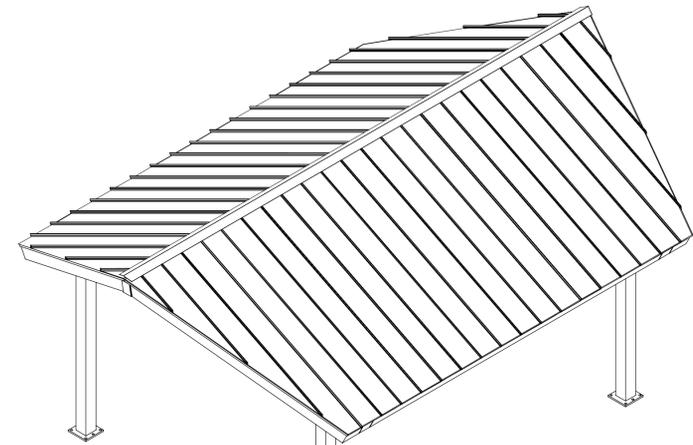
**HIGH STRENGTH BOLTING**  
 ALL HIGH STRENGTH BOLTS ARE A-325 BOLTS WITH HEAVY HEX NUTS. THE BOLTS ARE TO BE INSTALLED UTILIZING THE "SPECIFICATION FOR STRUCTURAL JOINTS, ASTM A325 OR A490 BOLTS" (12/31/2009) AS PREPARED BY RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS (RSCC) FOR THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC). THE BOLTS SHALL BE INSTALLED AS SNUG TIGHTENED, WHICH IS DEFINED AS THE TIGHTNESS THAT IS ATTAINED WITH A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF AN IRONWORKER USING AN ORDINARY SPUD WRENCH TO BRING THE PLIES INTO FIRM CONTACT, WHICH IS THE CONDITION WHEN THE PLANES OF CONTACT BETWEEN TWO PLIES ARE SOLIDLY SEATED AGAINST EACH OTHER, BUT NOT NECESSARILY IN CONTINUOUS CONTACT WITH UTILIZATION OF THE SNUG TIGHTENING METHOD, NO WASHERS ARE REQUIRED.

IT IS THE RESPONSIBILITY OF THE INSTALLER TO INSURE PROPER TIGHTNESS.

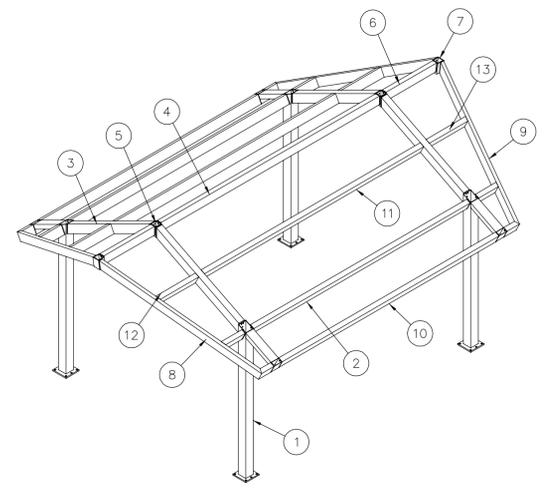
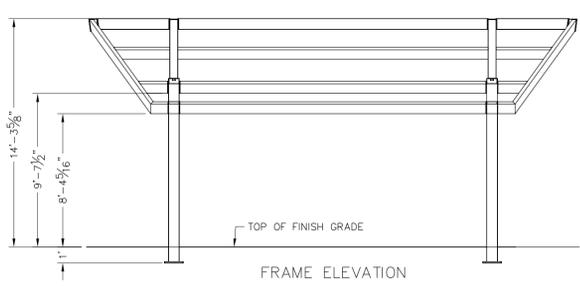
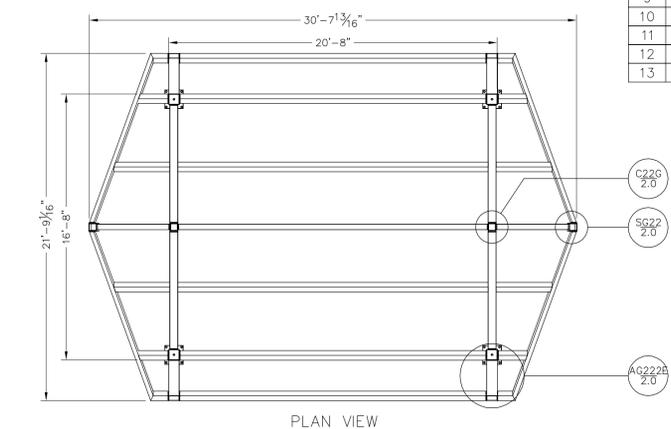
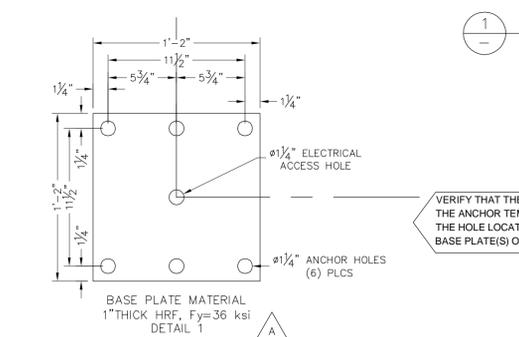
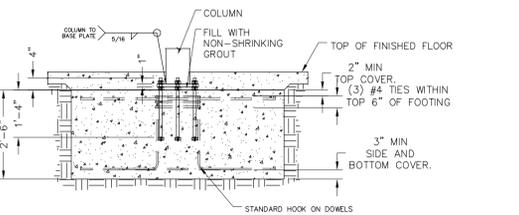
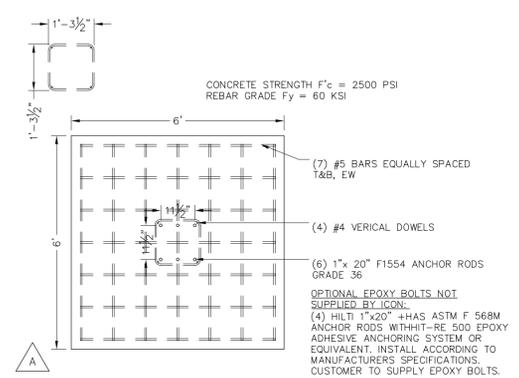
PROPER ERECTION OF THE FRAMING MEMBERS REQUIRES THE MAIN COLUMNS TO BE PLUMB & SQUARE. COLUMNS, RAFTER, AND THE BEAM CONNECTIONS MUST BE TIGHTENED BEFORE INSTALLING THE PURLINS. PURLINS MUST BE PARALLEL TO THE TIE BEAMS AND EAVE BEAMS.



NOTE: T&G FACTORY STAINED WITH A CLEAR COAT ON (1) SIDE ONLY



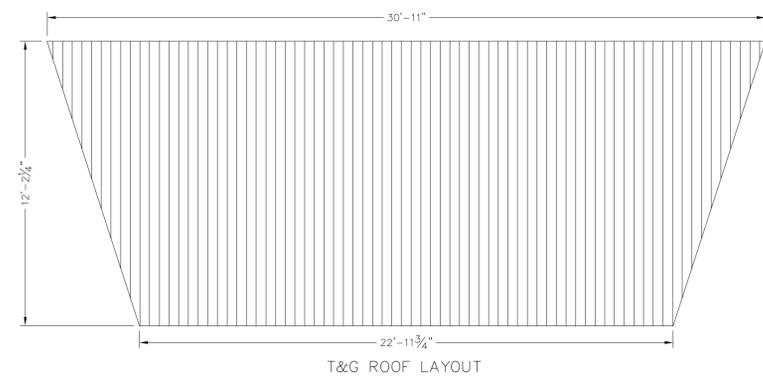
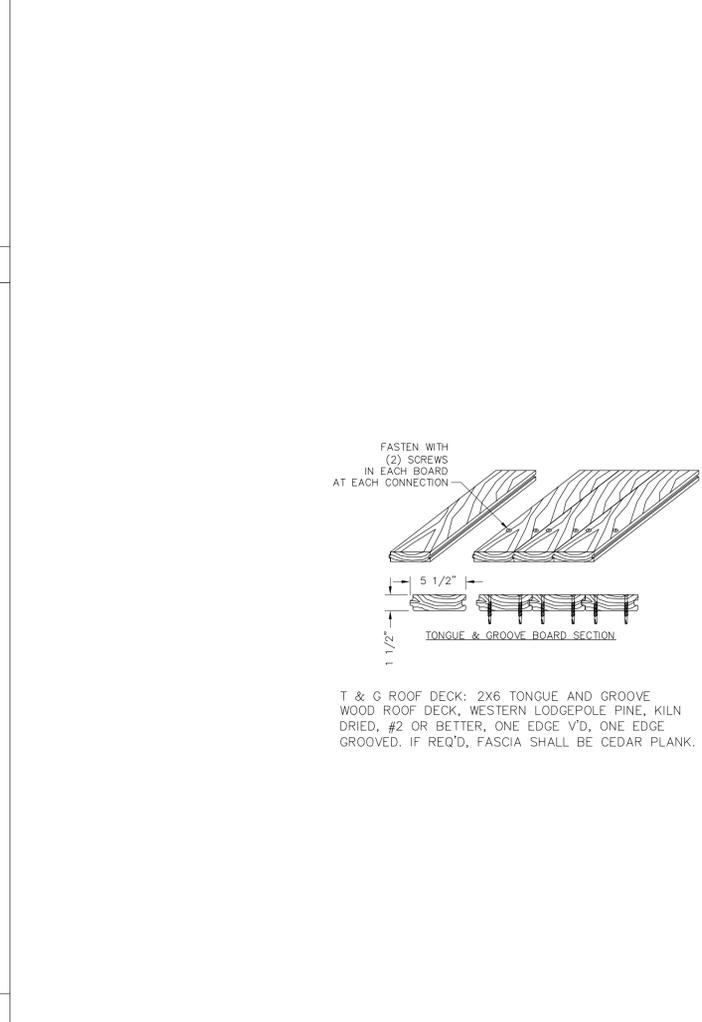
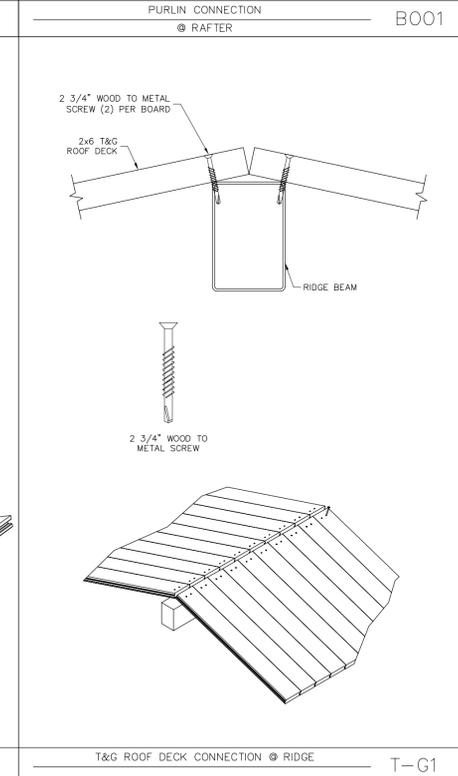
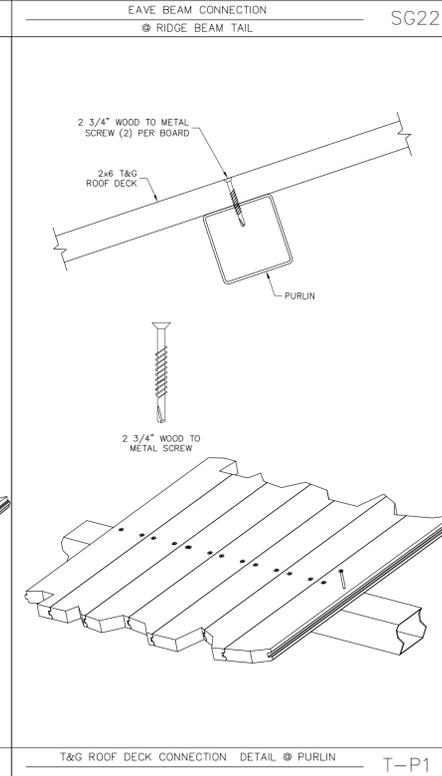
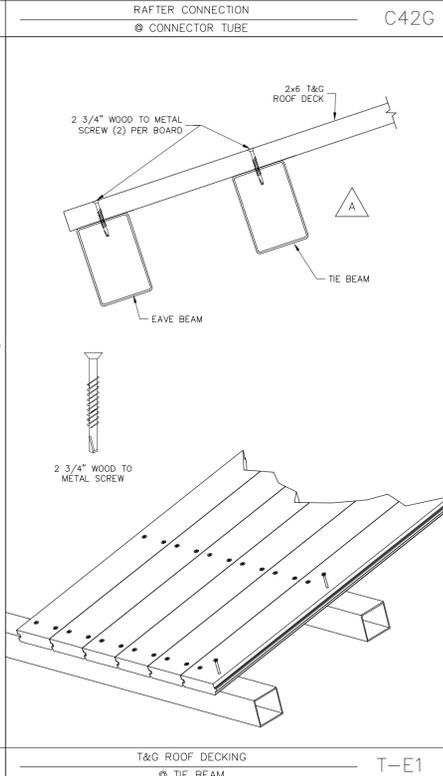
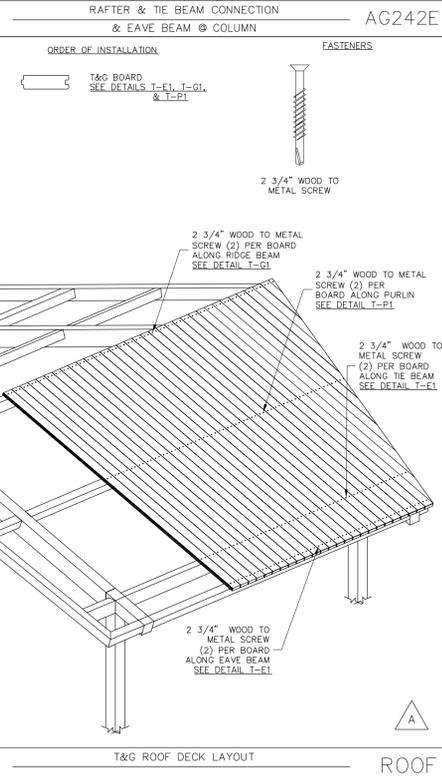
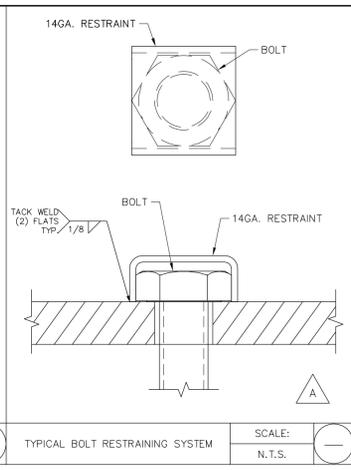
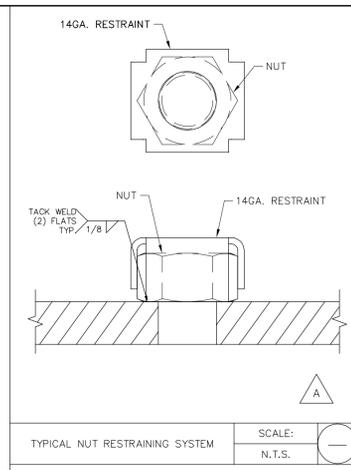
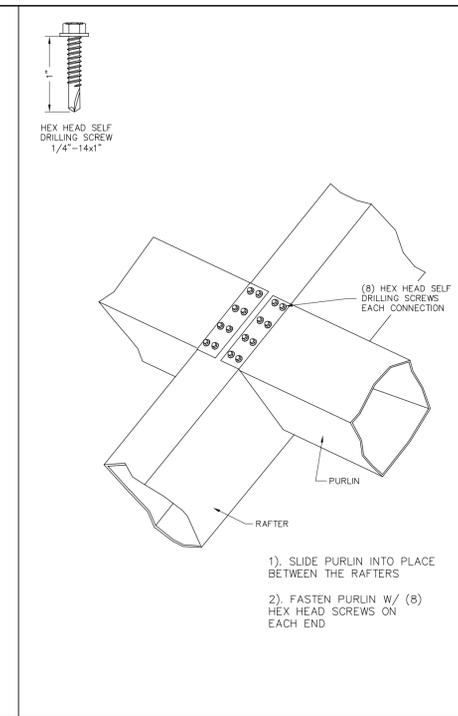
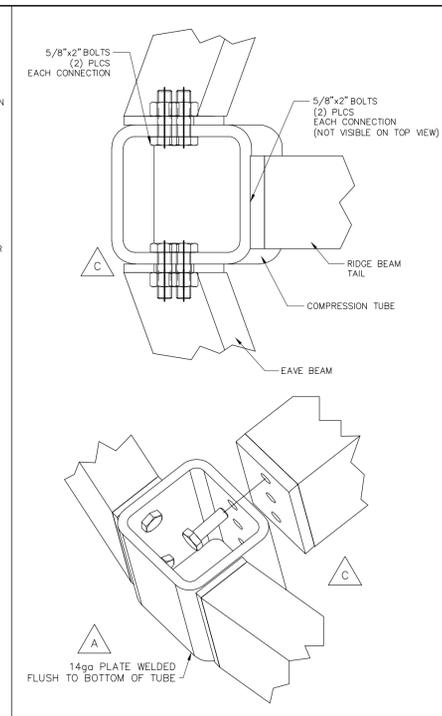
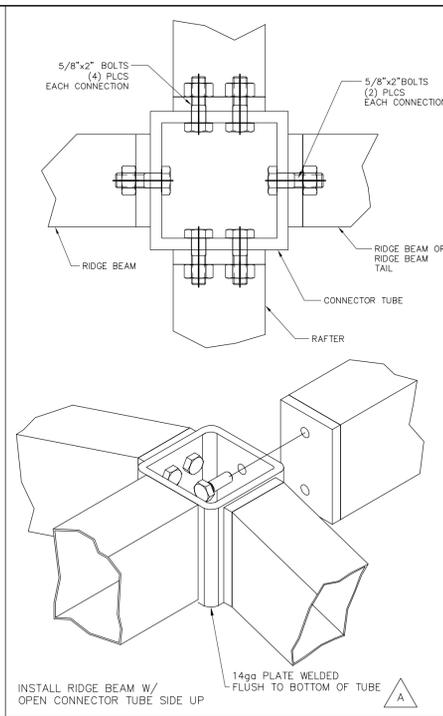
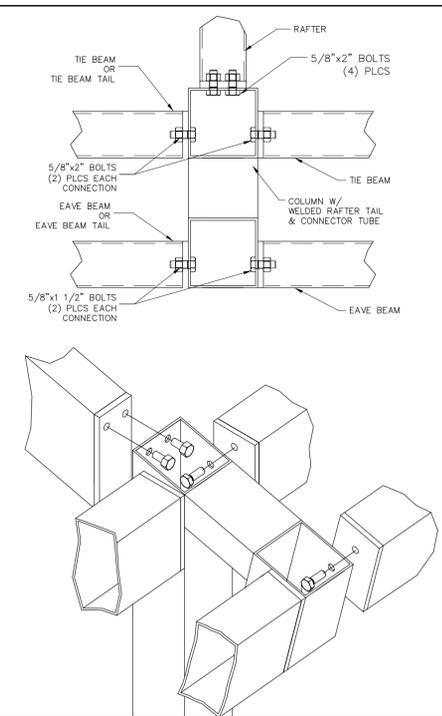
QTY	PART NUMBER	DESCRIPTION	MEMBER SIZE	LENGTH
1	4	COLUMN	HSS8X8X0.1875	-
2	2	TIE BEAM	HSS8X4X0.125	-
3	4	RAFTER	HSS8X6X0.1875	-
4	1	RIDGE BEAM	HSS8X4X0.125	-
5	2	RAFTER COMPRESSION TUBE	HSS6X6X0.5	-
6	2	RIDGE BEAM TAIL	HSS8X4X0.125	-
7	2	EAVE COMPRESSION TUBE	HSS6X6X0.5	-
8	2	LH RAKE EAVE BEAM WELDMNT	HSS8X3X0.125	-
9	2	RH RAKE EAVE BEAM WELDMNT	HSS8X3X0.125	-
10	2	EAVE BEAM	HSS8X4X0.125	-
11	2	PURLIN	HSS8X4X0.1875	-
12	2	LH PURLIN TAIL	HSS8X4X0.125	-
13	2	RH PURLIN TAIL	HSS8X4X0.125	-



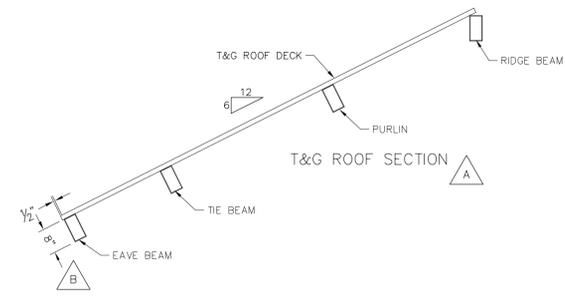
GENERAL INFORMATION, FRAME ELEVATIONS, ANCHOR BOLT LAYOUT

DRAWN BY: KC  
 DATE: 5/5/2016  
 JOB NO.: 4860  
 REVISION: C  
 BUILDING TYPE: RG22x31TS-P6  
 PROJECT NAME: MECKLENBURG COUNTY PARKS AND REC. CHARLOTTE, NC

SHEET 10



NOTE: ALL T&G BOARDS ARE CONTINUOUS



NOTE TO INSTALLERS:  
WITH FACTORY POWDERCOATED SHELTERS, PAINT EXPOSED FASTENERS OF COMPRESSION RINGS, ORNAMENTATION, KNIFE PLATES, ETC. WITH PROVIDED TOUCH UP PAINT TO PREVENT RUSTING OF FASTENERS

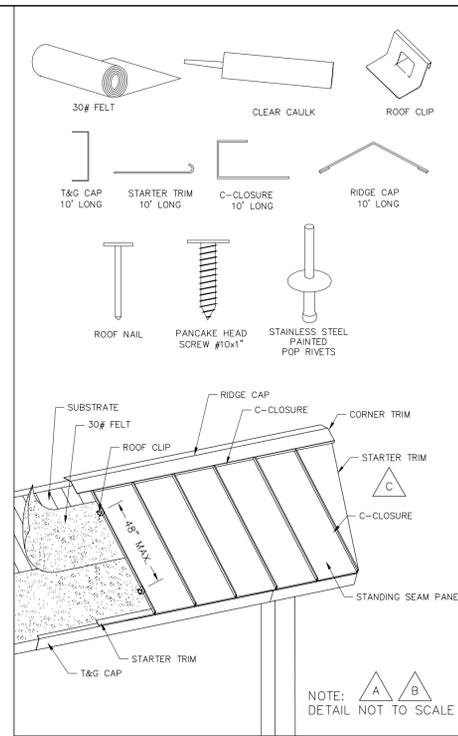
**PAINT EXPOSED FASTENERS**

DRAWN BY: KC  
DATE: 5/5/2016  
JOB NO.: 4860  
REVISION: C  
BUILDING TYPE: RG22x31TS-P6  
PROJECT NAME: MECKLENBURG COUNTY PARKS AND REC. CHARLOTTE, NC

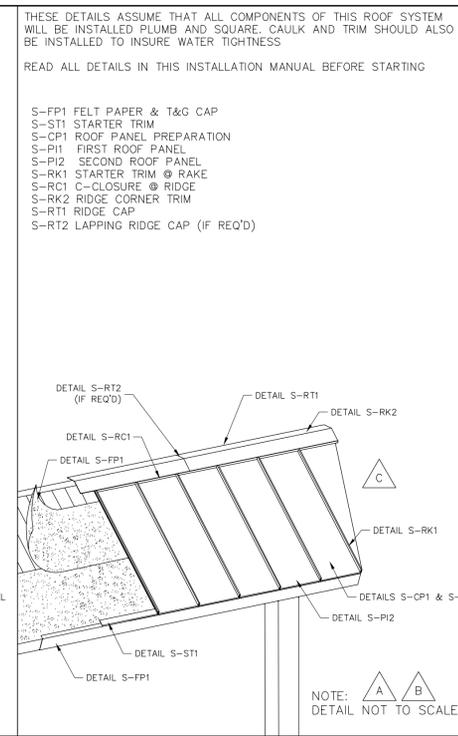


**SHEET**  
**2.0**

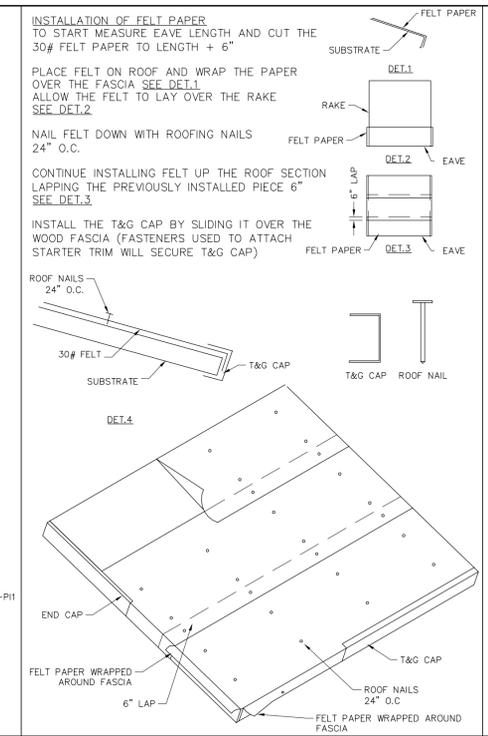
5/12/2016  
SEE ALL NOTES ON THE MATERIALS SPECIFICATIONS SHEET FOR THE PROJECT.  
THIS SHEET IS TO BE USED AS A REFERENCE ONLY. THE PROJECT ARCHITECT OR OWNER SHALL BE RESPONSIBLE FOR ANY CHANGES TO THIS SHEET.



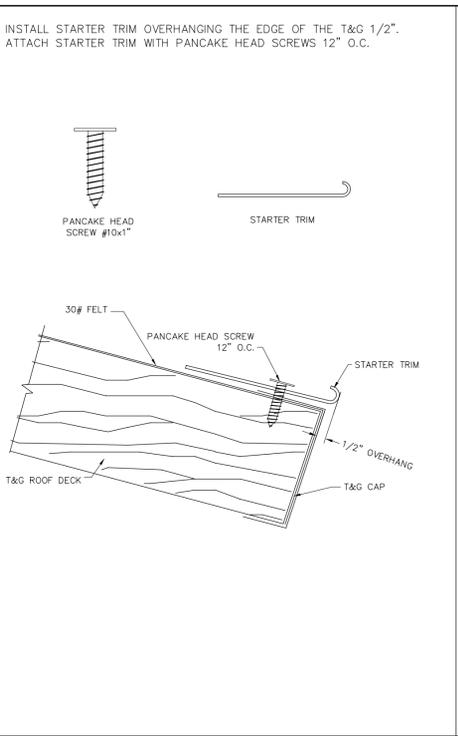
TRIM REFERENCE



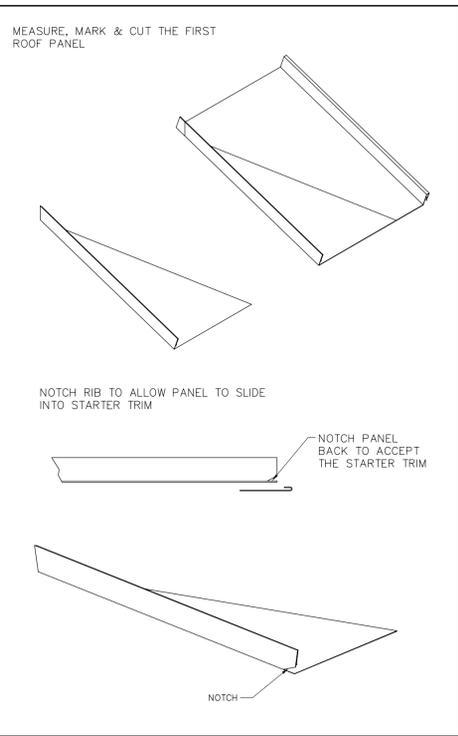
ORDER OF INSTALLATION



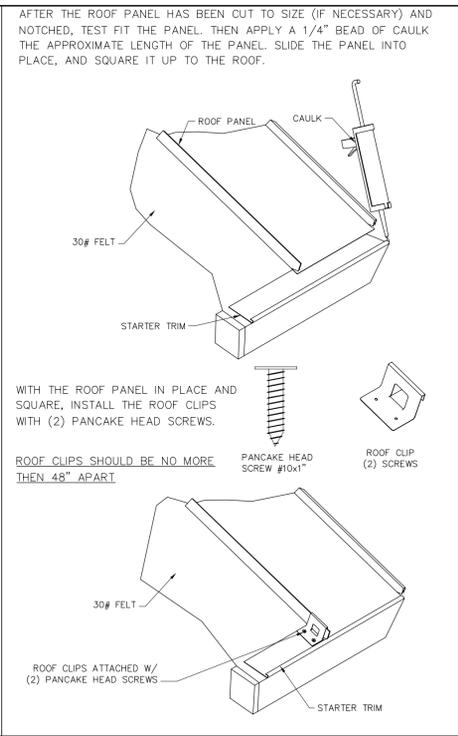
FELT PAPER INSTALLATION S-FP1



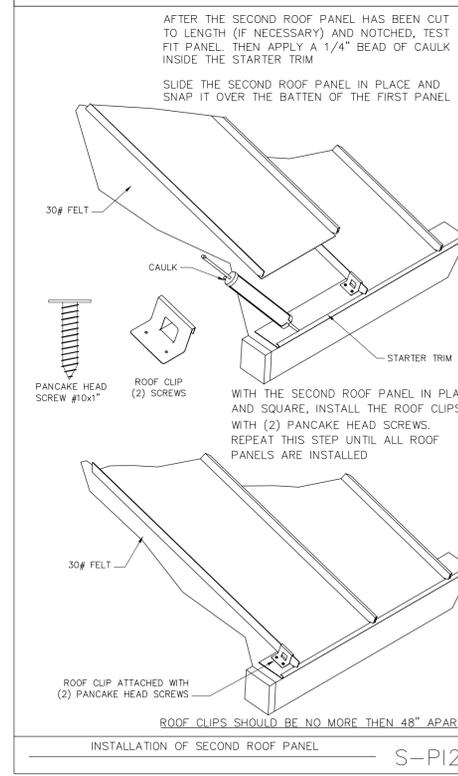
STARTER INSTALLATION S-ST1



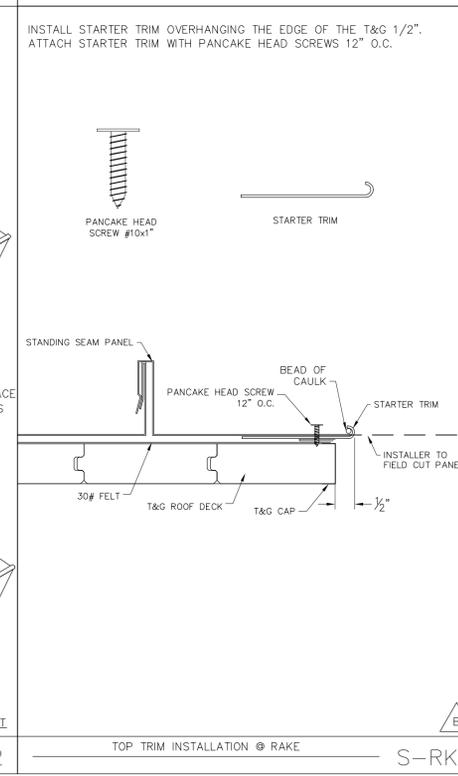
FIELD CUTTING ROOF PANELS S-CP1



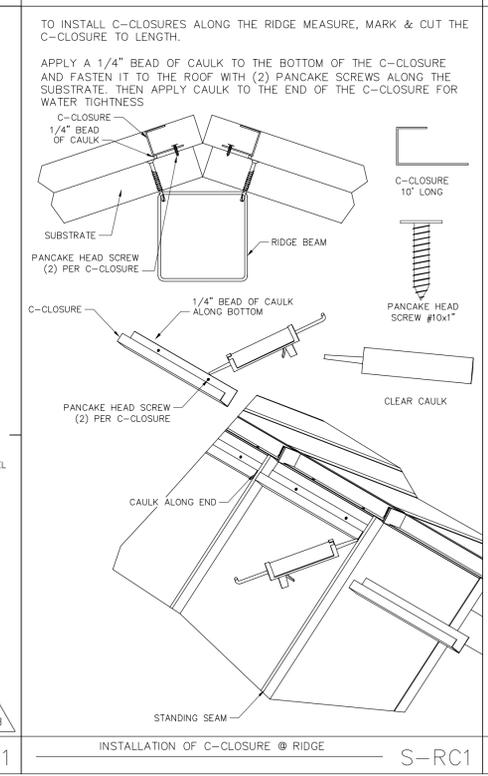
INSTALLATION OF FIRST ROOF PANEL S-P11



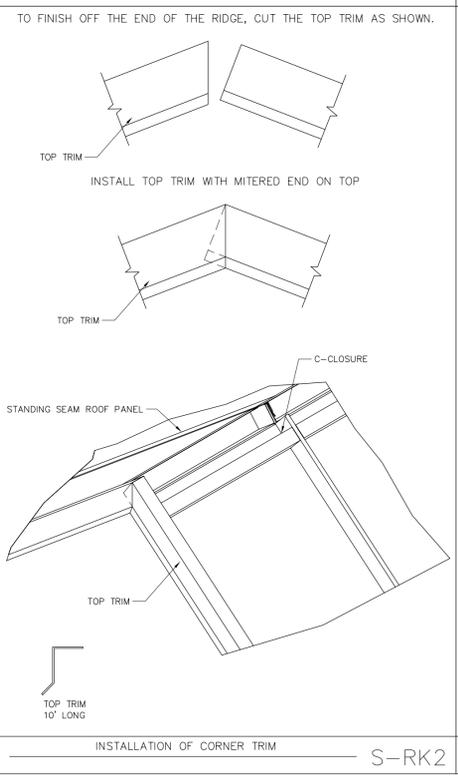
INSTALLATION OF SECOND ROOF PANEL S-PI2



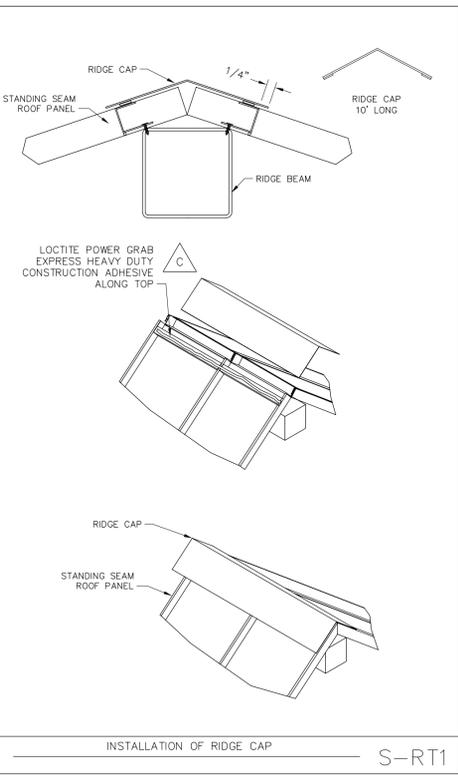
TOP TRIM INSTALLATION @ RAKE S-RK1



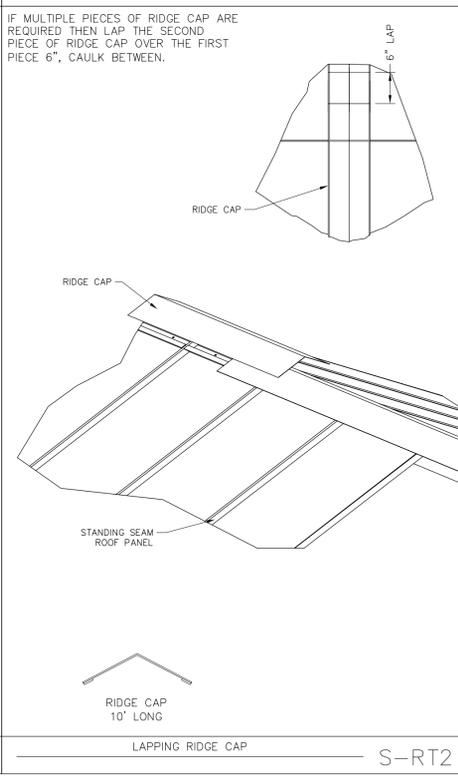
INSTALLATION OF C-CLOSURE @ RIDGE S-RC1



INSTALLATION OF CORNER TRIM S-RK2



INSTALLATION OF RIDGE CAP S-RT1



LAPPING RIDGE CAP S-RT2



THE DETAILS SHOWN ARE SUGGESTIONS OR GUIDELINES ON HOW TO ERECT THE METAL ROOFING SYSTEM. THE INFORMATION SHOWN IS ACCURATE, BUT IT IS NOT INTENDED TO COVER ALL INSTANCES, BUILDING REQUIREMENTS, DESIGNS OR CODES. CHANGES TO THE DETAILS MAY BE REQUIRED DUE TO FIELD CONDITIONS.

THE ERECTOR SHOULD THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL INSTALLATION INSTRUCTION MATERIAL BEFORE STARTING WORK.

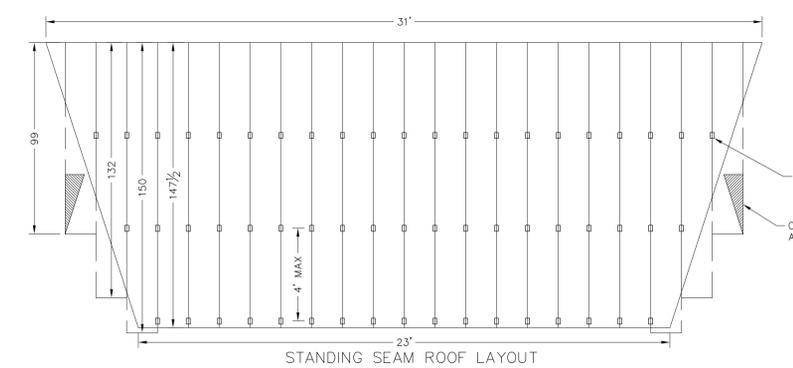
THE PANELS SHOULD BE INSTALLED PLUMB, STRAIGHT, AND ACCURATELY TO THE ADJACENT WORK.

ERECTORS SHALL BE RESPONSIBLE TO ENSURE THAT THE DETAILS MEET PARTICULAR BUILDING REQUIREMENTS AND TO ASSURE ADEQUATE WATER TIGHTNESS.

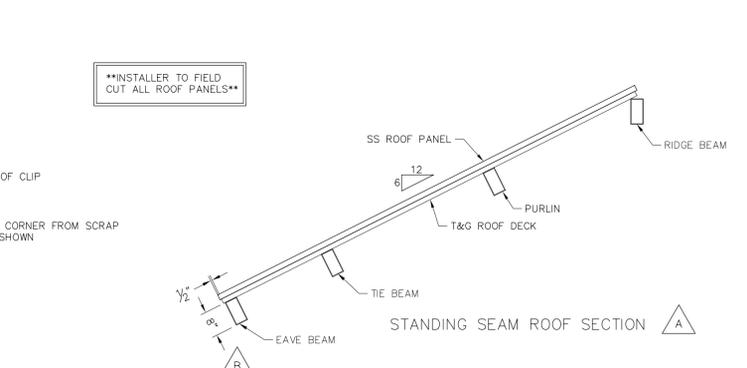
FOR THE BEST APPEARANCE ALL TRIM AND FLASHING SHALL BE INSTALLED TRUE, AND IN PROPER ALIGNMENT, WITH ALL EXPOSED FASTENERS EQUALLY SPACED.

SOME FIELD CUTTING AND/OR FITTING OF PANELS, TRIM AND FLASHING IS TO BE EXPECTED BY THE ERECTOR. MINOR FIELD CORRECTIONS ARE PART OF NORMAL ERECTION WORK.

THE INSTALLATION SHALL BE PERFORMED BY EXPERIENCED METAL CRAFTSMEN AND WORKMANSHIP SHALL MEET THE BEST INDUSTRY STANDARDS.



STANDING SEAM ROOF LAYOUT



STANDING SEAM ROOF SECTION A

**ATTENTION INSTALLERS:**  
METAL SHAVINGS LEFT ON ROOF WILL QUICKLY RUST AND STAIN THE ROOF FINISH!  
DRILLING OR INSTALLING ROOF FASTENERS WILL CAUSE METAL SHAVINGS. THESE SHAVINGS MUST BE CAREFULLY REMOVED AT THE END OF EACH DAY BY EITHER SWEEPING OR BRUSHING THE INSTALLED ROOF.

**NOTE TO INSTALLERS:**  
WITH FACTORY POWDERCOATED SHELTERS, PAINT EXPOSED FASTENERS OF COMPRESSION RINGS, ORNAMENTATION, KNIFE PLATES, ETC. WITH PROVIDED TOUCH UP PAINT TO PREVENT RUSTING OF FASTENERS

**PAINT EXPOSED FASTENERS**

DAVID S. DAYTON III  
ENGINEER  
SEAL 024079

DRAWN BY: KC  
DATE: 5/5/2016  
JOB NO.: 4860  
REVISION: C  
BUILDING TYPE: RG22x31TS-P6  
PROJECT NAME: MECKLENBURG COUNTY PARKS AND REC. CHARLOTTE, NC

**SHEET 3.0**

2012 BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (Includes: New Construction, Upfits, Renovations, Additions) (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)



Project Information - (Required information for all projects) Name of Project: Mecklenburg County Park and Rec. Address: 5841 Brookshire Blvd, Charlotte, NC Zip Code: 28216

Project Summary/Alternative Means of Compliance - (Required information for all projects) Building description: 32'x31' multi-gazebo w/ elevated steel frame system

Design Professional Information - (Required information for all projects) LEAD DESIGN PROFESSIONAL: David Dayton PE

Architectural: Civil, Electrical, Fire Alarm, Plumbing, Mechanical, Structural, etc.

Type of work being performed - (Required information for all projects) What type of work is being performed? New Construction

Definitions - (Required information for all projects) Building Code: 2012 North Carolina State Building Code (NCSBC)

REHAB Code (Existing Building Code) Check all that apply: Repair, Renovation, Alteration, Reconstruction, Change of use

Basic Building Data - (Required information for all projects) Construction Type: I-A, I-B, I-C, I-D, I-E, I-F, I-G, I-H, I-I, I-J, I-K, I-L, I-M, I-N, I-O, I-P, I-Q, I-R, I-S, I-T, I-U, I-V, I-W, I-X, I-Y, I-Z

Allowable Area / Occupancy Classification - (Required information for all projects) Occupancy (Chapter 8): Business (300), Factory (300), Hazardous (300), Institutional (300), Mercantile (300), Residential (300), Storage (310), Utility and Miscellaneous (310)

SEISMIC DESIGN CATEGORY: (101.1)(101.5)(101.5.1) Provide the following Seismic Design Parameters: Occupancy Category (Table 1008.5)

Storage: 4-Moderate, 5-Low, 6-High-piled, 7-Open, 8-Enclosed, 9-Repair-gabled

Special Approvals (If applicable to your project) Special approval: (Local Jurisdiction, Department of Insurance, USC, DPL, DRHS, ICC, etc.)

ENERGY SUMMARY (New Construction, Additions, Change of use and upfits) BUILDING ENVELOPE: The following data shall be considered minimum and any special attribute required to meet the North Carolina Energy Conservation Code shall also be provided.

Percentage of Wall Opening Calculations - (New Construction, Addition and Change of Use) Frontage area increases from Section 506.2 are computed thus:

Fire Protection Requirements (Chapter 7) - (Required information for all projects) Fire Protection Requirements (Chapter 7) - (Required information for all projects)

Walls below grade (each assembly) Description of assembly: U-Value of total assembly: R-Value of insulation:

Floors above unconditioned space (each assembly) Description of assembly: U-Value of total assembly: R-Value of insulation:

Floors slab on grade Description of assembly: U-Value of total assembly: R-Value of insulation:

Mechanical Summary (MECC) This information may be located on the mechanical sheets. The mechanical sheet must be in the same format as noted in this section.

Mechanical Systems, Service Systems and Equipment Thermal Zone: winter dry bulb, summer dry bulb

Mechanical Spacing Conditioning System description of unit: heating efficiency:

Including supporting beams and joists

Fire Protection Requirements (Chapter 7) - (Required information for all projects)

Walls above grade (each assembly) Description of assembly: U-Value of total assembly: R-Value of insulation:

Floors above conditioned space (each assembly) Description of assembly: U-Value of total assembly: R-Value of insulation:

Floors slab on grade Description of assembly: U-Value of total assembly: R-Value of insulation:

Mechanical Summary (MECC) This information may be located on the electrical sheets. The electrical sheet must be in the same format as noted in this section.

Electrical System and Equipment Method of Compliance: Energy Code: Prescriptive, Performance

Lighting schedule (each fixture type) lamp type required in fixture number of lamps in fixture

Mechanical Systems, Service Systems and Equipment Thermal Zone: winter dry bulb, summer dry bulb

Mechanical Spacing Conditioning System description of unit: heating efficiency:

Existing structures within 30' of the proposed building Occupancy types for each area as it relates to occupant load calculation (Table 1008.1.1)

Exit Requirements - (Required for all projects) NUMBER AND ARRANGEMENT OF EXITS (Table 1009.1)

Structural Design - (Primarily for New Construction, Additions and Change of Use) If adding dead loads or live loads to the building structural system information in any project will be required.

Design Loads Importance Factors: (ASCE 7-10) 1.3 Wind, 1.0 Snow, 1.0 Seismic

Occupant Load and Exit Width (Table 1008.1.1) TABLE 1008.1.1 OCCUPANT LOAD AND EXIT WIDTH

Accessible Dwelling Units and sleeping units - (Only for R-1, R-2 occupancy) ACCESSIBLE DWELLING UNITS (107)

Accessible Parking - (Projects that are New Construction, Additions, Change of Use) g. Accessible Parking - (Projects that are New Construction, Additions, Change of Use)

Structural Design - (Primarily for New Construction, Additions and Change of Use) If adding dead loads or live loads to the building structural system information in any project will be required.

Design Loads Importance Factors: (ASCE 7-10) 1.3 Wind, 1.0 Snow, 1.0 Seismic

Occupant Load and Exit Width (Table 1008.1.1) TABLE 1008.1.1 OCCUPANT LOAD AND EXIT WIDTH

SEISMIC DESIGN CATEGORY: (101.1)(101.5)(101.5.1) Provide the following Seismic Design Parameters: Occupancy Category (Table 1008.5)

SEISMIC DESIGN CAPACITIES Field Test (provide copy of test report as a reference document) psf

SPECIAL INSPECTIONS REQUIRED: Yes, No

SPECIAL INSPECTIONS - (If applicable to your project) Special inspection: (Local Jurisdiction, Department of Insurance, USC, DPL, DRHS, ICC, etc.)

ENERGY SUMMARY (New Construction, Additions, Change of use and upfits) BUILDING ENVELOPE: The following data shall be considered minimum and any special attribute required to meet the North Carolina Energy Conservation Code shall also be provided.

Special Approvals (If applicable to your project) Special approval: (Local Jurisdiction, Department of Insurance, USC, DPL, DRHS, ICC, etc.)

ENERGY SUMMARY (New Construction, Additions, Change of use and upfits) BUILDING ENVELOPE: The following data shall be considered minimum and any special attribute required to meet the North Carolina Energy Conservation Code shall also be provided.

ENERGY REQUIREMENTS The following data shall be considered minimum and any special attribute required to meet the North Carolina Energy Conservation Code shall also be provided.

Method of Compliance: Prescriptive, Performance, ASHRAE 90.1

Method of Compliance: Prescriptive, Performance, ASHRAE 90.1

Walls below grade (each assembly) Description of assembly: U-Value of total assembly: R-Value of insulation:

Floors above unconditioned space (each assembly) Description of assembly: U-Value of total assembly: R-Value of insulation:

Floors slab on grade Description of assembly: U-Value of total assembly: R-Value of insulation:

Mechanical Summary (MECC) This information may be located on the mechanical sheets. The mechanical sheet must be in the same format as noted in this section.

Mechanical Systems, Service Systems and Equipment Thermal Zone: winter dry bulb, summer dry bulb

Mechanical Spacing Conditioning System description of unit: heating efficiency:

Walls above grade (each assembly) Description of assembly: U-Value of total assembly: R-Value of insulation:

Floors above conditioned space (each assembly) Description of assembly: U-Value of total assembly: R-Value of insulation:

Floors slab on grade Description of assembly: U-Value of total assembly: R-Value of insulation:

Mechanical Summary (MECC) This information may be located on the electrical sheets. The electrical sheet must be in the same format as noted in this section.

Electrical System and Equipment Method of Compliance: Energy Code: Prescriptive, Performance

Lighting schedule (each fixture type) lamp type required in fixture number of lamps in fixture

Mechanical Systems, Service Systems and Equipment Thermal Zone: winter dry bulb, summer dry bulb

Mechanical Spacing Conditioning System description of unit: heating efficiency:

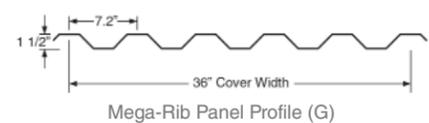
NOTICE TO INSTALLERS: WITH FACTORY POWDERCOATED SHELTERS, PAINT EXPOSED FASTENERS OF COMPRESSION PLATES, ORNAMENTATION, KNIFE RINGS, ETC. WITH PROVIDED TOUCH UP PAINT TO PREVENT RUSTING OF FASTENERS

DRAWN BY: KC DATE: 5/5/2016 JOB NO.: 4860 REVISION: C BUILDING TYPE: RG22x31TS-P6 PROJECT NAME: MECKLENBURG COUNTY PARK AND REC. CHARLOTTE, NC SHEET 4.0



24 Ga. Steel Panels

24-gauge galvalume roof panels with a Kynar 500 paint finish. Multi-Rib and Mega-Rib are 36" wide panels that are pre-cut in our factory to fit your shelter. Field adjustment may be necessary for proper fit. Medallion-Lok standing seam roofing is provided uncut to be cut to fit in the field by others. Matching trim in 26 ga. galvalume and fasteners are provided.



Pre-Cut SIPs

Structural panels (SIPs) that are factory-assembled, 4-5/8" thick, factory laminated and cut to fit on the structure. The composition is 7/16" OSB, 3-1/2" EPS foam core, and a 5/8" skin of T1-11 siding.

Standard Steel Roof Colors

Kynar 500 coated roof panels with 24 gauge Galvalume® substrate



Notes: \*Roman Blue in Medallion-Lok may incur extra costs.  
\*\*Galvalume Plus is not Kynar 500 coated.



2x6 Tongue and Groove

The 2x6 tongue and groove wood roof deck is Western Lodgepole Pine, kiln dried, #2 or better, one edge V'd, one edge grooved. Fascia is cedar plank. T&G requires finished roofing materials.

Actual Colors may vary from printed samples



Prime Painted

Factory-priming protects the steel components from corrosion throughout the shipping and erection process. The steel is cleaned to remove loose mill scale, loose rust, loose paint, and other loose detrimental foreign matter. The cleaned steel will then be prime painted with quick dry, lead and chromate free alkyd primer. Finish painting in the field is required.



Hot Dipped Galvanized

The hot-dip galvanizing process produces a zinc coating on steel products by immersion of the material in a bath of molten zinc metal. The steel to be coated is first cleaned to remove all oils, greases, soils, mill scale and rust. Because galvanized steel requires no maintenance for decades, its use in public construction is an efficient use of public funds.



E-Coat and Powder Coat

ICON's premier steel coating is a combination of liquid epoxy primer and two coats of TGIC polyester powder coating. The process is:

1. The steel is shot-blasted to the specification of SSPC-SP10 (shot-blasted to near white condition), removing all oil residue, mill scale, weld spatter and slag.
2. The steel is immersed in zinc phosphate in an eight stage pretreatment process.
3. It is immersed in an electrostatically applied liquid epoxy and coated to a uniform 0.7-0.9 mils. This E-coat totally encapsulates the part, preventing rusting.
4. A double coat of TGIC polyester powder is applied, one coat of color and one clear coating for a final finish that is 8-12 mils thick.

In highly corrosive environments, ICON recommends a hot-dipped zinc galvanizing prior to powder coating. This may produce a less smooth finish once coated.

Powder Coat Colors

(Actual colors may vary from printed samples)



ICON can coat your shelter with powders chosen from the RAL color chart. Shown are several RAL colors that have been popular on ICON projects recently. Actual colors may vary from printed samples. **SELECTING AN RAL COLOR FROM THIS CHART WILL INCUR ADDED COSTS.**



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**Agenda Title:** Gallery Sign

**Summary:**

---

**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
▣ Staff Analysis	10/11/2017	Presentation
▣ Application and Exhibits	10/11/2017	Exhibit

**Town of Davidson, NC**  
**Design Review Board: Staff Analysis**  
**Project Manager: Chad Hall**  
**October 18, 2017**

**Project:** Wall Sign  
**Location:** 108 South Main Street  
**Applicant:** The Gallery  
**Designer:** Artisan Sign and Graphics (Gary Dickens)  
**Planning Area:** Village Center within Local Historic District

---

The applicant proposes a new wall sign at 108 South Main Street. The sign is to be centered on the facade. The sign area is 5.6 square feet and features 12.5" tall, 1.5" thick HDU letters in white. Lighting exists on site and is not proposed as part of this submittal.

**DAVIDSON PLANNING ORDINANCE:**

**Section 11.2.2.B Required Permits**

*All signs proposed to be affixed to a structure in the Local Historic Overlay District must be approved by the Design & Historic Review Board to determine that the signage meets the provisions of this section and any additional historic district requirements.*

**Section 11.3.1.2 Multi-Tenant Buildings**

*Each tenant on the street on ground-level may display one of the following signs on each façade: wall, projecting, hanging, freestanding, and two additional from the following: sidewalk, awning, canopy, window, or door.*

**Section 11.4.1.2 Wall Sign**

*A sign directly attached and parallel to a building façade or dependent upon a building for its support. Wall signs may consist of sign board, metal, or channel letters mounted directly on wall or via raceway, neon, or paint directly on brick.*

1. *Permitted Location*
  - *Building facades that face the right of way, pedestrian passageways, and/or parking associated with the establishment.*
2. *Area & Dimensions*
  - *Maximum sign area per facade is five percent of the ground floor facade area on which the sign is located OR 24 square feet, whichever is greater. The Design Review Board must approve all signs greater than 24 square feet.*
  - *For multi-bay, multi-tenant buildings, the facade area shall include only that portion of the facade designed for a specific tenant.*
3. *Height*
  - *The top of a wall sign shall not exceed 18 feet above grade.*
4. *Additional Requirements*
  - *Internally illuminated signs, including LED signs, are not permitted.*

- *Signs must either be a minimum of 1.5 inches thick or include a 1.5 to 2 inch border.*

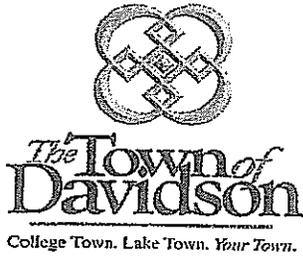
#### **HISTORIC DISTRICT DESIGN GUIDELINES:**

##### ***Signs***

5. *Introduce new signs, if needed, in traditional locations where they do not diminish or compromise the overall historic character of the building, site, or district. Design new signs to be compatible in location, configuration, orientation, height, material, scale, and detail with the historic character of the building, site, and district.*
7. *Construct new signs in traditional materials, such as wood, stone, or metal, or apply lettering and graphics on display windows or awning fabric. It is not appropriate to introduce signage in contemporary materials such as plastics or to introduce internally lighted signage that is incompatible with the overall historic character of the district.*

---

T:\Planning\_Shared\_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2017 DRB Agendas\20171018\_DRB Agenda\AVA Gallery-signage\20171011\_Gallery Sign\_Staff\_Analysis.doc



# Design Review

GALLERY  
(Name of Project)

## Sign - Project Description

Application Date: 19 September

Project Location: 108 South Main St.  
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s): \_\_\_\_\_

Planning Area: \_\_\_\_\_

Planning Area Overlay District: \_\_\_\_\_

Master or Conditional Plan: \_\_\_\_\_  
(Include any conditions of approval)

General Statement of Intent: 1 1/2 inch thick letters to identify the GALLERY

### Project Details:

Project Type:  individual sign  multi-tenant building  sign plan development

Sign Type:  wall sign  projecting sign  hanging sign

freestanding sign  canopy/awning sign  window/door sign

building name  sidewalk sign  temporary sign

Other sign type: \_\_\_\_\_

Dimensions: 12.5 inch high letters / 64" long

Square Footage: 3.6 square feet.

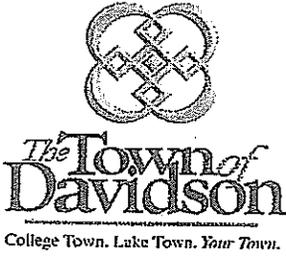
Height from grade: 80' 4"

Sign materials: HDU

Lighting: None in the letters

Existing Signs, include signs to remain and signs to be removed:

None for this business



# Design Review

GALLERY  
(Name of Project)

## Sign - Application Requirements

Date Received

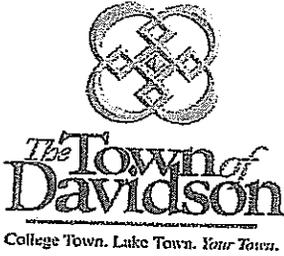
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- Application Fee per Town of Davidson Fee Schedule
- Contact Information
- Project Description  
(including General Statement of Intent)
- Statement of Compliance with Section 9
- Any Approved Sign Plan or Conditional Planning Area for Signs  
(including all renderings, plans, and conditions of approval)
- Site and Building Plan Indicating the Location of all Signs
- Color Photos  
(including existing and adjacent sites and building(s) showing signage taken from the perspective of the public streets adjacent to the site)
- List of all Existing Signs with their Location and Dimensions
- Color Photo of Building(s) with Proposed Sign(s) Superimposed
- Landscape Schematic Design in accordance with Section 8.6
- Representative Materials and Colors
- Proposed Lighting Type and Location
- Statement of Compliance with Planning Ordinance Section 14

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

Mary Dickens  
Applicant's Signature

18 Sept 17  
Date



# Design Review

# GALLERY

(Name of Project)

## Contact Information

### Applicant's Information GARY DICKENS

Name:

ARTISAN Signs & Graphics

E-Mail:

GARY@ARTISANSIGNSANDGRAPHICS.COM

Mailing Address:

18335 Old Statesville, Rd Suite 1  
Cornelius, NC 28031

Business Phone:

704-655-9100

Mobile Phone:

704-905-7855

### Property Owner's Information

(If Different from Applicant)

Name:

ERIC BOYEN

E-Mail:

ERIC@VISIONCAPITALMGT.COM

Mailing Address:

PO Box 1750

DAVIDSON, NC 28036

Business Phone:

704-894-9639

Mobile Phone:

-

### Architect's Information

Name of Firm:

SAME AS APPLICANT.

Architect's Name:

\_\_\_\_\_

E-Mail:

\_\_\_\_\_

Mailing Address:

\_\_\_\_\_

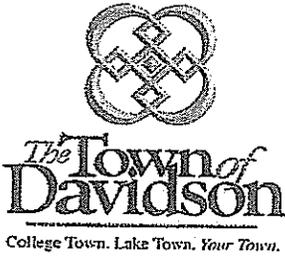
\_\_\_\_\_

Business Phone:

\_\_\_\_\_

Mobile Phone:

\_\_\_\_\_



# Design Review

GALLERY  
(Name of Project)

## Sign - Development Process

Date Completed	
_____	<input type="checkbox"/> Initial Meeting
_____	<input checked="" type="checkbox"/> Application and Fee
_____	<input type="checkbox"/> Design Review Board Preliminary Review, if applicable
_____	<input type="checkbox"/> Planning Director Review for Compliance with Planning Ordinance
_____	<input type="checkbox"/> Design Review Board Approval
_____	<input type="checkbox"/> Sign Permit Approval

### 11.4.1.2 WALL SIGN

A sign directly attached and parallel to a building façade or dependent upon a building for its support. Wall signs may consist of sign board, metal, or channel letters mounted directly on wall or via raceway, neon, or paint directly on brick.

#### 1. Permitted Location

JD

Building facades that face the right of way, pedestrian passageways, and/or parking associated with the establishment.

#### 2. Area & Dimentions

JD

Maximum sign area per facade is five percent of the ground floor facade area on which the sign is located OR 24 square feet, whichever is greater. The Design Review Board must approve all signs greater than 24 square feet.

For multi-bay, multi-tenant buildings, the facade area shall include only that portion of the facade designed for a specific tenant.

#### 3. Height

JD

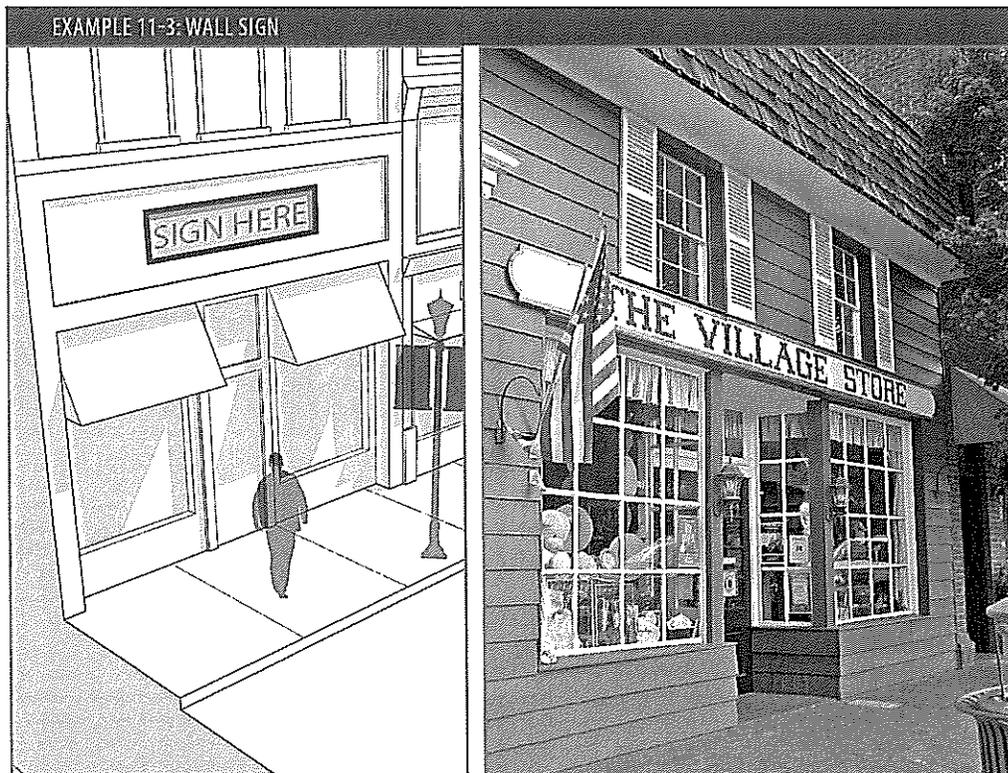
The top of a wall sign shall not exceed 18 feet above grade.

#### 4. Additional Requirements

JD

Internally illumintaed signs, including LED signs, are not permitted.

Signs must either be a mimimum of 1.5 inches thick or include a 1.5 to 2 inch border.



Date	08/24/2017_R2
Designer	MP
Salesperson	GD
Sign Style:	Cut Letters
Additional:	
Material	1/2" Cut Acrylic
Trim	N/A
Face	N/A
Mounting	N/A
Colors	No PMS

Job Description	
Installation method	
Approval	

**Artison**  
signs&graphics  
 Creatively promoting your brand

18335 Old Statesville Rd.  
 Cornelius, NC 28031  
 704-655-9100  
[www.artisnsignsandgraphics.com](http://www.artisnsignsandgraphics.com)



64"  
 1 1/2" White HDU letters

Customer	Vision Capital	Filename	/Retail/Vision Capital/DLT_Gallery_DF	Revision	2
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The drawing and all designs herein are the sole property of Artison Graphics and may not be reproduced, transferred, published or used in any way without prior written consent.



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**Agenda Title:** DCPC Sign

**Summary:**

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**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
▣ Staff Analysis	10/11/2017	Presentation
▣ Application and Exhibits	10/11/2017	Exhibit

**Town of Davidson, NC**  
**Design Review Board: Staff Analysis**  
**Project Manager: Chad Hall**  
**October 18, 2017**

**Project:** Monument Sign  
**Location:** 100 North Main Street  
**Applicant:** Davidson College Presbyterian Church  
**Designer:** Rapid Signs  
**Planning Area:** College Campus within Local Historic District

---

The applicant proposes a monument sign at the northeast corner of North Main Street and Concord Road; this will replace an existing monument sign. The sign will be located on the back side of the sidewalks and is to be shaped in an arc, with “wings.” Materials for the monument structure are brick with a concrete cap. The sign area is proposed with raised aluminum plate lettering on an aluminum sign panel. Centered on the panel in the upper portion is the church logo and website. The sign panel also includes a raised 1.5” outside border. The sign area is 16 square feet and the monument is to be four feet tall.

Landscaping will be provided in front of the sign. Low wattage lighting will illuminate the sign; lighting not presently shown.

**DAVIDSON PLANNING ORDINANCE:**

***Section 11.2.2.B Required Permits***

*All signs proposed to be affixed to a structure in the Local Historic Overlay District must be approved by the Design & Historic Review Board to determine that the signage meets the provisions of this section and any additional historic district requirements.*

***Section 11.5.4 Monument Signs for Religious Institutions and Schools***

- A. Description: A freestanding sign having the entire bottom of the sign affixed to the ground and used for the purpose of identifying a Civic or Educational/Institutional use only, as defined in Section 2.
- B. Permitted Location: One institutional ground sign is allowed along the primary frontage of a permitted Civic or Educational/Institutional use.
- C. Maximum Area: 24 square feet
- D. Maximum Height: Four feet
- E. Number: One ground sign is permitted per Civic or Educational/Institutional development if no Freestanding Signs are used per Section 11.3.4.
- F. The sign may contain an area for changeable typeface to display messages throughout the year.

## **HISTORIC DISTRICT DESIGN GUIDELINES:**

### ***Signs***

5. *Introduce new signs, if needed, in traditional locations where they do not diminish or compromise the overall historic character of the building, site, or district. Design new signs to be compatible in location, configuration, orientation, height, material, scale, and detail with the historic character of the building, site, and district.*
  
7. *Construct new signs in traditional materials, such as wood, stone, or metal, or apply lettering and graphics on display windows or awning fabric. It is not appropriate to introduce signage in contemporary materials such as plastics or to introduce internally lighted signage that is incompatible with the overall historic character of the district.*

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# Certificate of Appropriateness

DCPC SIGN

(Name of Project)

## Application Requirements

**Date Received**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

- Application Fee per Town of Davidson Fee Schedule
- Contact Information
- Project Description  
(including General Statement of Intent)
- Statement of Compliance with Section 9 and Section 22
- Master Plan or Conditional Planning Area  
(including all documents, plans, maps, and conditions of approval)
- Environmental Inventory in accordance with Section 8.2  
(including adjacent properties and buildings)
- Color Photos  
(including existing and adjacent sites and building(s) taken from the perspective of the public streets adjacent to the site)
- Site Schematic Design in accordance with Section 8.8
- Building Schematic Design in accordance with Section 8.4
- Landscape Schematic Design in accordance with Section 8.6
- Building Perspective in accordance with Section 8.4 D
- Building Materials/Colors
- 4-Sided Building Elevations and Color Front Elevations

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

 BRAD JONES  
Applicant's Signature

10/5/2017  
Date



# Certificate of Appropriateness

DCPC SIGN

(Name of Project)

## Contact Information

### Applicant's Information

Name: DAVIDSON COLLEGE PRESBYTERIAN CHURCH  
E-Mail: brad.jones@bam1.com (BRAD JONES)  
Mailing Address: 100 N. Main St  
DAVIDSON NC 28035  
Business Phone: 704-506-5942 Mobile Phone: 704-506-5942

### Property Owner's Information

*(If Different from Applicant)*

Name: \_\_\_\_\_  
E-Mail: SAME AS ABOVE  
Mailing Address: \_\_\_\_\_  
Business Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_

### Architect's Information

Name of Firm: N/A  
Architect's Name: \_\_\_\_\_  
E-Mail: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Business Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_



# Certificate of Appropriateness

ALPC SIGN

(Name of Project)

## Project Description

Application Date: 10/5/2017

Project Location: 100 N. MAIN ST DAVIDSON NC  
(Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s): 007-012-12

Planning Area: \_\_\_\_\_

Master or Conditional Plan: \_\_\_\_\_  
(Include any conditions of approval)

General Statement of Intent: Replacing existing church sign with new one

### Project Details:

- Project Type:
- |  |                                      |  |
|--|--------------------------------------|--|
| <input type="checkbox"/> new structure   | <input type="checkbox"/> addition    | <input type="checkbox"/> exterior alteration |
| <input checked="" type="checkbox"/> sign | <input type="checkbox"/> vendor cart | <input type="checkbox"/> demolition          |

Building Type: \_\_\_\_\_

Building Materials: Brick + mortar sign

Colors: See attached

Architectural Features: CONCRETE capstone that matches existing feature at church

Existing Site Conditions: (include significant physical, environmental, and cultural features; significant and heritage trees, existing structures; and infrastructure and street layout)  
See attached for details



## CERTIFICATE OF APPROPRIATENESS

The Design Review Board hereby certifies that the application

DAVIDSON COLLEGE PRESBYTERIAN CHURCH

Name of Applicant

DCPC SIGN

Name of Project

100 N. MAIN ST DAVIDSON NC 28035

Address

is approved for:

new structure     addition or expansion     exterior alteration or reconstruction     relocation  
 demolition     sign(s)     vendor cart     exterior lighting     exterior paint color(s)  
 other

The following conditions are attached to this approval:

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This certificate is not a permit. This certificate does not relieve any party of the responsibility of filing for and obtaining all required permits or of following all other applicable codes, ordinances, and regulations. This certificate does not negate any protective covenants or deed restrictions on the property. Any change in the applicant's plans requires the filing of a revised application with the Town of Davidson, NC.

\_\_\_\_\_  
Chair, Historic Preservation Commission

\_\_\_\_\_  
Date



option 1 – masonry wall with curved, fabricated metal background overall size: 48in tall x 8ft with 24in 'wings'



Existing Campus Sign



Church Building



Current Sign at Church

Rapid Signs, LLC  
 Rapid Signs, LLC  
 415 West Meeting St.  
 Lancaster SC 29720  
 United States  
 Phone: 803-286-7446  
 Fax : 803-285-0086  
 rapidsigns@comporium.net  
 www.rapidsignsllc.com



**Quote 1607 - ID Signage**

**Expiration Date : 09/16/2017**

<b>Quote for</b>	<b>Contact</b>	<b>Shipping/Install</b>
Davidson College Presbyterian Church 100 N. Main St. Davidson NC 28036 United States	Brad Jones Phone : (704) 892-5641 Email : brad.jones@baml.com Address : 100 N. Main St. Davidson NC 28036 United States	

Quote #	Quote Date	Sales Rep	Payment Terms	PO	PO Date
1607	11/30/2015	Mark Baker mhbaker@comporium.net	50/50		

**Items**

#	Item	Qty	Unit Price	Total	Tax
1	<b>Option (1) curved aluminum panel</b> 24"x96"x1/4" single sided, curved aluminum plate sign panel with raised aluminum plate lettering and border (per approved drawing). Background panel to be rolled from .250" aluminum plate and to fit curved brick wall (radius to be determined). Lettering and border to be CNC router cut from .250" aluminum plate. Includes coordinating with brick mason and providing a CNC cut template.	1	\$5,825.00	\$5,825.00	\$466.00
2	<b>Installation for the above</b> transport and installation to Davidson, NC	1	\$540.00	\$540.00	\$0.00

**Total**

<b>Sub Total</b>	<b>Total Tax(%)</b>	<b>Final Price</b>
<b>\$6,365.00</b>	<b>\$466.00 (8.0%)</b>	<b>\$6,831.00</b>

**Downpayment (50.0 %)** \$3,415.50

**Notes :** Does not include permit cost or staff time to obtain permit at \$95.00 per hr.

for **Davidson College Presbyterian Church**

**Signature** \_\_\_\_\_ **Date** \_\_\_\_\_

We agree to your terms and conditions. Please proceed with the order.



---

**Agenda Title:** Tree Removal Request

**Summary:**

---

**ATTACHMENTS:**

	<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
▢	Staff Analysis	10/11/2017	Presentation
▢	Application	10/11/2017	Exhibit

**Town of Davidson, NC**  
**Design Review Board: Staff Analysis**  
**Project Manager: Chad Hall**  
**October 18, 2017**

**Project:** Tree Removal  
**Location:** 107 North Main Street  
**Applicant:** Sandy Carnegie  
**Designer:** (None)  
**Planning Area:** Village Center within Local Historic District

---

The applicant proposes to remove two crepe myrtle trees flanking the entry sidewalk at 107 North Main Street. The applicant has been maintaining the trees for years, but is reporting issues with root zones and, most recently, a fungus on the trees.

**DAVIDSON PLANNING ORDINANCE:**

**Section 9.3.3 Tree Removal**

- A. *Permit Required: A permit shall be required for the removal or destruction of a large or small mature tree or trees on any property, whether publicly or privately owned. The permit shall be issued when the Planning Director has determined that at least one of the following apply:*
1. *The tree to be removed is dead, diseased or irreparably damaged, according to a certified arborist;*
  2. *The tree endangers the health or safety of the general public or structures on the property or adjacent properties;*
  3. *The tree is not a specimen tree, as defined by this ordinance;*
  4. *The tree is not within a designated conservation area, such as common open space or property protected by conservation easement;*
  5. *The tree is located within the permitted building envelop;*
  6. *Tree removal is part of a greater development plan for which an approved landscape plan has been issued pursuant to this section; an approved development plan for which an approved grading and landscape plan has been issued shall serve as the tree permit.*
- B. *For built-upon properties of record by July 2008 within the Town's incorporated limits, no large maturing tree larger than twelve inches in diameter at breast height may be removed within the maximum front, rear, or side yard setback without a permit from the town. Topping of trees is strictly prohibited. In addition, no activity that may affect a tree in the front yard setback may proceed without a tree permit. Exception: A permit is not required for the area of an approved plan designated as single family or duplex residence exclusive of open space.*

- C. *Removal of a mature tree located within in a locally designated historic district requires a Certificate of Appropriateness in addition to a tree permit. Mature trees shall be replaced by a tree of similar species type. The tree must meet the requirements of Section 9.8 and meet the objectives of the Tree Canopy Management Plan.*

**HISTORIC DISTRICT DESIGN GUIDELINES:**

***Plantings and Site Features***

1. *Retain and preserve plantings and site features that contribute to the overall historic character of a district property or the district as a whole.*
2. *Retain and preserve the historic plantings and site features that relate district buildings to the settings—including site topography, retaining walls, mature trees, street tree canopies, hedges, foundation plantings, pedestrian alleys, and walkways.*
3. *Maintain and protect both constructed and landscape features through appropriate maintenance and pruning of plants and trees. Trim and prune trees so that their canopy is preserved. It is not appropriate to radically change the shape of a mature tree by “topping” it. Repair the surfaces and details of constructed site features using repair techniques appropriate to the specific material.*
6. *Replace damaged or diseased significant site plantings; including mature trees, hedges, and foundation plantings; with new plantings that are similar in species and that will have a similar size and appearance to the originals when they mature. It is not appropriate to remove a planting that contributes to the overall character of the historic district unless it is dead, diseased, or damaged.*

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T:\Planning\_Shared\_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2017 DRB Agendas\20171018\_DRB Agenda\107 n main-tree removal\20171011\_107 N Main-Tree Removal\_Staff\_Analysis.doc



# Certificate of Appropriateness

TREE (2) REMOVAL AT 107 N. MAIN STREET

(Name of Project)

## Application Requirements

**Date Received**

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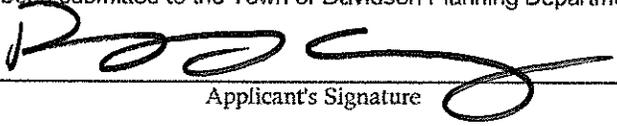
\_\_\_\_\_

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\_\_\_\_\_

- Application Fee per Town of Davidson Fee Schedule
- Contact Information
- Project Description  
(including General Statement of Intent)
- Statement of Compliance with Section 9 and Section 22
- Master Plan or Conditional Planning Area  
(including all documents, plans, maps, and conditions of approval)
- Environmental Inventory in accordance with Section 8.2  
(including adjacent properties and buildings)
- Color Photos  
(including existing and adjacent sites and building(s) taken from the perspective of the public streets adjacent to the site)
- Site Schematic Design in accordance with Section 8.8
- Building Schematic Design in accordance with Section 8.4
- Landscape Schematic Design in accordance with Section 8.6
- Building Perspective in accordance with Section 8.4 D
- Building Materials/Colors
- 4-Sided Building Elevations and Color Front Elevations

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

  
 \_\_\_\_\_  
 Applicant's Signature

10/5/2017  
 \_\_\_\_\_  
 Date



## Certificate of Appropriateness

TREE (2) REMOVAL AT 107 N. MAIN STREET

(Name of Project)

### Contact Information

#### Applicant's Information

Name: SANDY CARNEGIE  
E-Mail: pdcarnegie@gmail.com  
Mailing Address: P.O. BOX 363, DAVIDSON, NC 28036  
Business Phone: 704-892-1699 Mobile Phone: \_\_\_\_\_

#### Property Owner's Information

*(If Different from Applicant)*

Name: 107 N. MAIN, LLC  
E-Mail: pdcarnegie@gmail.com  
Mailing Address: P.O. BOX 363, DAVIDSON, NC 28036  
Business Phone: 704-892-3620 Mobile Phone: \_\_\_\_\_

#### Architect's Information

Name of Firm: N/A  
Architect's Name: \_\_\_\_\_  
E-Mail: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Business Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_



# Certificate of Appropriateness

TREE (2) REMOVAL AT 107 N. MAIN STREET

(Name of Project)

## Project Description

Application Date: 10/5/2017

Project Location: 107 N. MAIN STREET, DAVIDSON, NC 28036  
 (Indicate street frontage, nearest intersection, and address, if assigned)

Tax Parcel(s): 003-257-03

Planning Area: VILLAGE COMMERCE AND VILLAGE CENTER-HISTORIC OVERLAY

Master or Conditional Plan: N/A  
 (Include any conditions of approval)

General Statement of Intent: TO REMOVAL 2 DISEASED CREPE MYRTLES FROM FRONT YARD TO OPEN FRONT OF HOUSE SO VISIBLE FROM STREET

**Project Details:**

Project Type:  new structure     addition     exterior alteration  
 sign     vendor cart     demolition

Building Type: N/A

Building Materials: N/A

Colors: N/A

Architectural Features: N/A

**Existing Site Conditions:**

(include significant physical, environmental, and cultural features; significant and heritage trees, existing structures; and infrastructure and street layout)

THE CREPE MYRTLES ARE NOT INDIGENOUS TREES AND HAVE NO CULTURAL OR HISTORICAL VALUE. THEY HIDE THE HOUSE STYLE WHICH APPEARS TO BE FOURSQUARE OR FEDERAL



## CERTIFICATE OF APPROPRIATENESS

The Design Review Board hereby certifies that the application  
SANDY CARNEGIE

Name of Applicant

TREES (2) REMOVAL AT 107 N. MAIN STREET

Name of Project

107 N. MAIN STREET, DAVIDSON, NC 28036

Address

is approved for:

new structure  addition or expansion  exterior alteration or reconstruction  relocation  
 demolition  sign(s)  vendor cart  exterior lighting  exterior paint color(s)  
 other

The following conditions are attached to this approval:

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This certificate is not a permit. This certificate does not relieve any party of the responsibility of filing for and obtaining all required permits or of following all other applicable codes, ordinances, and regulations. This certificate does not negate any protective covenants or deed restrictions on the property. Any change in the applicant's plans requires the filing of a revised application with the Town of Davidson, NC.

\_\_\_\_\_  
Chair, Historic Preservation Commission

\_\_\_\_\_  
Date



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**Agenda Title:** Bexley Awnings

**Summary:**

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**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
▣ Staff Analysis	10/11/2017	Presentation
▣ Application and Exhibits	10/11/2017	Exhibit

**Town of Davidson, NC**  
**Design Review Board: Staff Analysis**  
**Project Manager: Chad Hall**  
**October 18, 2017**

**Project:** Addition of Awnings on front façade at Bexley leasing unit  
**Location:** 455 Davidson Gateway Drive  
**Applicant:** Bexley Davidson (Rachel Deas)  
**Designer:** (n/a)  
**Planning Area:** Lakeshore

---

The applicant proposes changes to the front façade at the leasing office for Bexley Davidson. At present, between the brick columns on the front facade are ornamental architectural elements, which are a grid painted in white. In order to increase visibility of the office, the proposal is to add green awnings between the columns.

No signage is proposed on the awnings. No lighting is proposed as part of this project.

**DAVIDSON PLANNING ORDINANCE:**

***Section 4.4.1.F. Architectural Details***

6. *The main entry to a building should be emphasized at the street level. Appropriate methods include, but are not limited to:*
  - a. *Recessing the door within a larger cased opening.*
  - b. *Flanking the door with columns, decorative fixtures or other details.*
  - c. *An awning or canopy, providing a sheltered transition to the interior.*

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# Design Review

Berley Davidson Awning Installation  
 (Name of Project)

## Application Requirements

Date Received

\_\_\_\_\_

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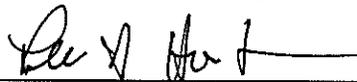
\_\_\_\_\_

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\_\_\_\_\_

- Application Fee per Town of Davidson Fee Schedule
- Contact Information
- General Statement of Intent  
*(Use, building type, approx. square footage, height, design features)*
- Statement of Compliance with Section 2
- Master Plan or Conditional Planning Area  
*(Including all documents, plans, maps, and conditions of approval)*
- Environmental Inventory in accordance with Section 14.15.1  
*(Including adjacent properties and buildings)*
- General Description  
*(Including a description and color photographs to existing / adjacent site)*
- Site Schematic Design in accordance with Section 14.15.7
- Building Schematic Design in accordance with Section 14.15.3  
*(Including rendered elevations of each façade per 14.15.3 C)*
- Landscape Schematic Design in accordance with Section 14.15.5
- Building Perspective
- Building Materials/Colors  
*(Roofing, siding, doors, windows, etc.)*

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

  
 Applicant's Signature

8/30/17  
 Date



# Design Review

Bexley Davidson Awnings Installation  
(Name of Project)

## Contact Information

### Applicant's Information

Name: Bexley Davidson - Property Manager Rachel Deas  
E-Mail: rdeas @ weinsteinproperties .com  
Mailing Address: 455 Davidson Gateway Dr  
Davidson, NC 28036  
Business Phone: 704-439-0550 Mobile Phone: 757-439-1802

### Property Owner's Information

*(If Different from Applicant)*

Name: Weinstein Properties - Regional Property Director - Lee Horton  
E-Mail: lhorton @ weinsteinproperties .com  
Mailing Address: 3951 Stillmen Parkway  
Glen Allen, VA 23060  
Business Phone: 919-653-1945 Mobile Phone: 804-283-4725

### Architect's Information

Name of Firm: N/A  
Architect's Name: \_\_\_\_\_  
E-Mail: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Business Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_



# Design Review

Becky Davidson Awning Installation  
 (Name of Project)

## Project Description

Application Date: 8/30/17

Project Location: Becky dt Davidson - 455 Davidson Gateway Drive

Tax Parcel(s): \_\_\_\_\_

Planning Area: \_\_\_\_\_

Overlay District: \_\_\_\_\_

Master or Cond. Plan  
 (Attach Conditions of Approval) \_\_\_\_\_

Gen. Statement of Intent: Install Awning over front entrance to leasing office at Becky Davidson to increase visibility

Project Details:

- Project Type:
 

<input type="checkbox"/> Individual Bldg.	<input type="checkbox"/> Master Plan	<input type="checkbox"/> Conditional Planning Area
<input type="checkbox"/> Sign - <u>OTHER - Awning Installation</u>		
- Building Type:
 

<input type="checkbox"/> Detached House	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Attached House (Tri- or Quadplex)
<input type="checkbox"/> Institutional	<input type="checkbox"/> Live/Work	<input checked="" type="checkbox"/> Multi-family (Apts., Condos, Flats)
<input type="checkbox"/> Workplace	<input type="checkbox"/> Storefront	<input type="checkbox"/> Accessory Structure
- Use(s): Increase visibility for customers
- Height & Stories: \_\_\_\_\_
- Square Footage: \_\_\_\_\_
- Building Materials: Aluma (L120) / Color (L20) roofing material
- Architectural Features: \_\_\_\_\_
- Existing Site Conditions: See photographs  
Landscaped building adjacent to street



455

455

Estate Direct Loans

455

455

455





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**Agenda Title:** Davidson Bay Mail Kiosk

**Summary:**

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**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
<input type="checkbox"/> Staff Analysis	10/11/2017	Presentation
<input type="checkbox"/> Application	10/11/2017	Exhibit
<input type="checkbox"/> Site	10/11/2017	Exhibit
<input type="checkbox"/> Elevation	10/11/2017	Exhibit
<input type="checkbox"/> Shingle color	10/11/2017	Exhibit

**Town of Davidson, NC  
Design Review Board: Staff Analysis  
Project Manager: Chad Hall  
October 18, 2017**

**Project:** Mail Kiosk  
**Location:** 930 Naples Drive (Davidson Bay)  
**Applicant:** Davidson Bay (Syd Howell)  
**Designer:** Gerry Goldbach  
**Planning Area:** Village Infill

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The applicant proposes a mail kiosk station at 930 Naples Drive in a common open space area at Davidson Bay.

The kiosk station is approximately 15'x15' and features a hip roof. The structure is an open-air structure with columns at the corners. The kiosks will be central within the structure. There is to be a concrete foundation.

Materials are listed as hardiclad wood. The kiosk structure colors for the walls, columns, trim and are to be white and shingles are proposed as "weathered wood." The kiosks, or cluster mail boxes, are clear anodized aluminum.

The Davidson Planning Ordinance does not have language pertaining to mail kiosks, other than stating that individual mailboxes are not permitted.

Staff is in the process of creating Additional Regulations for kiosk locations, mainly ensuring that they are not installed directly on a sidewalk, but rather off of it so that pedestrian movement can continue unimpeded. If the box will require being loaded from the rear, staff will require enough sidewalk area around the box so that the postmaster does not have to stand in grass/mud. It is also unclear at this time if staff will be requiring any landscaping/screening associated with cluster box locations.

**DAVIDSON PLANNING ORDINANCE:**

**4.4 GENERAL BUILDING DESIGN STANDARDS**

**Section 4.4.1 Standards**

*E. Materials*

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*

**4.5 SPECIFIC BUILDING TYPE RECOMMENDATIONS**

**Section 4.5.1 Institutional Buildings**

*Institutional buildings are typically used for public or semi-public purposes. These buildings must be designed appropriately to fit within neighborhoods as integral parts of the community.*

*Institutional buildings serve as places of assembly. They have a sense of prominence within their respective neighborhoods. Their uses may include churches, libraries, post offices, and schools. All institutional buildings are subject to the Individual Building process and Design Review Board approval.*

*A. The scale and architectural sophistication of these buildings should support their civic importance and complement Davidson's existing civic buildings.*

**Section 6.3.2 Development Prohibitions**

*The following elements shall be prohibited from all types of development:*

*E. Individual mailboxes.*

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T:\Planning\_Shared\_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2017 DRB Agendas\20171018\_DRB Agenda\Dav Bay-mail kiosk\20171011\_Dav Bay-Kiosks\_Staff Analysis.doc



Dear Developer,

The Town of Davidson and the Planning staff appreciate your interest in our community as a development opportunity and hope you find your venture a pleasant and rewarding experience.

This packet contains step-by-step information to make the design review process easier to understand and complete. In order to ensure that your project results in a development that serves both your needs and the community's needs, it is reviewed under the regulations of the Town of Davidson Planning Ordinance, in particular Section 1 General Principles for Planning in Davidson, Section 2 Planning Areas, and Section 4 Site & Building Design Standards. The General Principles are:

- We must preserve Davidson's character and sense of community.
- We must preserve and enhance Davidson's unique downtown.
- We must encourage alternative means of active transportation.
- We must use our scarce land resources wisely.
- We must create an environment that fosters diversity.
- We must manage growth so the town can provide public facilities and services apace with development.
- We must enhance our quality of life through architecture and design.

The Planning Ordinance is available in its entirety on the Town of Davidson website:  
<http://townofdavidson.org/DocumentCenter/View/6553>.

The Design Review Board works hand in hand with the developer and the architect to ensure the scope of work approved by the Design Review Board, including all conditions of approval and agreements, is satisfactorily achieved. The enclosed information should help guide you through this process.

A project manager from the Planning Department will work closely with you throughout the process and is available to answer any questions or concerns you may have. You may reach them by the phone number or email on the business card included in this packet.

We look forward to working with you to make Davidson the best small town in North Carolina.

Sincerely,

Jason Burdette, AICP  
Planning Director



## Design Review Application Packet Table of Contents

### Introduction

1. Design Review Welcome Letter
2. Table of Contents

### Forms, Process, & Requirements

3. Overview: Design Review / Development Process
4. Application Requirements
5. Contact Information
6. Project Description
7. Statement of Compliance
8. Planning Ordinance Excerpt: Design Review Process & Documentation Requirements
9. Verification Process
10. Verification Letter – Construction Documents
11. Verification Letter – Construction / As-Built

### Mecklenburg County Requirements

12. Address Requirements
13. Air Quality Zoning Instructions

### Additional Information & Instructions

14. Planning Ordinance Excerpt: Termination of Applications & Approvals
15. Town of Davidson Fee Schedule



# Design Review

(Name of Project)

## Development Process

Date Completed	Outline of Steps & Checklist
_____	<input type="checkbox"/> 1. Initial Meeting
_____	<input type="checkbox"/> 2. Application and Fee
_____	<input type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
_____	<input type="checkbox"/> 4. Planning Director Site Schematic Design Review
_____	<input type="checkbox"/> 5. Design Review Board Approval
_____	<input type="checkbox"/> 6. Building Construction Documents
_____	<input type="checkbox"/> 7. Site and Landscape Construction Documents
_____	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
_____	<input type="checkbox"/> 9. Building Permit Approval
_____	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
_____	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
_____	<input type="checkbox"/> 12. Certificate of Occupancy

*\* For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*



# Design Review

\_\_\_\_\_  
(Name of Project)

## Application Requirements

### Date Received

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- Application Fee per Town of Davidson Fee Schedule
- Contact Information
- General Statement of Intent  
*(Use, building type, approx. square footage, height, design features)*
- Statement of Compliance with Section 2
- Master Plan or Conditional Planning Area  
*(Including all documents, plans, maps, and conditions of approval)*
- Environmental Inventory in accordance with Section 14.15.1  
*(Including adjacent properties and buildings)*
- General Description  
*(Including a description and color photographs to existing / adjacent site)*
- Site Schematic Design in accordance with Section 14.15.7
- Building Schematic Design in accordance with Section 14.15.3  
*(Including rendered elevations of each façade per 14.15.3 C)*
- Landscape Schematic Design in accordance with Section 14.15.5
- Building Perspective
- Building Materials/Colors  
*(Roofing, siding, doors, windows, etc.)*

*As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.*

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Date



# Design Review

DAVIDSON BAY MAILBOXES

(Name of Project)

## Contact Information

### Applicant's Information

Name: Syd Howell

E-Mail: showell@davidsonbay.com

Mailing Address: 416 ARMOUR ST  
DAVIDSON, NC 28036

Business Phone: \_\_\_\_\_ Mobile Phone: 704 608 4433

### Property Owner's Information

(If Different from Applicant)

Name: DOMINIC LIBURDI

E-Mail: dliburdi@gmail.com

Mailing Address: 416 ARMOUR ST.  
DAVIDSON NC 28036

Business Phone: \_\_\_\_\_ Mobile Phone: 248 760 3427

### Architect's Information

Name of Firm: GERALD GOLDBACH ARCHITECT

Architect's Name: W. NEIL FORTUNE

E-Mail: \_\_\_\_\_

Mailing Address: P.O. Box 11068  
CHARLOTTE NC 28220

Business Phone: 704 366 3639 Mobile Phone: \_\_\_\_\_



# Design Review

DAVIDON BAY MAILBOXES KIOSK  
(Name of Project)

## Project Description

Application Date:

\_\_\_\_\_

Project Location:

930 NAPLES DR.

Tax Parcel(s):

003-283-23

Planning Area:

DAVIDSON NC

Overlay District:

\_\_\_\_\_

Master or Cond. Plan

(Attach Conditions of Approval)

\_\_\_\_\_

Gen. Statement of Intent:

MAILBOX KIOSK FOR DAVIDON BAY  
NEIGHBORHOOD.

### Project Details:

• Project Type:

Individual Bldg.     Master Plan     Conditional Planning Area

Sign

• Building Type:

Detached House     Townhouse     Attached House (Tri- or Quadplex)

Institutional     Live/Work     Multi-family (Apts., Condos, Flats)

Workplace     Storefront     Accessory Structure

• Use(s):

MAILBOXES FOR NEIGHBORHOOD.

• Height & Stories:

1 STORIE    13'5"

• Square Footage:

224

• Building Materials:

HARDIE CLAD WOOD, CEMENT FOUNDATION

Architectural

Features:

\_\_\_\_\_  
\_\_\_\_\_

Existing Site

Conditions:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

See 14.12.2.D



# Design Review

MAILBOX KIOSK

(Name of Project)

## Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.

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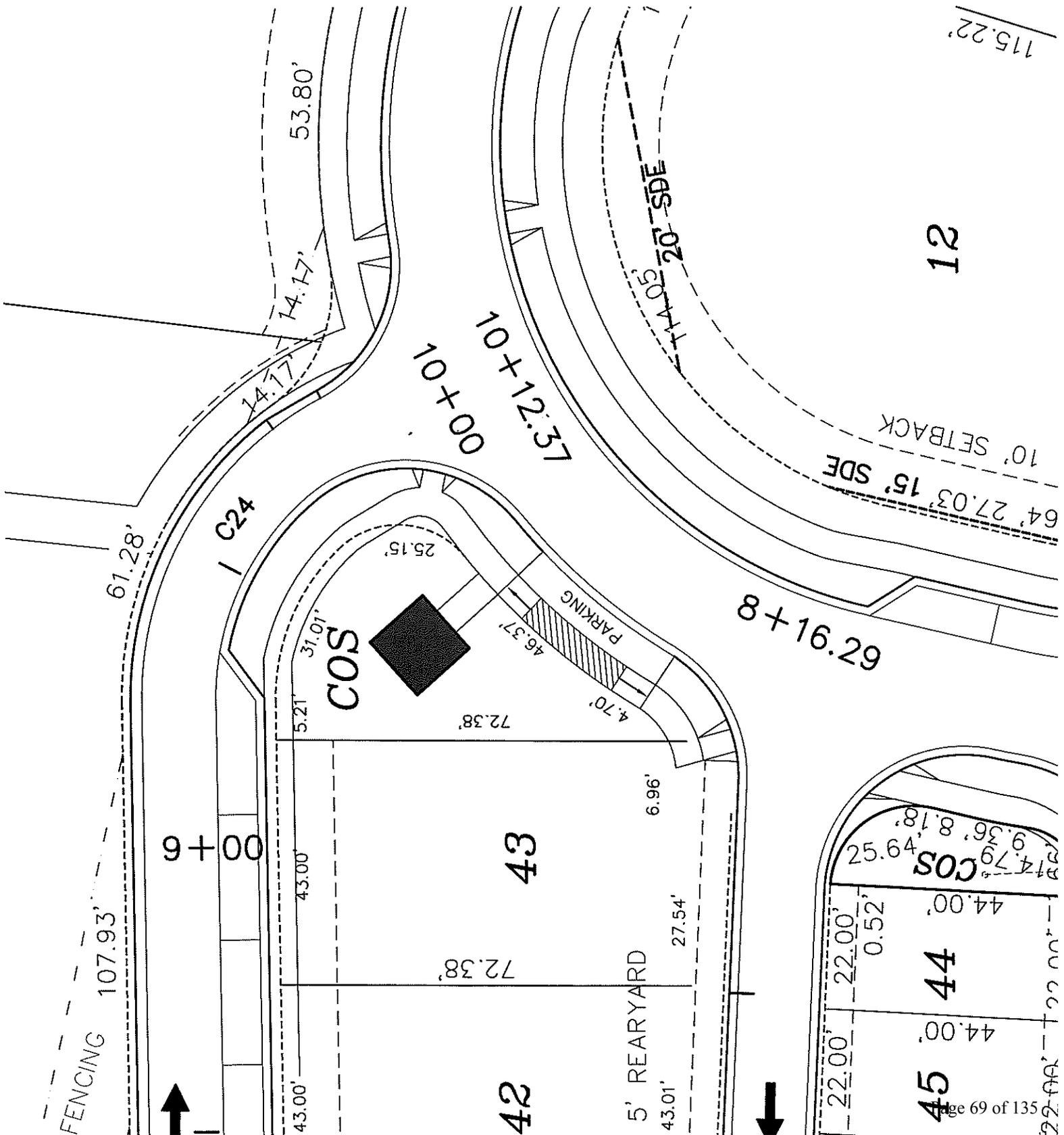
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\_\_\_\_\_

- Planning Ordinance**  
<http://www.townofdavidson.org/1006/Planning-Ordinance>  
(Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)
- Section 2 Planning Areas**
  - Permitted Use/Add'l Req.       Not Permitted
  - Permitted Building Type       Not Permitted
  - Meets Setback Criteria       Does Not Meet
  - Meets Open Space Criteria       Does Not Meet
  - Meets Density Criteria       Does Not Meet
- Section 4 Design Standards**
  - General Site Design Criteria (4.3)
  - General Building Design Criteria (4.4)
  - Specific Building Type Criteria (4.5)
  - Existing Industrial Campuses Criteria (4.6)
  - Renovation of Existing Structures Criteria (4.7)
- Section 8 Parking & Driveways**
- Section 9 Tree Preservation, Landscaping & Screening**
- Section 10 Lighting**
- Section 22 Local Historic District Guidelines**



FENCING 107.93'



00+6

C24

COS

43

42

5' REARYARD

PARKING

44

45

COS

44.00'

44.00'

0.52'

22.00'

22.00'

22.00'

174.79'

49.52'

9.36'

8.18'

00+01

73.71+101

62.91+8

64' 27.03' 15' SDE

10' SETBACK

12

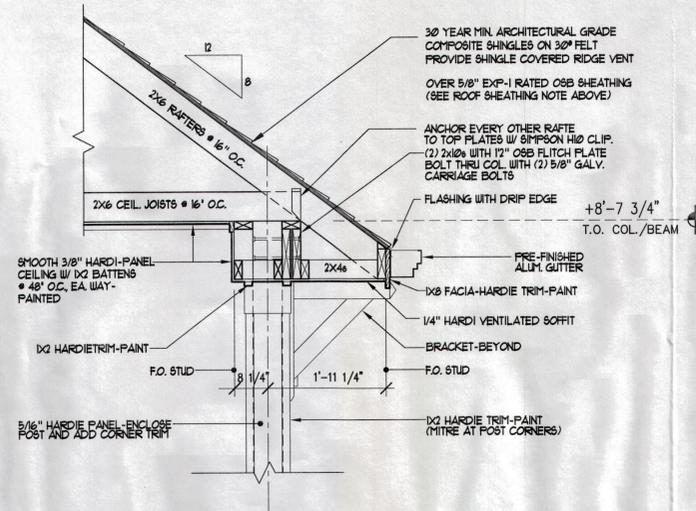
144.05' 20' SDE

53.80'

14.17'

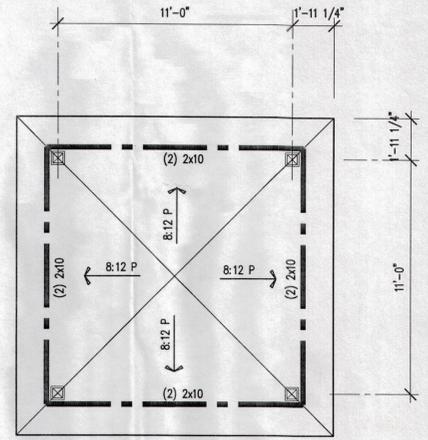
14.17'

115.22'

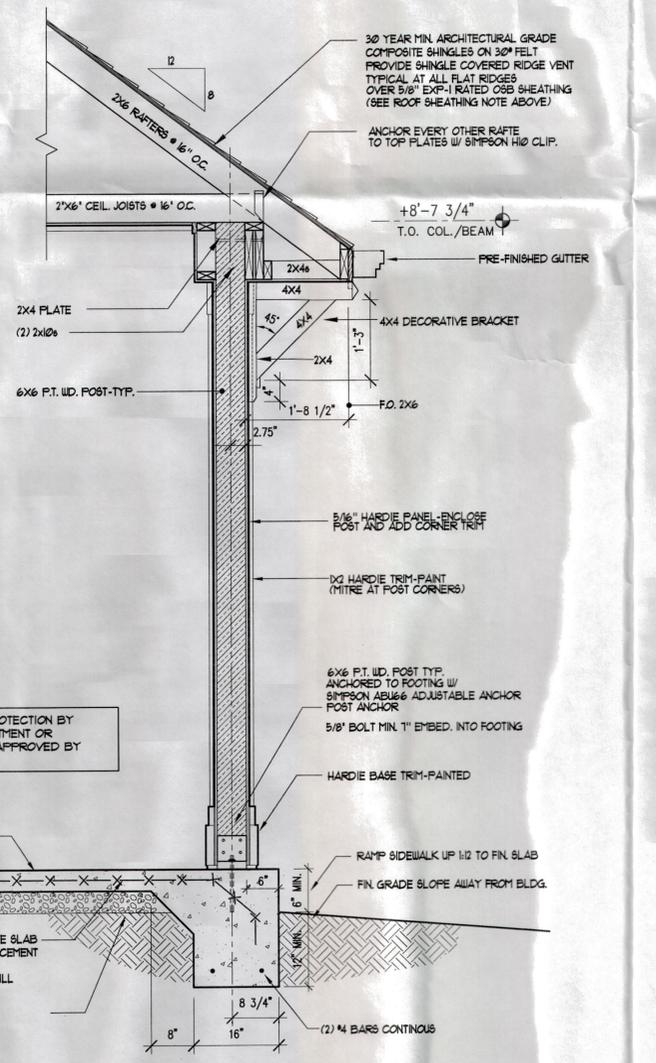


8 SOFFIT SECTION  
3/4" = 1'

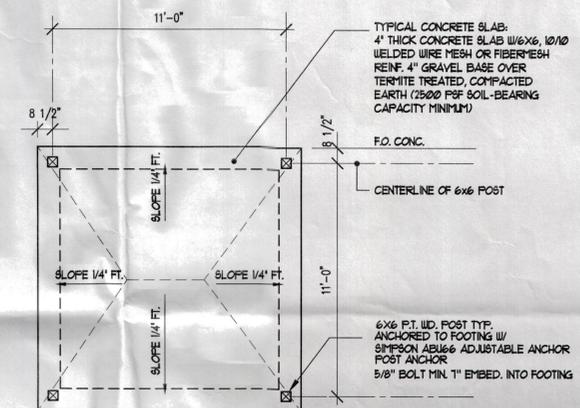
ROOF SHEATHING NOTE:  
5/8" NOM. THICK, EXPOSURE-1 RATED OSB SHEATHING SHALL BE INSTALLED PERPENDICULAR TO TRUSSES WITH END JOINTS STAGGERED 4'. PLYWOOD SECURED TO RAFTERS W/ 8d RING SHANK NAILS NAILS SPACED 6" O.C. AT EDGES AND 12" O.C. INTERMEDIATE



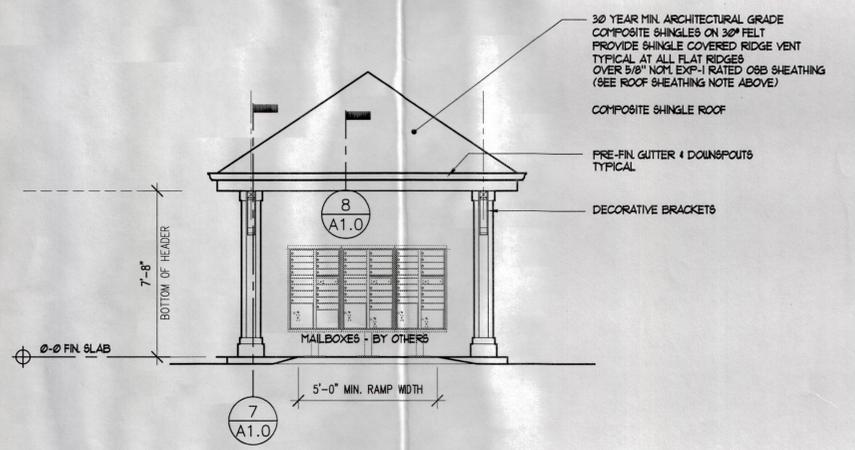
4 ROOF PLAN  
1/4" = 1'



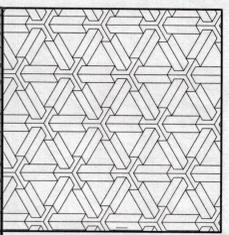
7 WALL SECTION  
3/4" = 1'



3 FOUNDATION PLAN  
1/4" = 1'



5 FRONT/REAR ELEVATION  
1/4" = 1'



GERALD GOLDBACH ARCHITECT  
P.O. BOX 11068  
Charlotte, North Carolina 28220  
704/366-3639  
704/364-9578 FAX



Mail Kiosk  
Davidson Bay Phase II  
Davidson, North Carolina 28285

Content:  
MAIL KIOSK  
PLANS AND DETAILS  
Project 11617  
Date 08.21.17  
Revisions

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Sheet  
**A1.0**





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**Agenda Title:** Accessory Structure - 105 College Dr

**Summary:**

---

**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
☐ Staff Analysis	10/11/2017	Presentation
☐ Application	10/11/2017	Exhibit
☐ Site	10/11/2017	Exhibit
☐ Elevations and Plans	10/11/2017	Exhibit

**Town of Davidson, NC**  
**Design Review Board: Staff Analysis**  
**Project Manager: Chad Hall**  
**October 18, 2017**

**Project:** Accessory Structure (over 650 square feet)  
**Location:** 105 College Drive  
**Applicant:** Lloyd Hartsell for George and Barbara Guise  
**Designer:** Lloyd Hartsell Custom Homes  
**Planning Area:** Village Infill (Yellow Overlay)

---

The applicant is making repairs and expanding a detached garage in the rear yard at 105 College Drive, accessed from Lorimer Road. There is an existing detached garage at this location that suffered damage when a tree limb fell upon the structure. In addition to the repairs, the scope includes adding a living area above the garage, which was previously one story.

The footprint of the existing structure is in excess of 650 square feet (743); the upstairs addition also requires a set of stairs to be added on the back side of the detached garage (interior to the lot in the rear yard), expanding the footprint further. The proposed detached garage footprint after the stairwell addition is proposed to be 871 square feet, still below 30% of the footprint of the principal structure and not in excess of 900 square feet.

The proposed additions to the detached garage features a front facing shed dormer centered on the roof facing Lorimer Road. On the rear, the stairwell addition is centered on the rear elevation.

The design is similar to the original detached garage. Materials match the principal dwelling with white hardiboard siding, natural stone and asphalt shingles. Colors are to remain the same and match the home.

**DAVIDSON PLANNING ORDINANCE:**

**Section 4.5.8 Accessory Structures**

*B. Size of Accessory Structure*

2. *Any accessory structure over 650 square feet of first floor area and all accessory structure ancillary to non-residential building types shall be reviewed by the Design Review Board, in accordance with the procedures in Section 14.*

**Section 4.4.1 General Building Design Standards**

*E. Materials*

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*
4. *Building materials and colors shall be:*
  - a. *Complementary to the materials already being used in the neighborhood.*

*F. Architectural Details*

- 1. Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.*
  - 4. Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*
- 

T:\Planning\_Shared\_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2017 DRB Agendas\20171018\_DRB Agenda\105 College Dr-acc structure\20171011\_105 College Dr-Access Structure\_Staff Analysis.doc





## Design Review

Guise Residence 105 College Drive  
(Name of Project)

### Contact Information

#### Applicant's Information

Name: Lloyd Hartzell Custom Homes, Inc  
E-Mail: lhartzell4@outlook.com  
Mailing Address: 2332 Vernon Drive  
Charlotte, NC 28211  
Business Phone: 704-363-5727 Mobile Phone: Same

#### Property Owner's Information

(If Different from Applicant)

Name: George & Barbara Guise  
E-Mail: geoguisse@gmail.com  
Mailing Address: 105 College Drive  
Davidson NC 28036  
Business Phone: 704-999-6868 Mobile Phone: Same

#### Architect's Information

Name of Firm: N/A  
Architect's Name: \_\_\_\_\_  
E-Mail: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Business Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_



# Design Review

Guise Residence 105 College Drive

(Name of Project)

## Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.



### Planning Ordinance

<http://www.townof davidson.org/1006/Planning-Ordinance>

(Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)



### Section 2 Planning Areas



Permitted Use/Add'l Req.



Not Permitted



Permitted Building Type



Not Permitted



Meets Setback Criteria



Does Not Meet



Meets Open Space Criteria



Does Not Meet



Meets Density Criteria



Does Not Meet



### Section 4 Design Standards



General Site Design Criteria (4.3)



General Building Design Criteria (4.4)



Specific Building Type Criteria (4.5)



Existing Industrial Campuses Criteria (4.6)



Renovation of Existing Structures Criteria (4.7)



### Section 8 Parking & Driveways



### Section 9 Tree Preservation, Landscaping & Screening



### Section 10 Lighting



### Section 22 Local Historic District Guidelines

## 105 College Drive Statement of Compliance

Planning ordinance- garage at entry level/ one bedroom suite above.

### Planning Areas

- Using the garage for a garage and the suite as a living area for family member.
- Upstairs suite
- The only portion of added footprint is the stairwell which measure 7' x 16'4". The current home and garage structures are beyond the proposed stairwell location.

### Design Standards

- There is currently a garage at 105 College Drive. The suite we propose to add above the garage only slightly alters the look of the current garage. The building materials and architectural features will be the same as the current garage, which is the same as the home on the property. The only noticeable changes will be the addition of the dormer, the addition of the stairway entry, and the roof pitch will change from a 10:12 to a 12:12 pitch. Actually not sure the roof pitch will be noticeable, as the roof on the home is substantially higher.



# Design Review

Goins Residence 105 College Drive  
(Name of Project)

## Project Description

Application Date: 9/28/2017

Project Location: 105 College Drive, Davidson NC 28036

Tax Parcel(s): 00702103

Planning Area: Davidson

Overlay District: ? Mecklenburg

Master or Cond. Plan  
(Attach Conditions of Approval)

Gen. Statement of Intent: The addition of an apartment above the current garage.

### Project Details:

• Project Type:

Individual Bldg.     Master Plan     Conditional Planning Area

Sign

• Building Type:

Detached House     Townhouse     Attached House (Tri- or Quadplex)

Institutional     Live/Work     Multi-family (Apts., Condos, Flats)

Workplace     Storefront     Accessory Structure

• Use(s):

garage / apartment

• Height & Stories:

2

• Square Footage:

garage level = 898    Apartment = 619

• Building Materials:

Hard Siding, natural stone. Same as home.

Architectural Features:

shutters + roof, paint, stone, siding to match existing home.

Existing Site Conditions:

Residential single family home.

See 14.12.2.D



ENGINEERED BY:  
 ROBERT P. OREN  
 5032 PARKWOOD DR.  
 GREENSBORO, NC 27409  
 781-411-0009

PROJECT:  
**GUISE GARAGE ADDITION**  
 105 COLLEGE DRIVE  
 DAVIDSON, NORTH CAROLINA

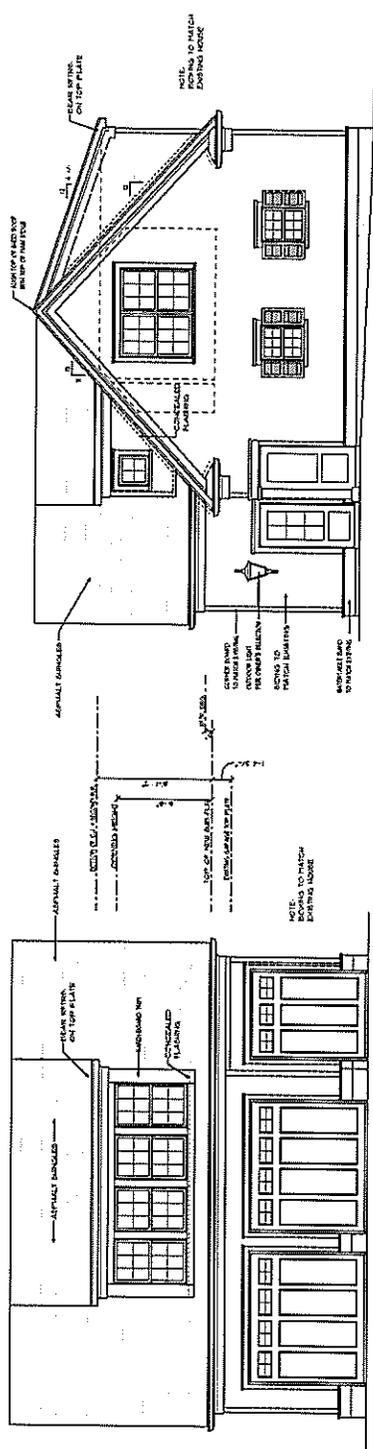
NOTE: GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ANGLES IN FIELD.



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 PROFESSIONAL ENGINEER  
 STATE OF NORTH CAROLINA  
 EXPIRES 12/31/2011

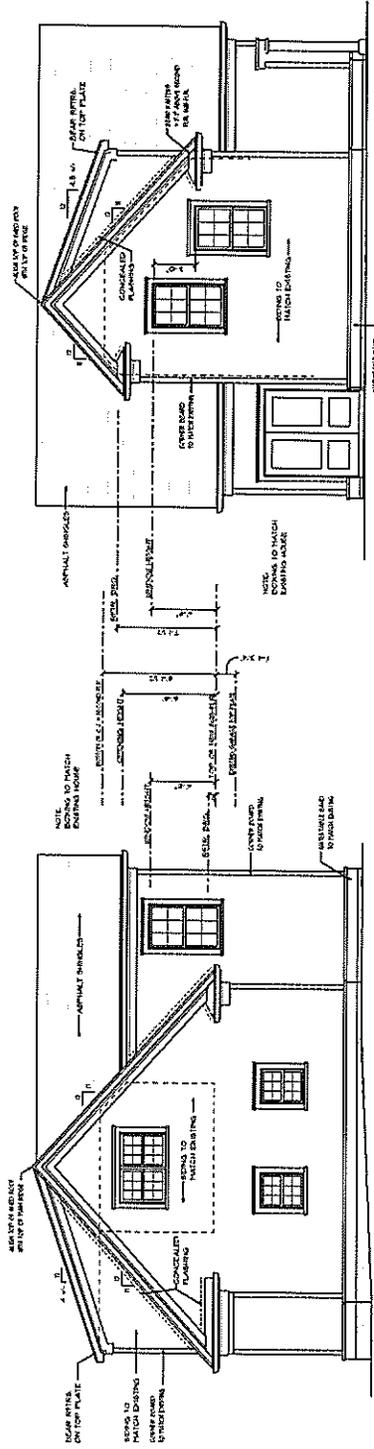
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 SEPT. 10, 2011

SHEET  
 3



LEFT ELEVATION  
 SCALE 1/4" = 1'-0"

FRONT ELEVATION  
 SCALE 1/4" = 1'-0"



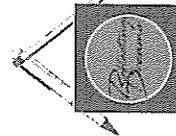
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 SCALE 1/4" = 1'-0"

RIGHT ELEVATION  
 SCALE 1/4" = 1'-0"



ENGINEERED BY:  
**ROBERT P. GREEN**  
 2037 PARKWOOD DR.  
 DUBLIN, NC 28833  
 252-474-0103

**PROJECT:**  
**GUISE GARAGE ADDITION**  
 105 COLLEGE DRIVE  
 DAVIDSON, NORTH CAROLINA



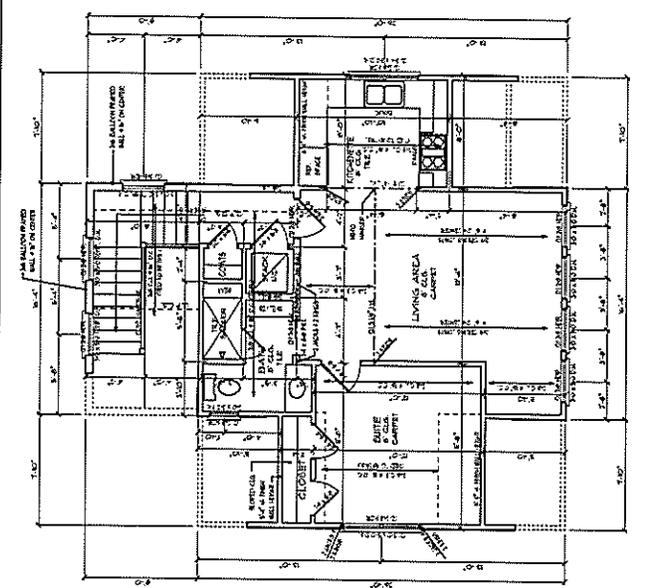
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 SUITE 100  
 RAYLEIGH, NC 27601

**DATE:**  
 SEPT. 10, 2011

**SHEET**

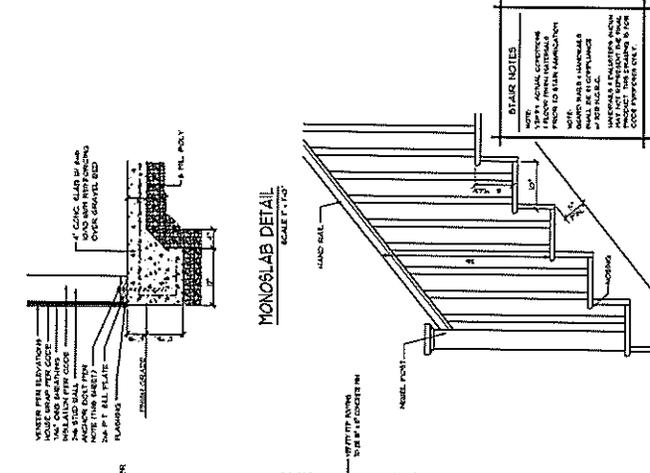
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NOTE: GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ANGLES IN FIELD.



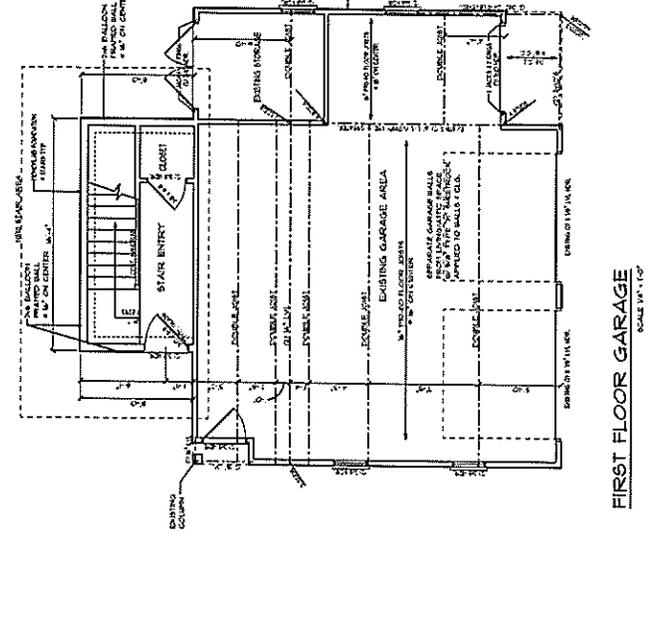
**NEW SECOND FLOOR GARAGE**  
 SCALE 1/4" = 1'-0"

**DOOR LAYOUT NOTE**  
 ALL EXISTING DOOR AND WINDOW LAYOUTS TO REMAIN UNLESS OTHERWISE NOTED. ALL NEW DOORS TO BE 2'-0\"/>



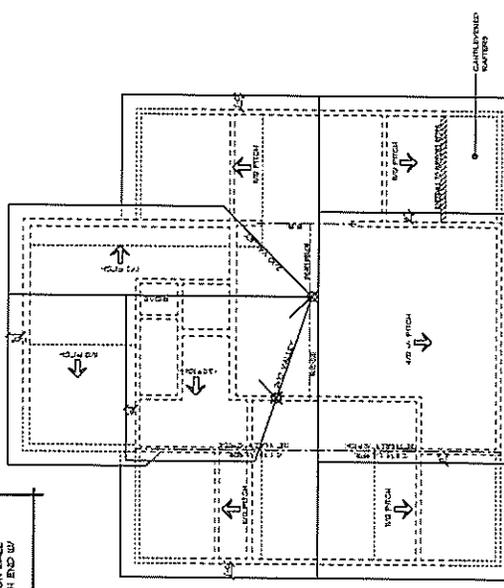
**FIRST FLOOR GARAGE**  
 SCALE 1/4" = 1'-0"

**SILL PLATE TO FOUNDATION NOTE:**  
 SILL PLATE TREATED ALL PLATE TO FOUNDATION WALL WITH 1/2" DIA. BOLTS 4" ON CENTER 1/2" FROM EACH END WITH EACH BOLT HAVING MIN. OF 1" EMBEDMENT



**MONOSLAB DETAIL**  
 SCALE 1/4" = 1'-0"

**TYPICAL STAIR SECTION**  
 SCALE 1/4" = 1'-0"



**ROOF FRAMING PLAN**  
 SCALE 1/4" = 1'-0"

**ROOF FRAMING NOTE**  
 ALL SIPS, BEAMS, TRUSS CHANGES ARE TO BE AS NOTED. ALL CHANGES TO BE MADE IN FIELD UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO BE AS NOTED. ALL DIMENSIONS TO BE AS NOTED. ALL DIMENSIONS TO BE AS NOTED.

**STAIR NOTES**  
 WITH ANIMAL CONTAINMENT IN MIND, ALL STAIRS TO BE CONCRETE. ALL STAIRS TO BE CONCRETE. ALL STAIRS TO BE CONCRETE. ALL STAIRS TO BE CONCRETE.

**DOOR LAYOUT NOTE**  
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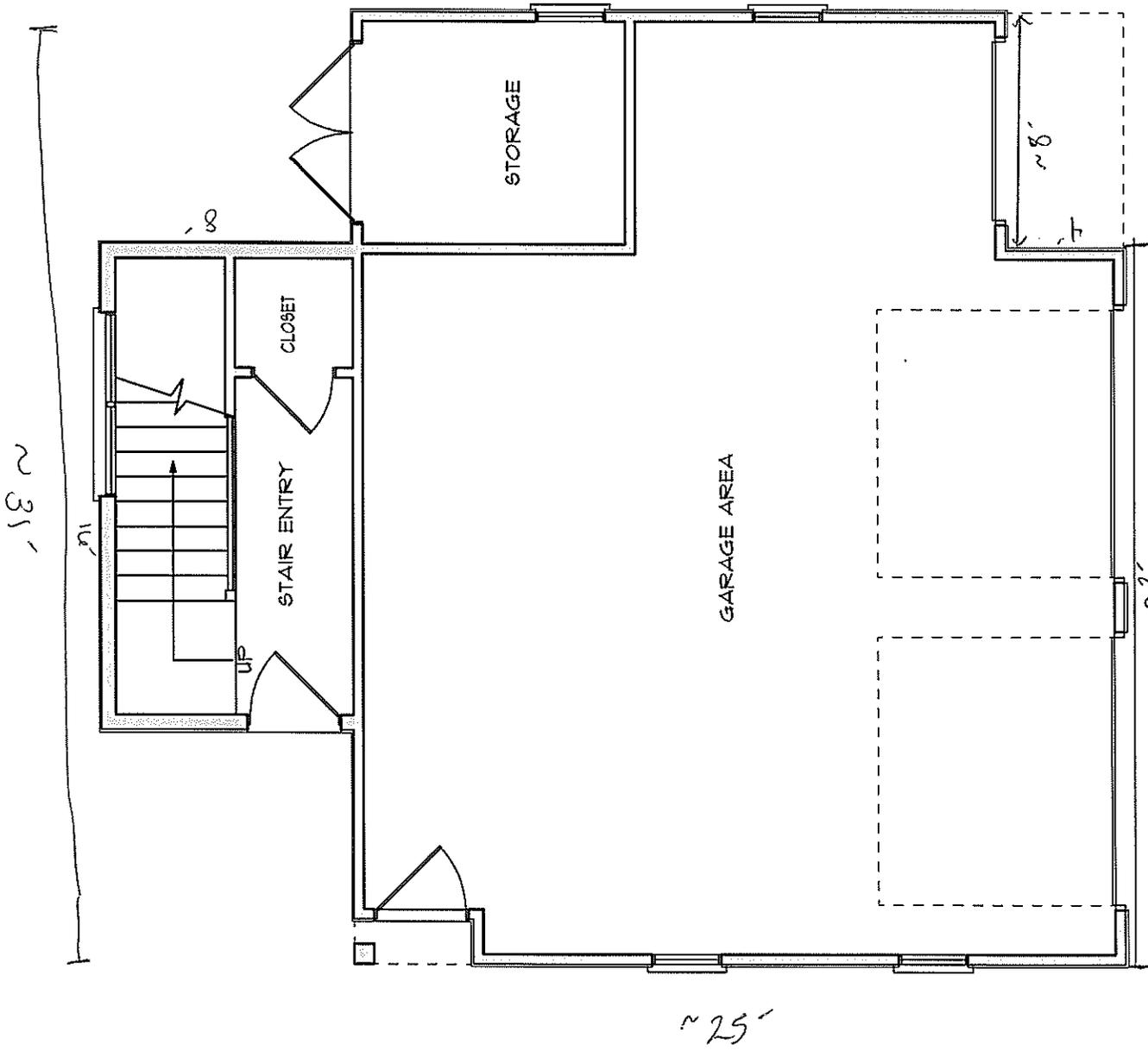
**SILL PLATE TO FOUNDATION NOTE:**  
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**TYPICAL STAIR SECTION**  
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**FIRST FLOOR GARAGE**  
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**NEW SECOND FLOOR GARAGE**  
 WITH ANIMAL CONTAINMENT IN MIND, ALL STAIRS TO BE CONCRETE. ALL STAIRS TO BE CONCRETE. ALL STAIRS TO BE CONCRETE. ALL STAIRS TO BE CONCRETE.



$31 \times 25 = 775 \text{ SF}$   
 $- 4 \times 8 = (32)$   


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 $743 \text{ SF}$   
 $+ 10 \times 8 = 128$   
WATER  

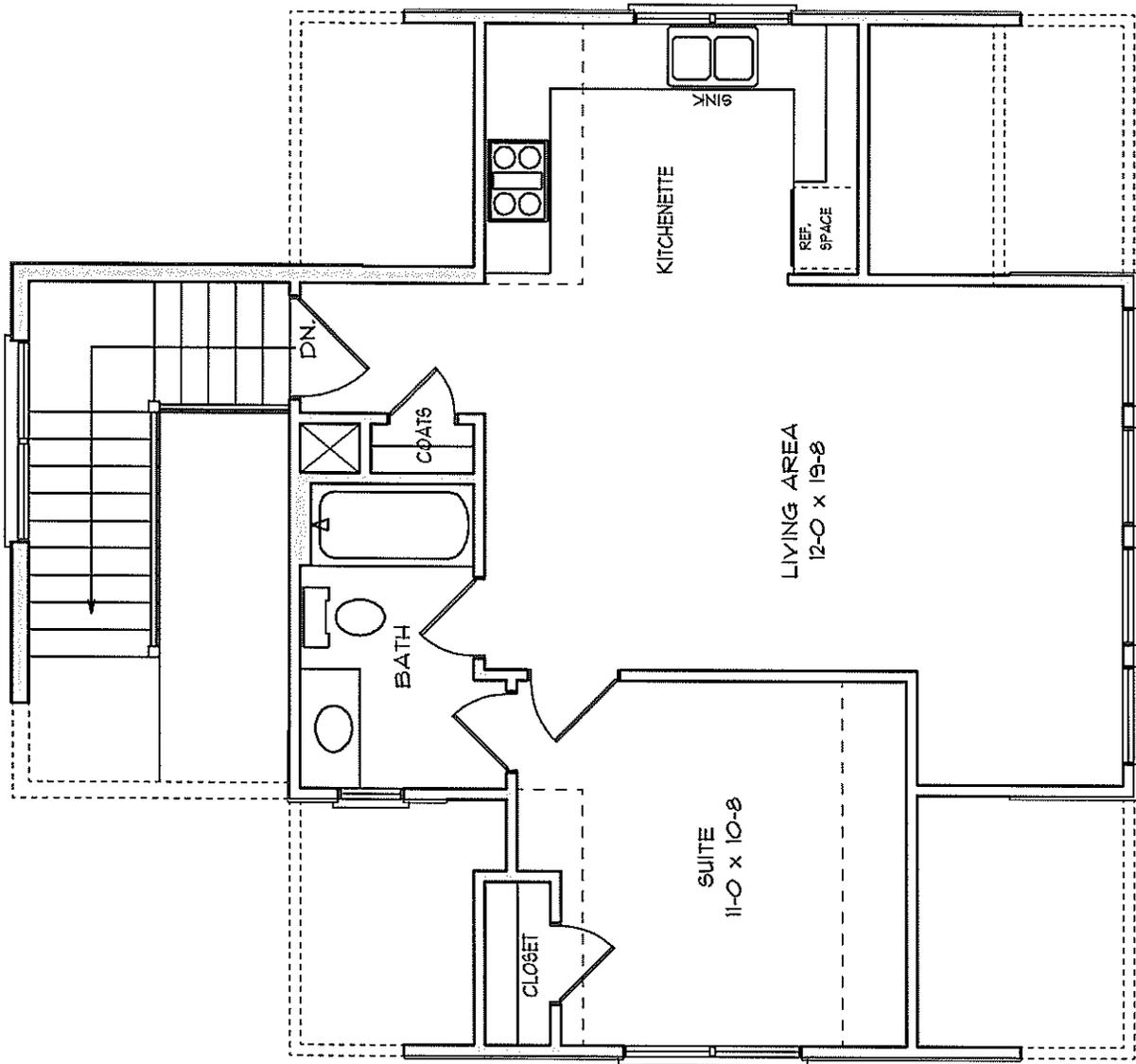

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 $871 \text{ SF}$   
**TOTAL**  
 Footprint.

DRAB approval  
 .036% of primary  
 footprint? polaris will suffice  
 (75)  
 125  
 775  
 $- 3.75$

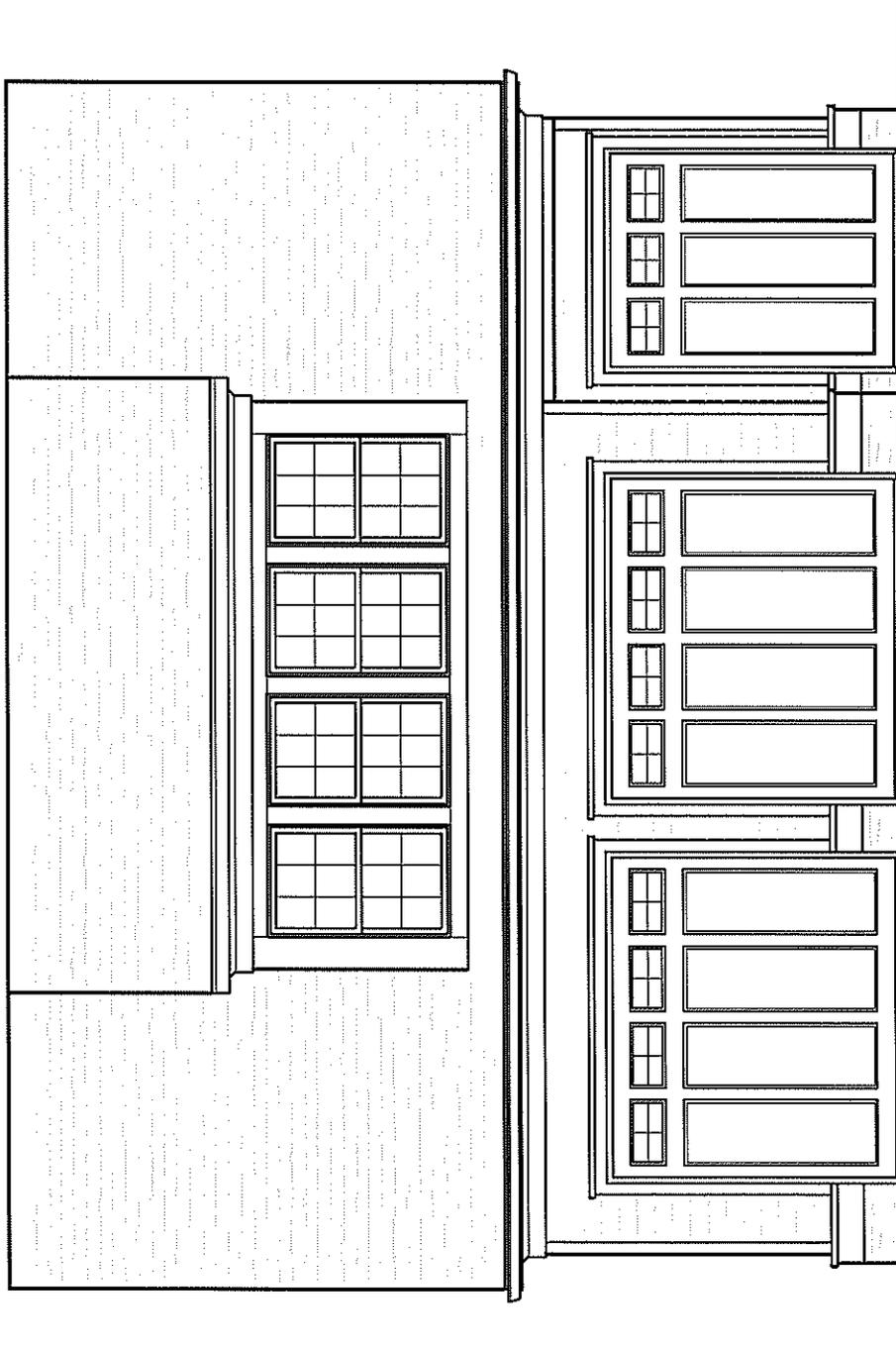
**FIRST FLOOR GARAGE**  
SCALE 3/16" = 1'-0"

105 College Dr. George Grusec



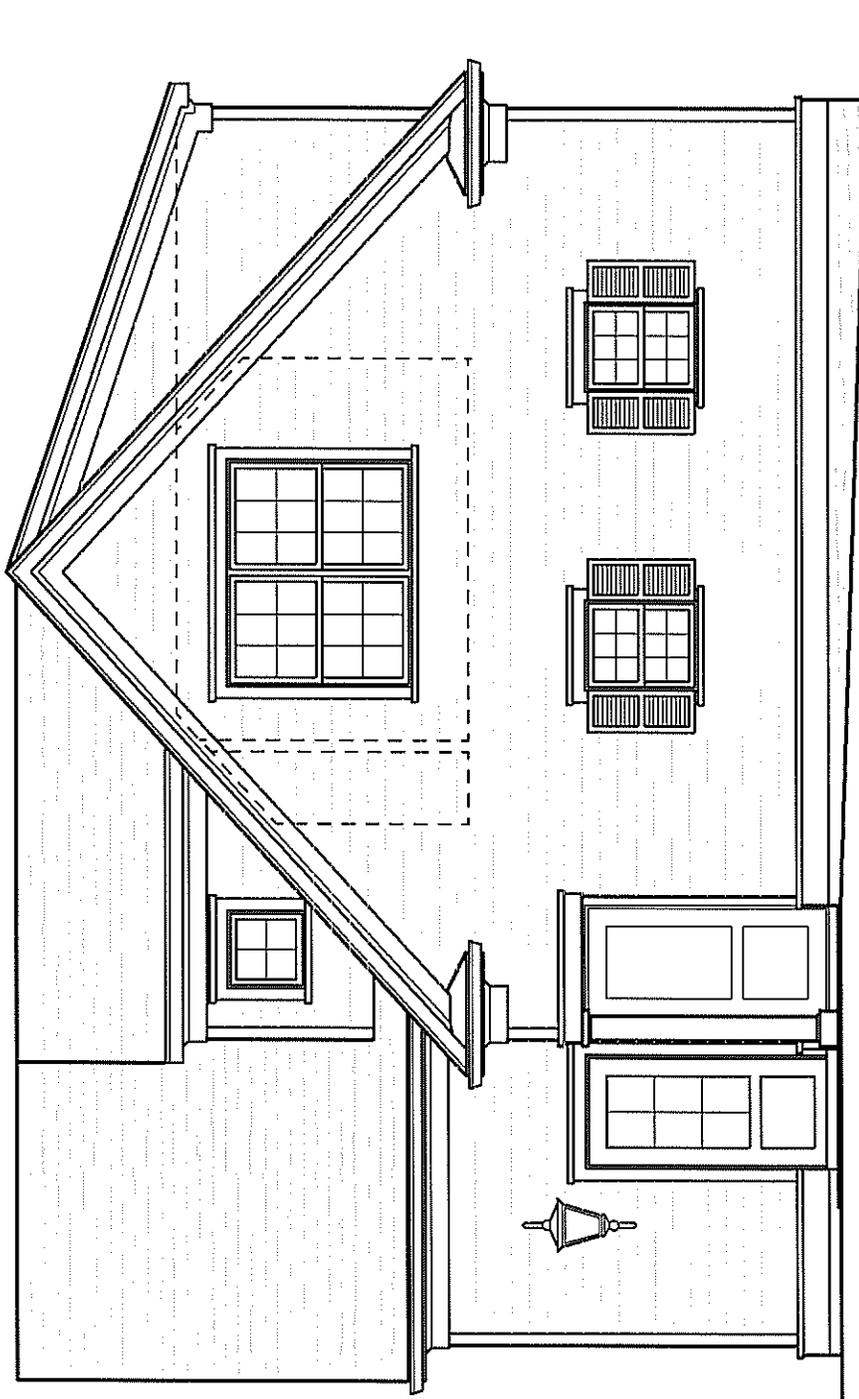
# NEW SECOND FLOOR GARAGE

SCALE 3/16" = 1'-0"



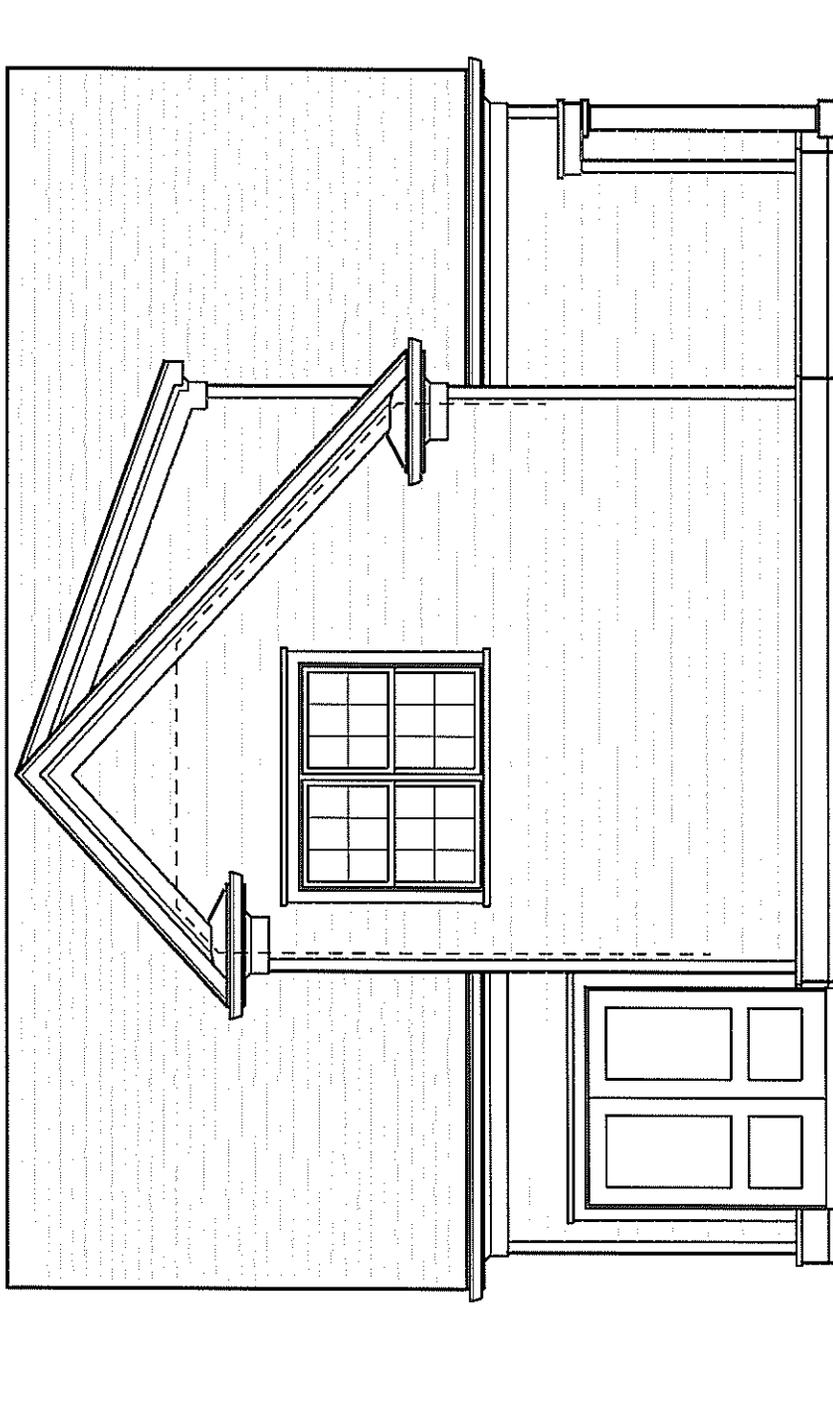
**FRONT ELEVATION**

SCALE 3/16" = 1'-0"



**LEFT ELEVATION**

SCALE 3/16" = 1'-0"



**REAR ELEVATION**

SCALE 3/16" = 1'-0"



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**Agenda Title:** Accessory Structure - 517 Lorimer Rd

**Summary:**

---

**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
☐ Staff Analysis	10/11/2017	Presentation
☐ Application and Exhibits	10/11/2017	Exhibit

**Town of Davidson, NC**  
**Design Review Board: Staff Analysis**  
**Project Manager: Chad Hall**  
**October 18, 2017**

**Project:** Accessory Structure (over 650 square feet)  
**Location:** 517 Lorimer Road  
**Applicant:** Palmer Brown  
**Designer:** MNM Architecture  
**Planning Area:** Village Infill (Yellow Overlay)

---

The applicant is remodeling the home at 517 Lorimer Road; as part of this work, a detached garage is proposed that is over 650 square feet. The detached garage will be accessed from an alley. In order to save some trees on the property, the Planning Director has granted permission for the detached garage to be located in the side yard.

Square footage for the detached garage is listed at 1,257 total (742 lower level; 515 upper level). The proposed detached garage footprint is proposed to be below 30% of the footprint of the principal structure and not in excess of 900 square feet.

Materials for the detached garage mirror that of the house, being brick. It is proposed that both the house and garage will be painted white.

**DAVIDSON PLANNING ORDINANCE:**

**Section 4.5.8 Accessory Structures**

*B. Size of Accessory Structure*

2. *Any accessory structure over 650 square feet of first floor area and all accessory structure ancillary to non-residential building types shall be reviewed by the Design Review Board, in accordance with the procedures in Section 14.*

**Section 4.4.1 General Building Design Standards**

*E. Materials*

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*
4. *Building materials and colors shall be:*
  - a. *Complementary to the materials already being used in the neighborhood.*

*F. Architectural Details*

1. *Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.*
4. *Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*

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Agenda\517 lorimer-acc structure\20171011\_517 Lorimer-Access Structure\_Staff Analysis.doc

## Design Review

### Brown – Detached Garage

517 Lorimer Rd.

- Application is submitted for approval of a detached garage in conjunction with a remodeling project.
- The garage footprint is less than 30% of the footprint of the primary structure so overall size is permitted under Section 4.5.8(B)(1) of the Town Planning Ordinance; however, the footprint is greater than 650 sq ft so design review is required under Section 4.5.8(B)(2).
- The garage and overall project meet all requirements of the Planning Ordinance with exception of Section 4.5.8(C)(2) which requires the garage/accessory structure to be in the rear yard only.
- The Planning Director has approved exception to this requirement as reflected on the attached site plan to preserve three large trees, the smallest of which is great than 9ft in circumference and 3 ft in diameter.
- As reflected on the attached elevations, the design and materials of the garage would be consistent with that of the primary house, being a traditional design with brick façade. The only change in appearance from the current house would be to paint both the house and garage white to enable the brick to be consistent for the entirety of the house and the garage.



# Design Review

BROWN - DAVIDSON GARAGE  
(Name of Project)

## Project Description

**Application Date:** OCT. 5, 2017

**Project Location:** 517 LORIMER RD., DAVIDSON

**Tax Parcel(s):** 00702213

**Planning Area:** VILLAGE INFILL

**Overlay District:** YELLOW OVERLAY

**Master or Cond. Plan**  
*(Attach Conditions of Approval)*

**Gen. Statement of Intent:**  
BUILDING OUTRACH GARAGE. GREATER THAN 650 SQ. FT. BUT LESS THAN 30% OF THE FOOTPRINT OF PRIMARY STRUCTURE.

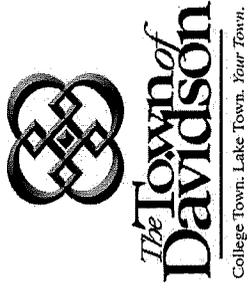
**Project Details:**

- Project Type:
  - Individual Bldg.
  - Master Plan
  - Conditional Planning Area
  - Sign
- Building Type:
  - Detached House
  - Townhouse
  - Attached House (Tri- or Quadplex)
  - Institutional
  - Live/Work
  - Multi-family (Apts., Condos, Flats)
  - Workplace
  - Storefront
  - Accessory Structure
- Use(s): SINGLE FAMILY RESIDENTIAL
- Height & Stories: 2 STORIES, 24.5 FT.
- Square Footage: 12 FLOOR - 742, 2ND FLOOR - 515, TOTAL - 1257
- Building Materials: BRICK

**Architectural Features:**  
TRADITIONAL BRICK CONSISTENT WITH PRIMARY STRUCTURE

**Existing Site Conditions:**  
SINGLE FAMILY RESIDENTIAL

*See 14.12.2.D*



## Design Review

BROWN - DETACHED GARAGE

(Name of Project)

### Contact Information

#### Applicant's Information

Name: PAUL BROWN

E-Mail: palme.brown@compass-usa.com

Mailing Address: 9705 WATKIN CT.

Business Phone: HUNTERVILLE, NC 28078  
704.  
328-4013 Mobile Phone: 968-1970

#### Property Owner's Information

(If Different from Applicant)

Name: \_\_\_\_\_

E-Mail: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Business Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_

#### Architect's Information

Name of Firm: MNM ARCHITECTS

Architect's Name: MILIE NICHOLSON

E-Mail: micholson@mamasnitchts.com

Mailing Address: 2100 ~~BR~~ SOUTH BVD.  
CHARLOTTE, NC 28203  
704.  
332-6763 Mobile Phone: 661-3056



# Design Review

BROWN - DAVIDSON GARAGE

(Name of Project)

## Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.

- Planning Ordinance**  
<http://www.townofdavidson.org/1006/Planning-Ordinance>  
 (Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)
- Section 2 Planning Areas**
  - Permitted Use/Add'l Req.  Not Permitted
  - Permitted Building Type  Not Permitted
  - Meets Setback Criteria  Does Not Meet
  - Meets Open Space Criteria  Does Not Meet
  - Meets Density Criteria  Does Not Meet
- Section 4 Design Standards**
  - General Site Design Criteria (4.3)
  - General Building Design Criteria (4.4)
  - Specific Building Type Criteria (4.5) - *SEE ATTACHES*
  - Existing Industrial Campuses Criteria (4.6)
  - Renovation of Existing Structures Criteria (4.7)
- Section 8 Parking & Driveways**
- Section 9 Tree Preservation, Landscaping & Screening**
- Section 10 Lighting**
- Section 22 Local Historic District Guidelines**

# BROWN RESIDENCE

517 LORIMER RD  
DAVIDSON, NORTH CAROLINA

OWNER: Palmer Brown  
517 Lorimer Rd  
Davidson, NC 28036

ARCHITECT OF RECORD: McClure Nicholson Montgomery Architects  
2108 South Blvd., Suite 110  
Charlotte, NC 28223  
704.332.6763  
Contact: Miller Nicholson, AIA LEED AP.

CODE REFERENCE: 2012 NC Residential Code

MAIN HOUSE HEATED SQUARE FOOTAGE:

EXISTING:	2,710 SQFT
EXISTING: (RENOVATED)	2,327 SQFT
EXISTING: (REMOVED)	341 SQFT
NEH + (ADDITION)	1,611 SQFT
TOTAL: (ADD+REN)	3,044 SQFT

DETACHED GARAGE:

GARAGE (UNHEATED)	661 SQFT
GARAGE (HEATED)	81 SQFT
BONUS ROOM	515 SQFT
TOTAL HEATED	546 SQFT

NUMBER OF STORIES:

EXISTING:	2
NEH:	2
TOTAL	2

## LEGEND:

### ARCHITECTURAL

A-0 PROJECT INFORMATION  
A-1.0 SITE PLAN  
A-1.1 FLOOR PLAN  
A-1.2 FLOOR PLAN  
A-2.0 EXTERIOR ELEVATIONS  
A-2.1 EXTERIOR ELEVATIONS  
A-3.0 BUILDING SECTION

### STRUCTURAL



**McCLURE  
NICHOLSON  
MONTGOMERY**

2108 South Blvd - Suite 110 - Charlotte - NC  
Tel. 704.332.6763 - Fax 704.334.0262 - www.mnmarchitects.com

A-0

FLOOR TO AREA RATIO	
LOT SIZE	29,240 SQFT
USING	21,000 SQFT
MAX. ALLOWED	3,940 SQFT
MAIN HOUSE	
1ST FLOOR	2,479 SQFT
2ND FLOOR	1,468 SQFT
TOTAL	3,947 SQFT
DETACHED GARAGE	
GARAGE	142 SQFT
BONUS ROOM	819 SQFT
TOTAL	1291 SQFT



**McCLURE  
NICHOLSON  
MONTGOMERY**  
Architects

2105 South Boulevard, Suite 110  
Charlotte, N.C. 28203  
Phone: 704.332.0763  
Fax: 704.334.0292

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**BROWN RESIDENCE**  
517 LORIMER ROAD  
DAVIDSON, NC

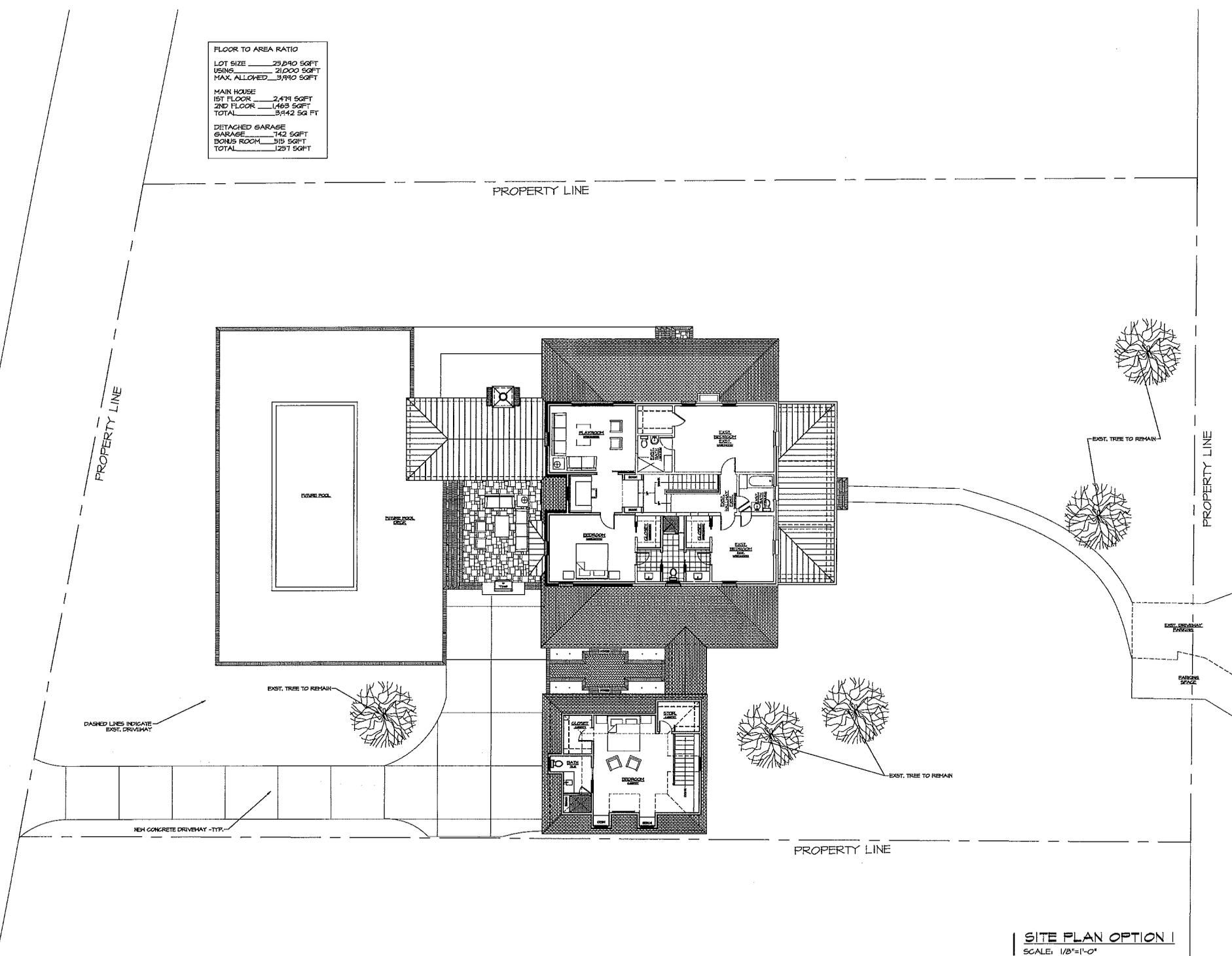
Project Number: 714-2017  
ISSUE: 01/26/11 OWNER REVIEW

REVISION

NOT FOR CONSTRUCTION

SHEET TITLE:  
**SITE PLAN**

**A-1.0**



**SITE PLAN OPTION 1**  
SCALE: 1/8"=1'-0"







**McCLURE  
NICHOLSON  
MONTGOMERY**  
Architect

2108 South Boulevard, Suite 110  
Charlotte, N.C. 28203  
Phone: 704.332.8763  
Fax: 704.334.8262

**BROWN RESIDENCE**  
517 LORIMER ROAD  
DAVIDSON, NC

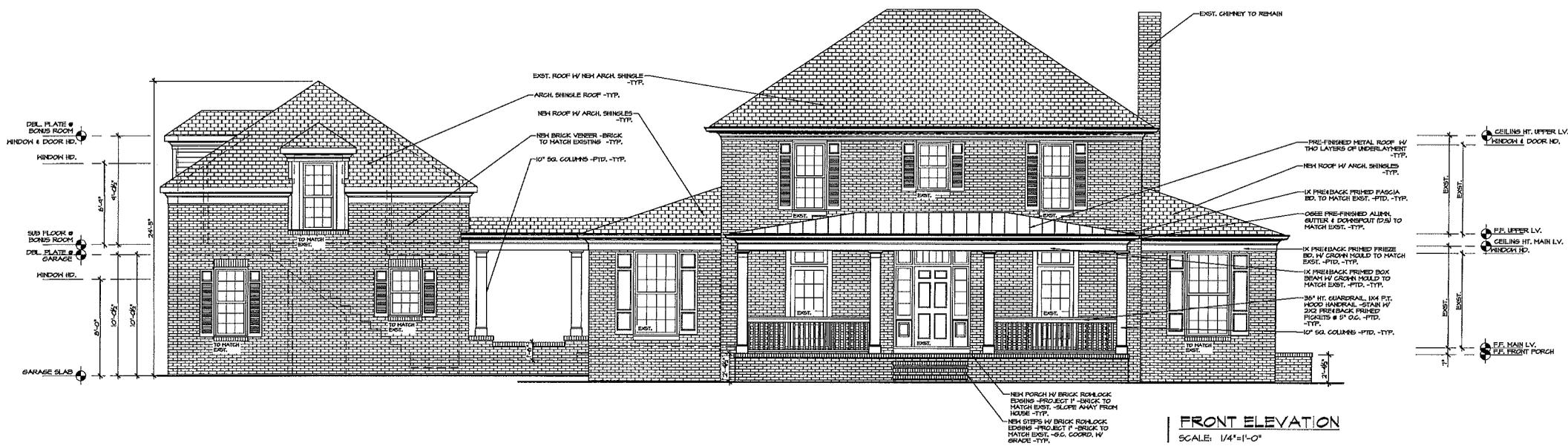
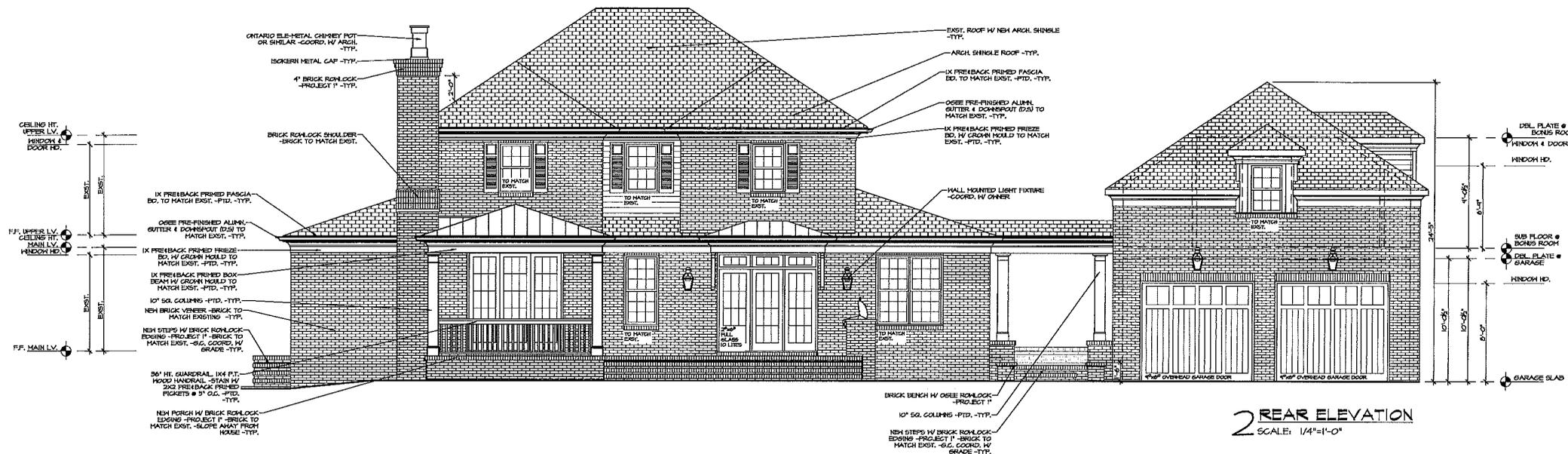
Project Number TH-2017

ISSUE:  
01/26/11 OWNER REVIEW

REVISION

SHEET TITLE:  
**ELEVATIONS**

**A-2.0**



NOT FOR CONSTRUCTION



**McCLURE  
NICHOLSON  
MONTGOMERY**  
architects

2108 South Boulevard Suite 110  
Charlotte, N.C. 28203  
Phone: 704.332.6762  
Fax: 704.334.0292

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**BROWN RESIDENCE**  
517 LORIMER ROAD  
DAVIDSON, NC

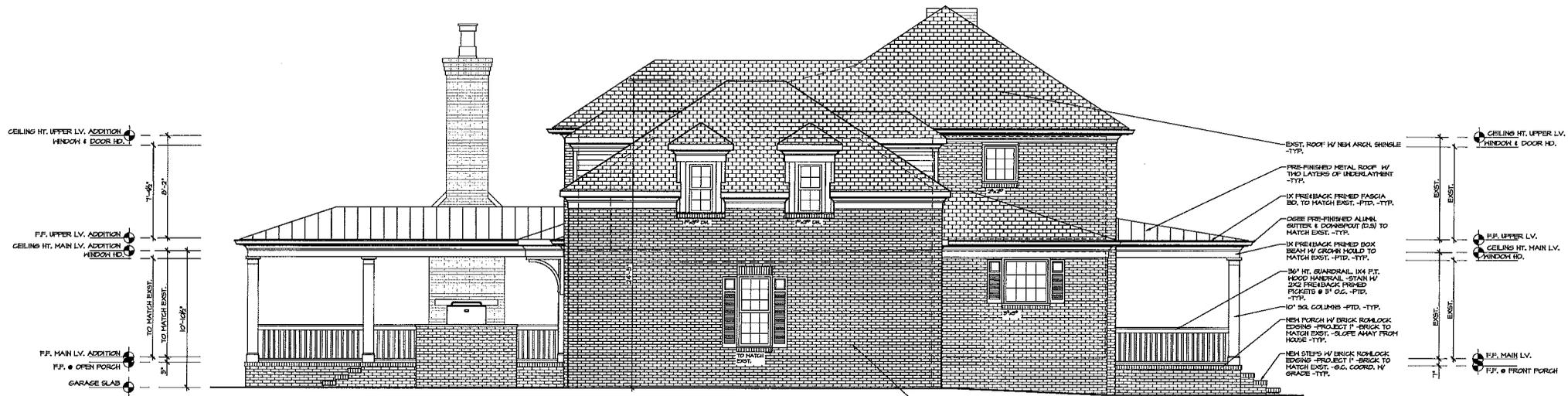
Project Number: 719-2017  
ISSUE: 01/26/11 OWNER REVIEW

REVISION

NOT FOR CONSTRUCTION

SHEET TITLE:  
**ELEVATIONS**

**A-2.1**



**2 LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"





---

**Agenda Title:** Davidson Elementary Addition FYI

**Summary:**

---

**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
☐ Application	10/11/2017	Exhibit
☐ Plans	10/11/2017	Exhibit
☐ Slides	10/11/2017	Exhibit



# Design Review

Davidson Elementary School K-8 Conversion

(Name of Project)

## Development Process

Date Completed	Outline of Steps & Checklist
08/01/17	<input checked="" type="checkbox"/> 1. Initial Meeting
09/27/17	<input checked="" type="checkbox"/> 2. Application and Fee
10/18/2017	<input checked="" type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
_____	<input type="checkbox"/> 4. Planning Director Site Schematic Design Review
_____	<input type="checkbox"/> 5. Design Review Board Approval
_____	<input type="checkbox"/> 6. Building Construction Documents
_____	<input type="checkbox"/> 7. Site and Landscape Construction Documents
_____	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
_____	<input type="checkbox"/> 9. Building Permit Approval
_____	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
_____	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
_____	<input type="checkbox"/> 12. Certificate of Occupancy

*\* For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*



# Design Review

CMS Davidson Elementary School K-8 Conversion  
 (Name of Project)

## Application Requirements

### Date Received

09/27/17

Application Fee per Town of Davidson Fee Schedule

09/27/17

Contact Information

09/27/17

General Statement of Intent  
*(Use, building type, approx. square footage, height, design features)*

09/27/17

Statement of Compliance with Section 2

N/A

Master Plan or Conditional Planning Area  
*(Including all documents, plans, maps, and conditions of approval)*

09/27/17

Environmental Inventory in accordance with Section 14.15.1  
*(Including adjacent properties and buildings)*

09/27/17

General Description  
*(Including a description and color photographs to existing / adjacent site)*

09/27/17

Site Schematic Design in accordance with Section 14.15.7

09/27/17

Building Schematic Design in accordance with Section 14.15.3  
*(Including rendered elevations of each façade per 14.15.3 C)*

09/27/17

Landscape Schematic Design in accordance with Section 14.15.5

09/27/17

Building Perspective

09/27/17

Building Materials/Colors  
*(Roofing, siding, doors, windows, etc.)*

*As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.*

*Chris Tymoff*

09/27/17

Applicant's Signature

Date



# Design Review

Davidson Elementary K-8 Conversion

(Name of Project)

## Contact Information

### Applicant's Information

Name: Chris Tymoff

E-Mail: ctymoffe@littleonline.com

Mailing Address: 5815 Westpark Drive  
Charlotte, NC 28217

Business Phone: 704-561-5115 Mobile Phone: \_\_\_\_\_

### Property Owner's Information

*(If Different from Applicant)*

Name: Mike Higgins for CMS Capital Program Services

E-Mail: m.higgins@cmsk12.nc.us

Mailing Address: 3301 Stafford Drive  
Charlotte, NC 28208

Business Phone: \_\_\_\_\_ Mobile Phone: 704-201-3406

### Architect's Information

Name of Firm: Little Diversified Architectural Consulting

Architect's Name: Tom Balke

E-Mail: tbalke@littleonline.com

Mailing Address: 5815 Westpark Drive  
Charlotte, NC 28217

Business Phone: 704-561-3414 Mobile Phone: 704-718-0974



# Design Review

Davidson Elementary School K-8 Conversion

(Name of Project)

## Project Description

Application Date: 09/27/17

Project Location: 635 South Street

Tax Parcel(s): 00704123

Planning Area: Village Infill

Overlay District: Village Infill Overlay

Master or Cond. Plan: N/A  
*(Attach Conditions of Approval)*

Gen. Statement of Intent: A new three story classroom wing is being added to allow for the addition of 6th-8th grades

### Project Details:

- Project Type:
  Individual Bldg.
  Master Plan
  Conditional Planning Area
  Sign
- Building Type:
  Detached House
  Townhouse
  Attached House (Tri- or Quadplex)
  Institutional
  Live/Work
  Multi-family (Apts., Condos, Flats)
  Workplace
  Storefront
  Accessory Structure
- Use(s): Elementary School
- Height & Stories: 3 stories - 48'
- Square Footage: 36,269 SF
- Building Materials: Primarily brick

### Architectural Features:

Existing Site Conditions: There is an existing elementary school on the site including several mobile classrooms that will be removed in conjunction with the construction of the new classrooms.

See 14.12.2.D





September 27, 2017

Mr. Chad Hall  
Town of Davidson, North Carolina

CMS Davidson PK-8 Building Addition

General Statement of Intent:

The purpose of the project is to add grades 6-8 to the existing Davidson Elementary School. The addition will consist of a 3 story classroom wing behind a portion of the existing school. Additional on-site vehicular stacking will be provided to help the facility comply with the NCDOT requirements and a new fire access drive will also be provided. A new soccer field will be constructed where the existing baseball field and mobile classrooms are currently located. Stormwater management will be required to meet the Post Construction Control Ordinance.

Section 2 - Planning Areas:

There is no Master Plan or Conditional Planning Area the project will be required to comply with. The Planning Area is the Village Overlay.

Section 4 – Design Standards:

The Town of Davidson Architectural and Site standards have been taken into consideration related to the building addition and associated site improvements.

Section 8 – Parking and Driveways

All new parking and driveways have been designed to meet the Town of Davidson requirements related to access location and parking configuration. There are no new parking spaces planned for the school. There are a few spaces for the greenway access that will be reconstructed.

Section 9 Tree Preservation, Landscape & Screening

A Site Survey is provided which indicates the location of significant vegetation, streams and adjacent facilities including one of the major access points to the Davidson Greenway. The majority of the developable portions of the site have been built upon. See photos for additional documentation of the site conditions.

We have also include a Landscape Plan which indicates the additional screening required along the street frontage for parking.

Section 10 – Lighting

Any new site lighting will meet the Town of Davidson requirements related to light trespass.

Section 22 – Local Historic District Guidelines

This section does not fall within this district, therefore the site does not need to comply with the requirements.

5815 Westpark Drive  
Charlotte NC 28217

Voice 704.525.6350  
Fax 704.561.8700

[www.littleonline.com](http://www.littleonline.com)





A Design Development Site Plan is provided which indicates the location of the existing and proposed building and other vehicular access associated with the on-site stacking. All planned improvements meet the requirements of Section 14.15.7 of the Town of Davidson Planning Ordinance.

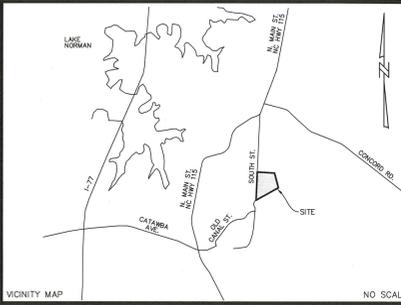
Schematic Building Design and Elevations are provided which indicate compliance with Section 14.15.3 of the Town of Davidson Planning Ordinance.

Schematic Landscape Plan indicating compliance with the parking lot screening requirements per Section 14.15.5 of the Town of Davidson Planning Ordinance is also provided.

Please feel free to contact us with any questions you may have on this preliminary design submittal.

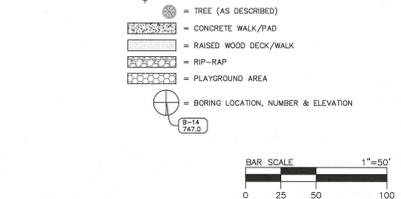
Thank you.

Sincerely,  
Chris Tymoff



- NOTES:**
- HORIZONTAL CONTROL ESTABLISHED WITH GPS USING NAD83 VRS NETWORK. HORIZONTAL DATUM = NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 83/2011). VERTICAL DATUM = NAVD 88.
  - 1 FOOT CONTOUR INTERVALS.
  - PROJECT BENCH MARK: NGS MONUMENT "CORNELIUS" NAD 83(2011) N=144,306.24 E=1,447,793.89 ELEV=836.20' (NAVD 88)
  - THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL RESTRICTIONS, EASEMENTS AND/OR RIGHTS-OF-WAY.
  - AREAS COMPUTED BY COORDINATE METHOD.
  - UNADJUSTED RATIO OF PRECISION: 1:37,369
  - SURVEY TRACT ZONING: VP (PER MECKLENBURG COUNTY GIS)
  - MINIMUM SETBACKS FOR VP - INSTITUTIONAL (PER TOWN OF DAVIDSON ZONING) ARE AS FOLLOWS:  
FRONT: 0 FEET  
SIDE: 10 FEET  
REAR: 5 FEET  
BUILDING HEIGHT: 37 FEET
  - TOTAL ACREAGE FOR THE AREA ENCOMPASSED BY THIS MAP IS: 19.494 ACRES (BY SURVEY).
  - NO DEVELOPMENTAL STUMP HOLES REPORTED TO THIS FIRM WITHIN THE PARCELS WHICH MAKE UP THIS MAP.
  - SUBJECT TAX PARCEL: #00704123
  - THE GRAPHIC REPRESENTATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN WERE ESTABLISHED BY FIELD LOCATION OF PAINT MARKS AND/OR PIN FLAGS PLACED BY UTILITY LOCATION CONTRACTOR AND OTHER INFORMATION SHOWING APPROXIMATE LOCATION.
  - NO OBSERVED EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
  - NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
  - SUBJECT PARCEL IS GRAPHICALLY LOCATED WITHIN ZONE "X" (OTHER AREAS) - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA FIRM MAPS NUMBER 3704M300K & 3704M300J WITH EFFECTIVE DATES OF SEPTEMBER 2, 2015 AND MARCH 2, 2009.
  - NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
  - NO ENDROACHMENTS EXCEPT AS EXPRESSLY CALLED OUT ON SURVEY.
  - THERE ARE NO GAPS, GORES OR OVERLAPS UNLESS EXPRESSLY INDICATED. (SEE DETAIL "A")

- LEGEND:**
- DB = DEED BOOK
  - PS = PLAT BOOK
  - R/W = RIGHT OF WAY
  - N/F = NOW OR FORMERLY
  - ST = SQUARE FEET
  - AC = ACRES
  - NAD = NORTH AMERICAN DATUM
  - NAVD = NORTH AMERICAN VERTICAL DATUM
  - REWORKED CONCRETE PIPE
  - CMP = CORRUGATED METAL PIPE
  - HP = HIGH DENSITY POLYETHYLENE PIPE
  - CRP = CORRUGATED PLASTIC PIPE
  - VC = VERIFIED CLAY PIPE
  - CONC. = CONCRETE
  - SSMH = SANITARY SEWER MANHOLE
  - CS = SANITARY SEWER CLEANOUT
  - CB = STORM DRAINAGE CATCH BASIN
  - COB = DOUBLE CATCH BASIN
  - YI = YARD INLET
  - FTE = FINISHED FLOOR ELEVATION
  - CFE = COMBINED GROUND FACTOR
  - FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
  - FIRM = FLOOD INSURANCE RATE MAP
  - NGS = NATIONAL GEODETIC SURVEY
  - SR = SECONDARY ROAD NUMBER
  - CP = COMPUTED POINT
  - EP = EDGE OF PAVEMENT
  - TBM = TEMPORARY BENCHMARK
  - PCDO = POST CONSTRUCTION CONTROL ORNANCE
  - SWM = SURFACE WATER IMPROVEMENT & MANAGEMENT
  - CS = SANITARY SEWER CLEANOUT
  - FC = FOUND CORNER (AS DESCRIBED)
  - CB = SET #5 REBAR (UNLESS OTHERWISE NOTED)
  - EB = ELECTRIC BOX/PEDESTAL
  - GS = GAS VALVE
  - LI = LIGHT POLE
  - GA = GUY WIRE
  - UT = UTILITY POLE
  - FA = FLAG POLE
  - WM = WATER METER
  - WH = WATER HYDRANT
  - CI = CATCH BASIN/YARD INLET
  - FL = FLARED END SECTION
  - EI = END OF INFORMATION
  - CS = CONCRETE BOLLARD
  - PL = PROPERTY LINE
  - AD = ADJOINING PROPERTY LINE (NOT SURVEYED)
  - UL = OVERHEAD UTILITY LINE
  - UL = RIGHT OF WAY
  - SS = SANITARY SEWER LINE
  - SS = STORM SEWER LINE
  - SS = FENCE
  - SS = EASEMENT
  - CR = C/O CREEK OR STREAM
  - UL = UNDERGROUND CABLE TELEVISION LINE
  - UL = UNDERGROUND UTILITY LINE
  - UL = UNDERGROUND FIBER OPTIC LINE
  - UL = UNDERGROUND ELECTRIC LINE
  - UL = UNDERGROUND FIBER OPTIC LINE
  - UL = SANITARY SEWER FORCEMAIN
  - UL = WOOD GLAND RAIL
  - UL = TREE LINE
  - 100.0 = SPOT ELEVATION
  - (AS DESCRIBED) = TREE (AS DESCRIBED)
  - CONCRETE WALK/PAD
  - RAISED WOOD DECK/WALK
  - RIP-RAP
  - PLAYGROUND AREA
  - BORING LOCATION, NUMBER & ELEVATION



**DAVIDSON ELEMENTARY SCHOOL**  
 Davidson, Mecklenburg County, North Carolina  
 ESP Associates, P.A. Project Number FP03800

May 15, 2017

**UTILITY CONTACT INFORMATION**

Name/Company	Phone #s	Address/E-mail
Ryan Brown CLW subalts	Bus: 704-391-4702	5100 Brookshire Blvd Charlotte, NC 28216 clw@clwinc.com
Seven Cox Duke Energy	Bus: 704-395-4354 Cell: 704-576-9308	6325 Wilkinson Boulevard Charlotte, NC 28214 Seven.Cox@duke-energy.com
Shant Britt Electricities of NC	Bus: 704-659-2171	shbritt@electricities.org
Ken Cole PSNC	Bus: 704-810-3209	800A Gaston Rd Gastonia, NC 28056 kcooler@psnc.com
Gregg Brown Specum/TWC	Bus: 704-378-2545 Cell: 980-722-7631	4606 Margaret Wallace Rd Matthews, NC 28105 Gregg.Brown@charter.com
James Foley Windstream (formerly CTC)	Bus: 704-722-2617 Fax: 704-722-2660	187 Buffalo Ave NW Concord, NC 28025 James.Foley@windstream.com

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ESP Associates, P.A.

**ESP**  
 ESP Associates, P.A.  
 20484 Chartwell Center Dr.  
 Suite D  
 Cornelius, NC 28031  
 704-990-9428  
 www.espassociates.com



I, WILLIAM W. FINK, CERTIFY THAT THIS PLAN WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND AND SHOWN ON PLAT RECORD; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:37,369; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 N.C. 24, 1800.2) (THE "PRACTICE OF SURVEYING" A.S. 2417)

WILLIAM W. FINK, P.E. - 448181

NO.	DATE	REVISION	BY

**BOUNDARY & TOPOGRAPHIC SURVEY OF TAX PARCEL #00704123**

LOCATED IN: TOWN OF DAVIDSON  
 MECKLENBURG COUNTY  
 NORTH CAROLINA

CLIENT: THE CHARLOTTE-MECKLENBURG BOARD OF EDUCATION

PROJECT NO: FP03800.000  
 SCALE: 1"=50'  
 DATE: 9/8/17  
 DRAWN BY: RLS  
 CHECKED BY: WFF  
 DATE SURVEY: MAY, 2017  
 BROWNE NO: FP03800.BNDY  
 TOPO.DWG

SHEET 1 OF 1

NOT FOR CONSTRUCTION

DEVELOPMENT SUMMARY

- PLANNED CLASSROOMS - 54 (INCLUDING MODULAR CLASSROOMS)
- PARKING SETBACK - VEHICLE OVERHANG MUST BE ON PROPERTY
- PARKING REQUIREMENTS - 2.0 MINIMUM SPACES (108) AND 2.25 MAXIMUM PER CLASSROOM (122)
- PARKING PROVIDED - 111 NOT INCLUDING SHARED USE SPACES WITH PARK AND GREENWAY
- STORMWATER MANAGEMENT - PER TOWN OF DAVIDSON PCCO STANDARDS

LITTLE  
DIVERSIFIED ARCHITECTURAL CONSULTING

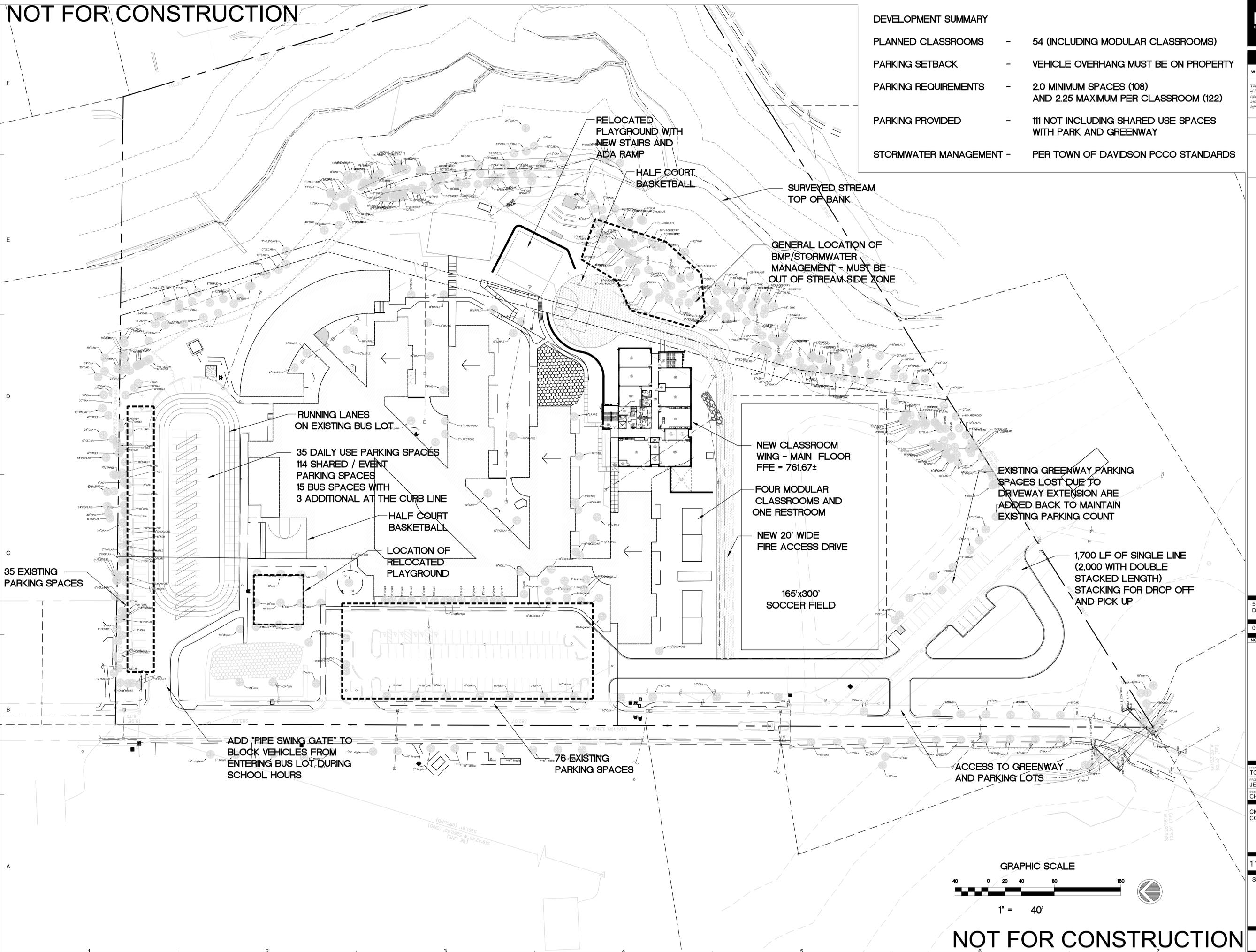
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cms  
Charlotte-Mecklenburg Schools

PRELIMINARY  
NOT FOR  
CONSTRUCTION



50% DESIGN  
DEVELOPMENT

09/22/17

NO.	REASON	DATE

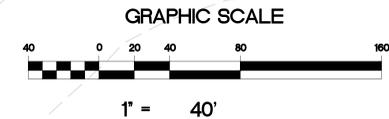
PRINCIPAL IN CHARGE:  
TOM BALKE, AIA  
PROJECT MANAGER:  
JERRY FOCHT, PE  
DESIGN TEAM:  
CHRIS TYMOFF, AIA

CMS DAVIDSON K-8  
CONVERSION

112445801

SITE PLAN

C 200



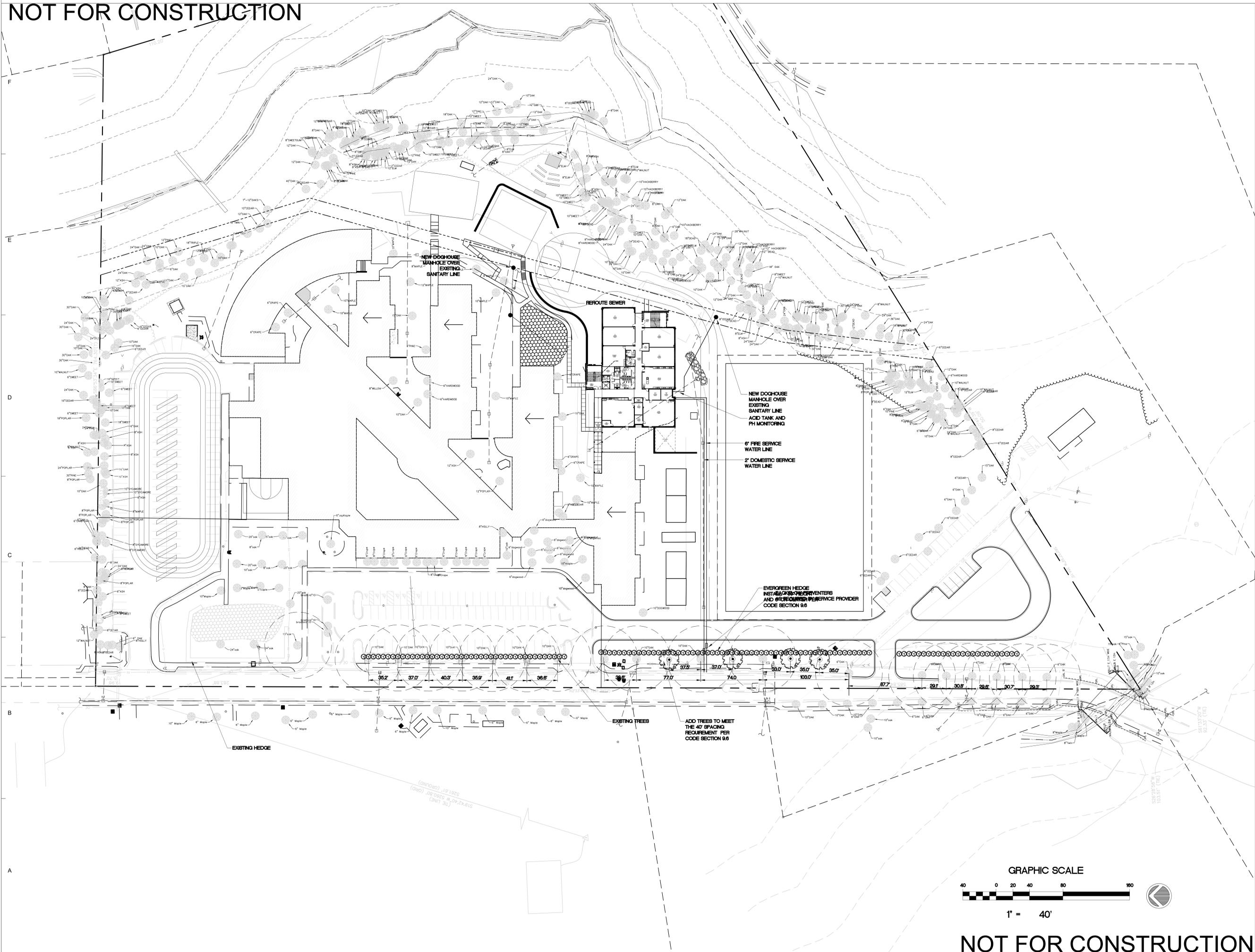
NOT FOR CONSTRUCTION





NOT FOR CONSTRUCTION

PRELIMINARY  
NOT FOR  
CONSTRUCTION



50% DESIGN  
DEVELOPMENT

09/22/17

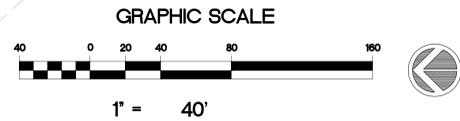
NO.	REASON	DATE

PRINCIPAL IN CHARGE  
TOM BALKE, AIA  
PROJECT MANAGER  
JERRY FOCHT, PE  
DESIGN TEAM  
CHRIS TYMOFF, AIA

CMS DAVIDSON K-8  
CONVERSION

112445801

LANDSCAPE PLAN



NOT FOR CONSTRUCTION

# Existing Context



Aerial View

# Existing Context



Main Entry Drive



Existing Lower School Building



Main Entry



Existing Lower School Building

## Site Photos – Existing Conditions

# Floor Plans



Level 1

11,083 gsf



Total: 36,269 gsf

# Floor Plans



Level 2

12,775 gsf



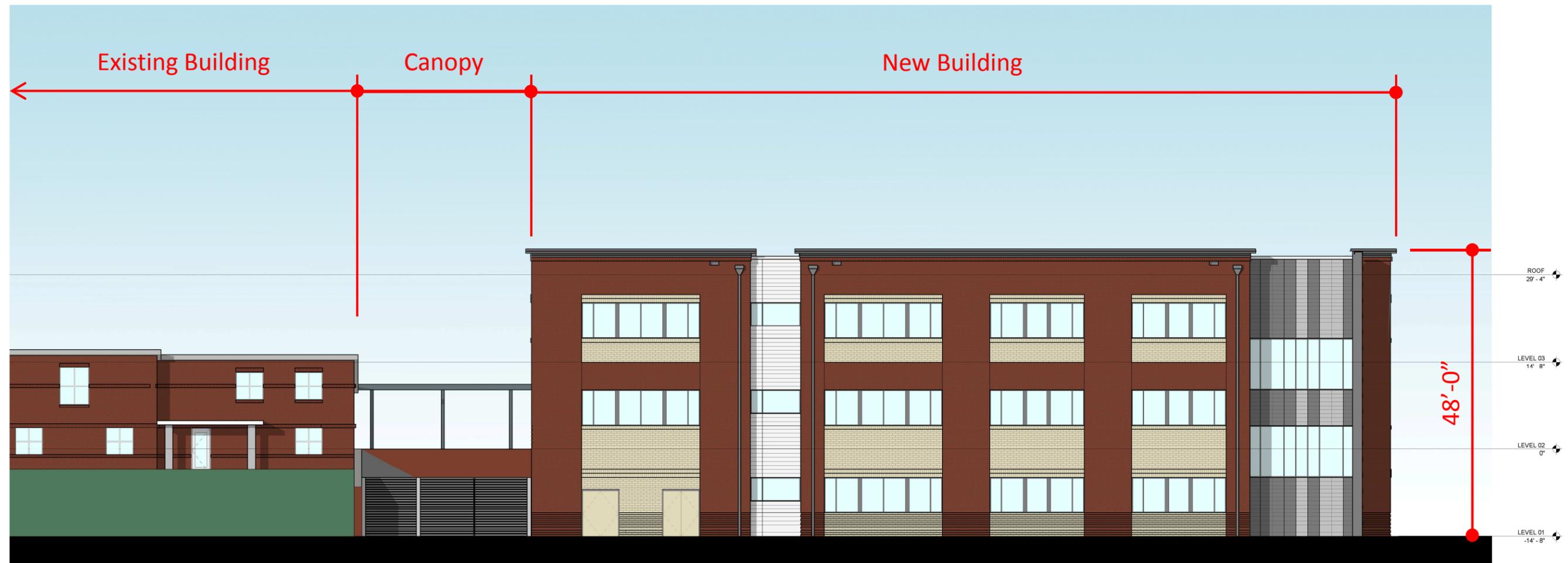
# Floor Plans



Level 3  
12,411 gsf



# Elevations



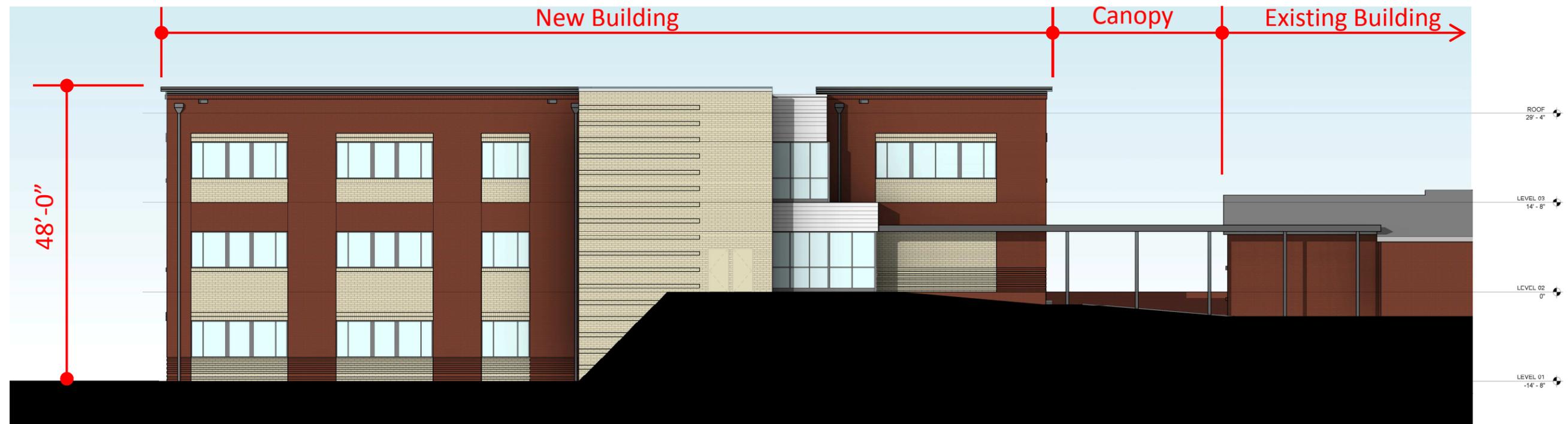
South Elevation

# Elevations



West Elevation

# Elevations



North Elevation

# Elevations



East Elevation

# Exterior Views



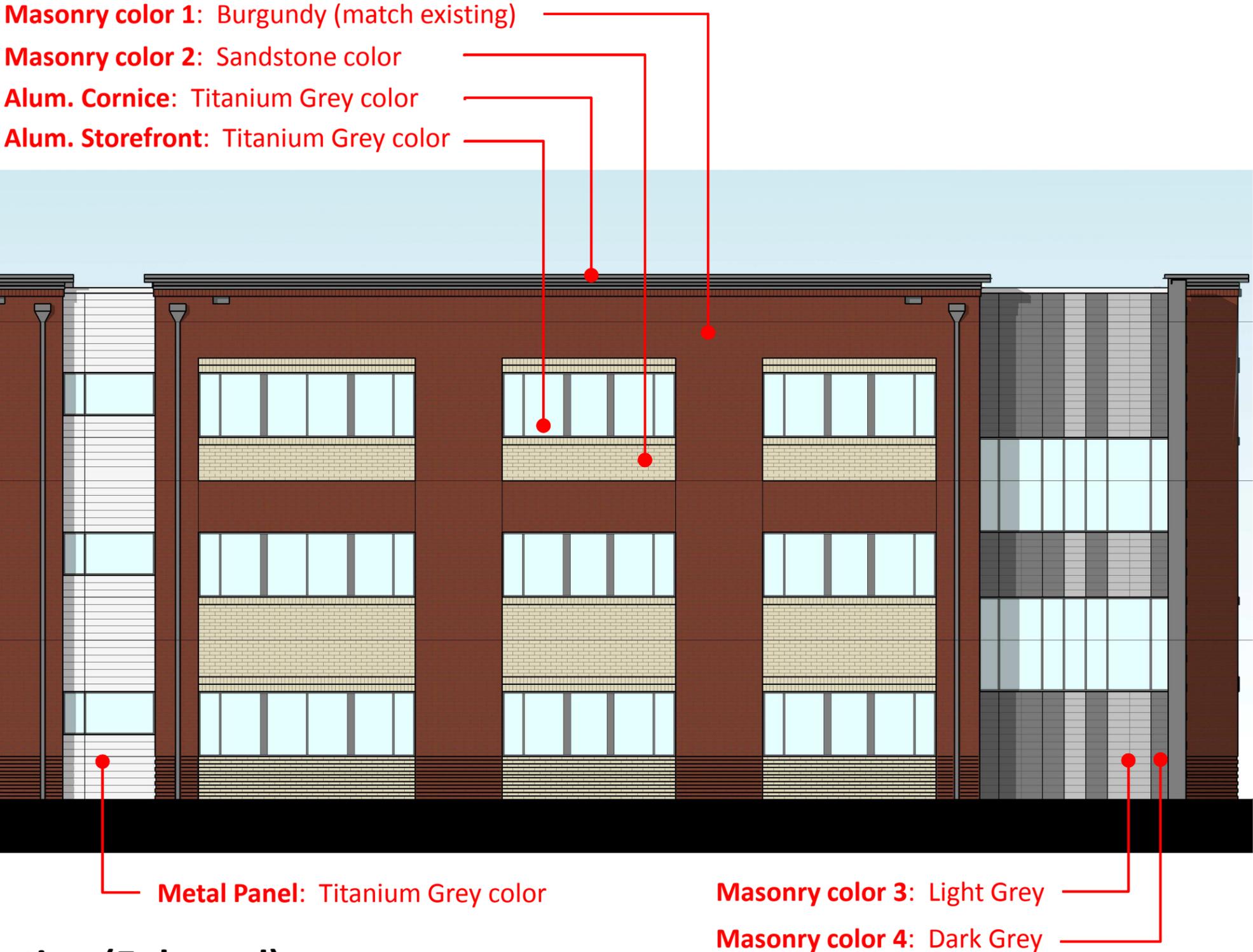
View adjacent to South St. looking North East

# Exterior Views



View of Main façade looking North

# Materials



South Elevation (Enlarged)

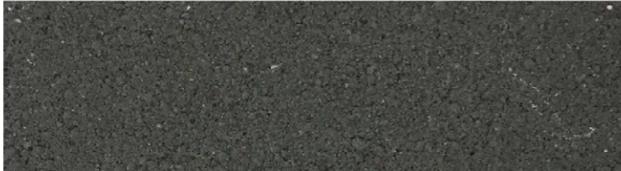
# Materials



**Masonry color 1:** Burgundy (match existing)



**Masonry color 3:** Light Grey



**Masonry color 4:** Dark Grey



**Masonry color 2:** Sandstone color



**Alum. Cornice/ Alum. Storefront/ Metal Panel:** Titanium Grey color



---

**Agenda Title:** Cotton Mill FYI

**Summary:**

---

**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
▣ Plans and Elevations	10/11/2017	Exhibit



# Design Review

DAVIDSON MILL EXTERIOR IMPROVEMENTS  
(Name of Project)

## Contact Information

### Applicant's Information

Name:

JOHN MANG

E-Mail:

JMANG@INTECGROUP.NET

Mailing Address:

214 W. TREMONT AVE SUITE 301  
CHARLOTTE, NC 28203

Business Phone:

704-372-7910 Mobile Phone: 704-507-9427

### Property Owner's Information

(If Different from Applicant)

Name:

BOB MCINTOSH

E-Mail:

BOB@MCINTOSH-LAWFIRM.COM

Mailing Address:

THE MCINTOSH LAW FIRM  
PO BOX 2270 DAVIDSON NC 28036

Business Phone:

704-892-1699 Mobile Phone: \_\_\_\_\_

### Architect's Information

Name of Firm:

INTEC GROUP INC

Architect's Name:

JOHN MANG

E-Mail:

JMANG@INTECGROUP.NET

Mailing Address:

214 W. TREMONT AVE SUITE 301  
CHARLOTTE, NC 28203

Business Phone:

704-372-7910 Mobile Phone: 704-507-9427



# Design Review

DAVIDSON MILL EXTERIOR IMPROVEMENTS  
 (Name of Project)

## Project Description

Application Date: 9/29/17

Project Location: 209 DELBURG STREET

Tax Parcel(s): 00326108

Planning Area: VE

Overlay District: \_\_\_\_\_

Master or Cond. Plan  
 (Attach Conditions of Approval) \_\_\_\_\_

Gen. Statement of Intent: ADDITION OF ELEVATOR & MINOR EXTERIOR IMPROVEMENTS

### Project Details:

- Project Type:
  - Individual Bldg.
  - Sign
- Building Type:
  - Detached House
  - Institutional
  - Workplace
- Use(s): \_\_\_\_\_
- Height & Stories: \_\_\_\_\_
- Square Footage: \_\_\_\_\_
- Building Materials: \_\_\_\_\_

- Master Plan
- Conditional Planning Area
- Townhouse
- Live/Work
- Storefront
- Attached House (Tri- or Quadplex)
- Multi-family (Apts., Condos, Flats)
- Accessory Structure

BUSINESS

30'-0" +/- 2 STORIES

5210 +/-

BRICK

Architectural Features: \_\_\_\_\_

Existing Site Conditions:  
 See 14.12.2.D

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_





INTEC Group  
214 W. TREMONT AVENUE  
SUITE 301  
CHARLOTTE, NC 28203  
T: 704.372.7910  
F: 704.372.7911  
www.intecgroup.net

## STATEMENT OF COMPLIANCE

Date:	September 29, 2017	Permit No:	TBD
From:	John Mang, AIA	Project No:	#1232-01
Project Name:	The McIntosh Law Office	Dated:	TBD
Discipline/Reviewer:	Town of Davidson		

**SECTION 2:** 209 Delburg St. falls into the Village Edge Planning Area. The new additions to the south-side of the building will not affect the building’s current use or type. The additions will also meet the setback criteria, open space criteria and density criteria set forth by the planning area.

**SECTION 4:** The new additions to the south-side of the building are designed to accommodate the design standards set forth in section 4 of the planning ordinance, especially 4.7: Renovation of Existing Structures. Less than 50% of the building façade will be affected.

**SECTION 8:** The new additions to the south-side of the building will cause the need to re-stripe a few parking spaces on site (see A101 for new striping pattern in the covered parking area). The Village Edge planning area requires the site to have approximately 60 parking spaces (dependent on occupancy type, which will not changing in this project). The site currently holds 172 parking spaces with an additional 10 on-street spaces. The new building features will reduce the total off-street parking by 2 spaces (170 spaces).

**SECTION 9:** The new additions to the south-side of the building will not affect tree planting, landscaping or screening.

**SECTION 10:** The new additions to the south-side of the building will not affect lighting on site.

**SECTION 22:** 209 Delburg St. is located outside of the Town’s historical overlay district; however, all new building features will be designed in a similar manner to match the existing building. Materials include brick, painted (white) wood frame structure and green metal roof/rails.

**Response by:** Josh Kieb, Assoc. AIA

**Date:** September 29, 2017

# THE MCINTOSH LAW FIRM

## CORPORATE HEADQUARTERS RENOVATION 209 DELBURG STREET, DAVIDSON, NC 28036

NOT FOR CONSTRUCTION

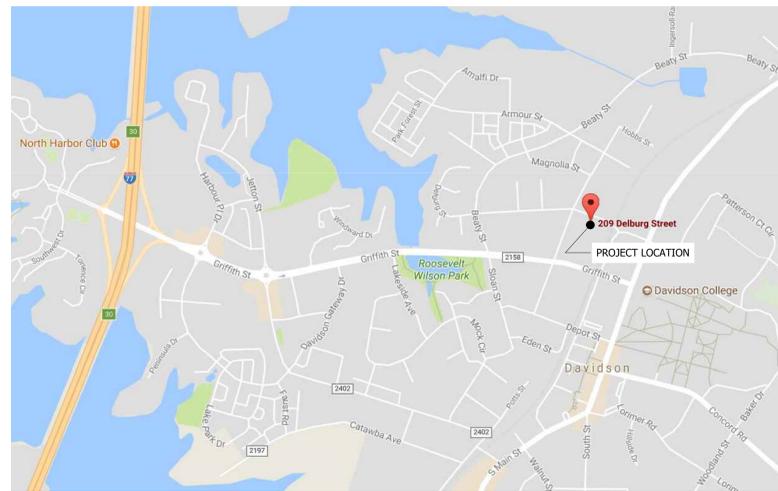
### ARCHITECT

INTEC GROUP, INC.  
214 W. TREMONT AVE.  
SUITE 301  
CHARLOTTE, NC 28203  
(704) 372-7910

### OWNER/AGENT

THE MCINTOSH LAW FIRM  
209 DELBURG ST., SUITE 203  
DAVIDSON, NC 28036

LOCATION MAP



EXISTING SITE - SCOPE OF WORK



### DRAWING INDEX

PAGE	SHEET NAME
G001	COVER SHEET
A101	PICTURES & SITE PLAN
A102	PLANS, ELEVATIONS & SECTIONS

PROJECT

THE MCINTOSH LAW FIRM  
CORP. HEADQUARTERS RENOVATION  
209 DELBURG STREET, DAVIDSON, NC  
CANOPY ADDITIONS

STAMP

DRAWING LOG

SHEET INFORMATION

DATE OF DRAWING: 09/27/2017  
DRAWN BY: JK  
JOB NUMBER: 1232.01

COVER SHEET

# G001

Friday, September 29, 2017 | 1:58pm | C:\Data\12200-209 Delburg Street\12201 - The McIntosh Law Firm\03\_CURRENT\1222-01\_A101\_Site.dwg  
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FIG. 1: EXISTING BRICK COLUMN INTEGRATED WITH WHITE PLYWOOD AND GREEN-PAINTED METAL.



FIG. 2: EXISTING BUILT FORM CONTAINING METAL-PAN STAIRS AND SECOND-FLOOR PLATFORM.



FIG. 3: EXISTING GUARDRAIL MOTIF TO BE MAINTAINED IN NEW WORK.



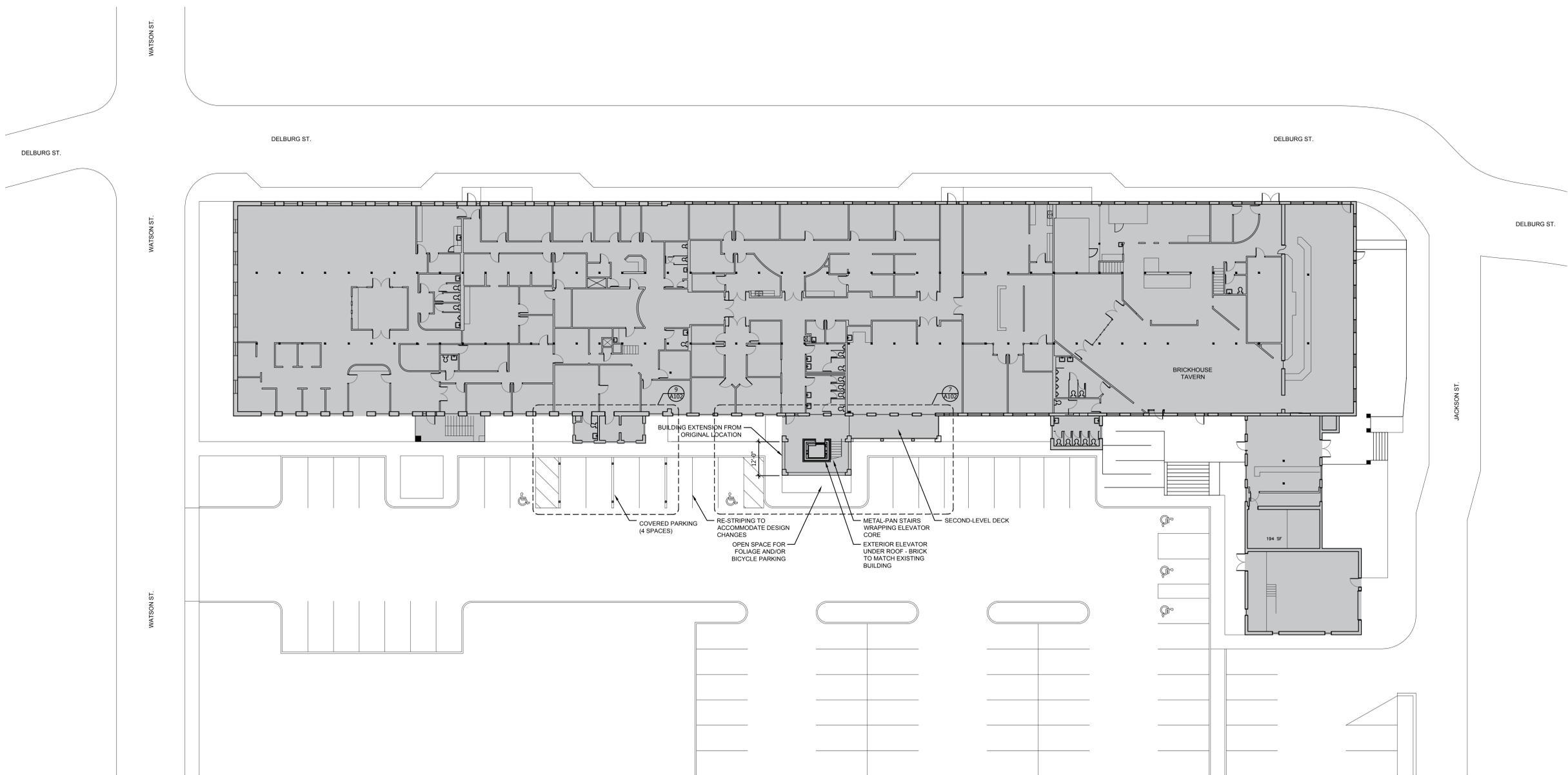
FIG. 4: EXISTING WOOD ROOF. NEW WORK TO REPLICATE ROOF STRUCTURE.



FIG. 5: EXISTING SIDEWALK IS VERY STEEP AND NARROW. NEW SIDEWALK WILL WIDEN THE WALK AND ALLOW THE SLOPE TO BECOME MORE SHALLOW.



FIG. 6: EXISTING ELEVATION AT THE POINT OF ELEVATOR ADDITION TO BE MAINTAINED.



1 SITE PLAN - NEW WORK  
A101 SCALE: 1/16" = 1'-0"

PLAN-NORTH TRUE-NORTH

**INTEC**

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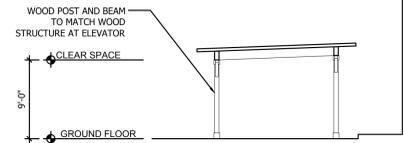
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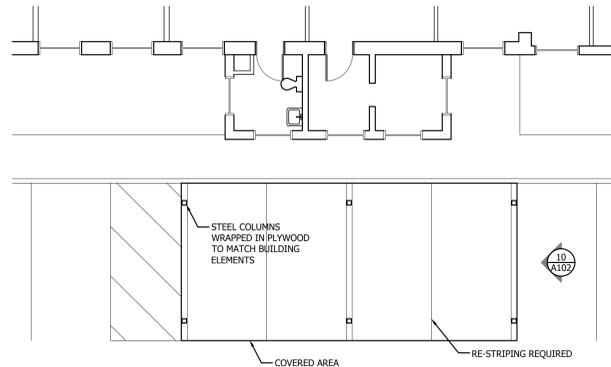
PICTURES & SITE PLAN

**A101**

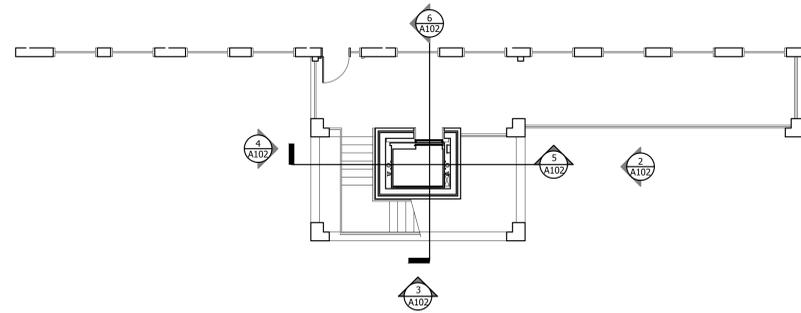
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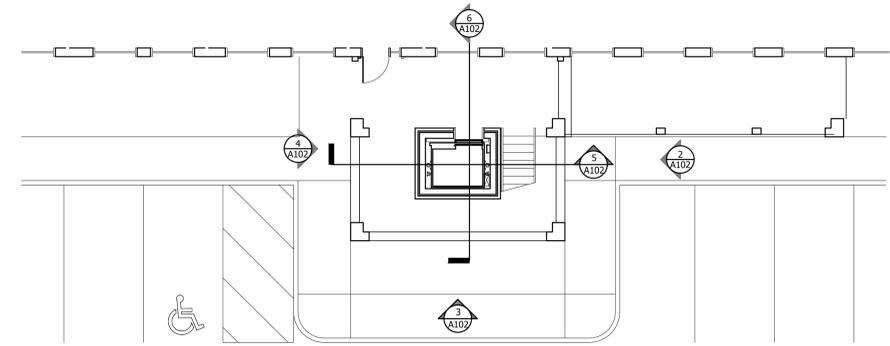
**10 COVERED PARKING SECTION**  
SCALE: 1/8" = 1'-0"



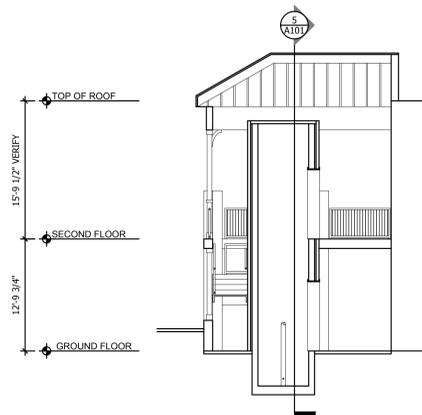
**9 COVERED PARKING PLAN**  
SCALE: 1/8" = 1'-0"



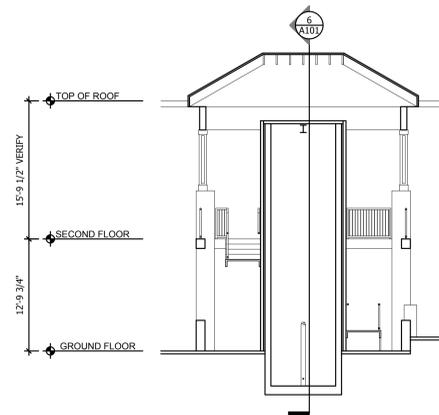
**8 ENTRANCE SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



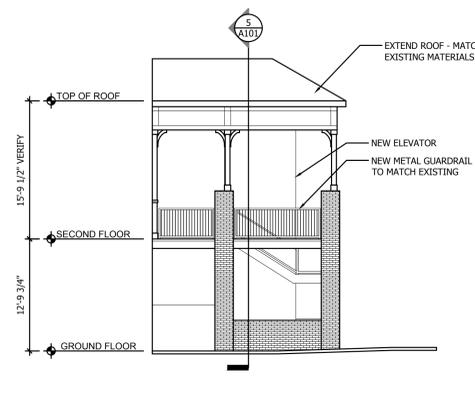
**7 ENTRANCE GROUND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



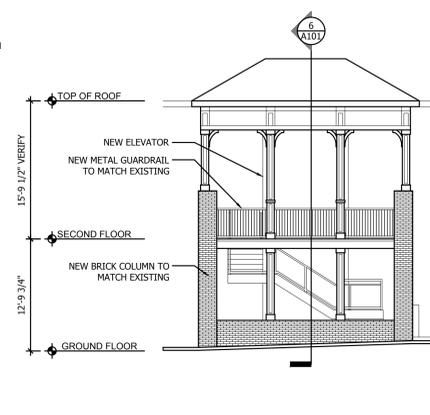
**6 ENTRANCE SECTION**  
SCALE: 1/8" = 1'-0"



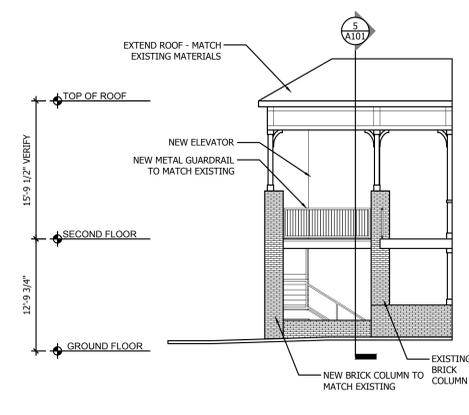
**5 ENTRANCE SECTION**  
SCALE: 1/8" = 1'-0"



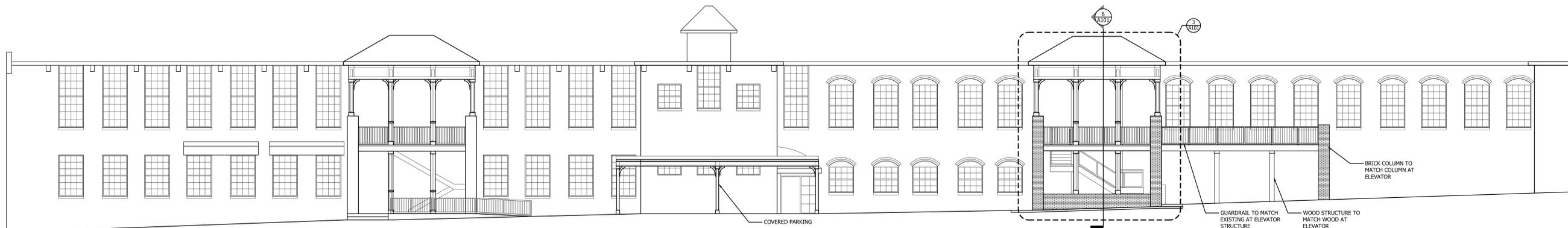
**4 WEST ENTRANCE ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 SOUTH ENTRANCE ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 EAST ENTRANCE ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 SOUTH BUILDING ELEVATION**  
SCALE: 1/8" = 1'-0"

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PLANS, ELEVATIONS & SECTIONS

**A102**