



**TOWN OF DAVIDSON  
DESIGN REVIEW BOARD  
7:00PM Board Room in Town Hall at 216 S Main St, Davidson, NC**

**February 20, 2019**

- 
- I. CALL TO ORDER**
  - II. SILENT ROLL CALL**
  - III. CHANGES TO THE AGENDA**
  - IV. REVIEW/APPROVAL OF THE MINUTES**
    - (a) Minutes 2019 January 16
  - V. NEW BUSINESS**
    - (a) 253 Catawba Ave Garage
    - (b) 1506 Matthew McClure Cr Garage
  - VI. ADJOURN**



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**Agenda Title:** Minutes 2019 January 16

**Summary:**

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**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
☐ Minutes 2019 January 16	2/11/2019	Cover Memo

# Meeting Minutes

## Design Review Board

Town of Davidson, NC  
January 16, 2019

A meeting of the Town of Davidson *Design Review Board* was held in the Town Hall, Board Room, 216 S. Main St.

**Call to Order:** 6:59 p.m.

### Silent Roll Call and Determination of Quorum:

Members Present signified by :

<input checked="" type="checkbox"/> Bruce Barteldt, Chair	<input checked="" type="checkbox"/> Brian Bumann	<input checked="" type="checkbox"/> Jeff Osman
<input checked="" type="checkbox"/> Tom Goodwin	<input checked="" type="checkbox"/> Bob Sipp	
<input checked="" type="checkbox"/> Mike Kessler	<input checked="" type="checkbox"/> EB Dyer	
<input type="checkbox"/> John Burgess	<input checked="" type="checkbox"/> Lorraine Degree	

Town Staff Present: Lindsay Laird (Planner)

**Changes to the Agenda:** Lindsay Laird requested a change to the agenda for Dawn Blobaum to give an update to the board on three potential Historic Landmark Designation projects and the Local Historic District expansion. Both new items shall be included under Other Items before discussion of the Certified Local Government draft ordinance.

### Review/Approval of the Minutes

A motion was made (MK) to approve meeting the minutes of November 28, 2018 as submitted. It was seconded (EB) and the motion was approved unanimously.

**Consent Item:** None.

**Old Business:** None

### New Business:

#### 1. 712 North Main Street Garage

Located at 712 N. Main Street

Village Infill (Blue Overlay District)

Proposed accessory structure in excess of 650 square feet

Lindsay Laird gave an overview of the project, noting that the proposed garage requires approval by the DRB because the footprint is greater than 650 square feet. The footprint is compliant with the DPO for Village Infill properties. The garage will be constructed of materials to complement the existing home on site. The applicant explained that the colors and finishes of the proposed garage will match a recent addition on the rear of the home.

After discussion, a motion was made (BS) to approve the project as submitted with the following conditions:

1. The structure shall have corner boards to match the existing house on site;
2. The structure shall have a frieze board following the roofline to match the existing home; and
3. Any proposed lighting shall be reviewed by staff.

The motion was seconded (MK) and approved unanimously.

**Other Items:**

**1. Historic Landmarks Designation Update – HPC Discussion**

Dawn Blobaum gave an update on three properties with the potential for Landmark Designation. Properties include 310 Concord Road, 601 North Main Street, and 21525 Shearer Road. These properties will be presented to the Board of Commissioners at their next meeting to discuss funding of Landmark Designation reports. The HPC voiced support for continued consideration of the above properties for landmark designation.

**2. Local Historic District Expansion Update – HPC Discussion**

Dawn Blobaum gave an update on the possible expansion of the Local Historic District. Consultant Mary Ruffin Hanbury of Hanbury Preservation Consulting proposed two options moving forward. Option one would include survey documentation of the entire National Register district and properties adjacent to the current boundary which could now be considered contributing. Option two would be a phased approach with survey documentation of North Main Street included in phase one and the remainder of the National Register district included in phase two. Residents of North Main Street have voiced support for moving forward on Local Historic District expansion in this area of town ahead of the rest of the National Register district. The HPC voiced general support for option two, which North Main Street first and then the remaining areas of town.

**3. Certified Local Government Draft Ordinance Discussion – HPC Discussion**

The HPC discussed general comments and concerns regarding the Certified Local Government draft model ordinance. The board notes that rules and procedures need to be adopted by the HPC. The board expressed concern with the time obligations associated with an increase in the responsibilities of the HPC. A question was raised about whether or not the DRB and HPC should be two separate boards rather than combined. The board decided to further review the draft ordinance and discuss further at the February meeting.

**Adjourn:** A motion was made to adjourn (TG), seconded (EB), and approved unanimously. The meeting was adjourned at 8:22 pm.

**Approval of Minutes:**

Date: \_\_\_\_\_ By: \_\_\_\_\_

**Please note: This is a summary of the meeting and not to be considered a complete transcript.**



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**Agenda Title:** 253 Catawba Ave Garage

**Summary:**

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**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
▣ 20190220 253 Catawba Ave Garage	2/13/2019	Exhibit

**Town of Davidson, NC**  
**Design Review Board: Staff Analysis**  
**February 20, 2019**

**Project:** Accessory Structure (over 650 square feet)  
**Location:** 253 Catawba Ave.  
**Applicant:** Tim Pratt, Copper Builders, Inc.  
**Designer:** ALB Architecture  
**Planning Area:** Village Infill (Orange Overlay District)

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The applicant would like to construct a detached garage in the rear yard at 253 Catawba Avenue. A new home and detached garage are proposed for this site.

The footprint of the proposed detached garage is in excess of 650 square feet. Per DPO Section 4.5.8.B.2., any accessory structure over 650 square feet of first floor area shall be reviewed by the Design Review Board.

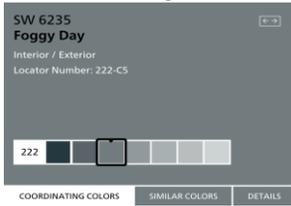
The proposed garage will have a footprint of 756 square feet. This is less than 30% of the footprint of the principal building, as required per DPO Section 4.5.8.B.1. The footprint of the principal building is 2,542 square feet (30% of this footprint is 763 square feet). The height of the structure will be 25'7" (two stories).

The proposed garage will be constructed with materials to match the new home to be constructed on site. The exterior of the structure will have gray hardi plank siding and white trim (see samples below). Gutters and downspouts will also be white. The foundation will be brick. The roof will be asphalt shingles.

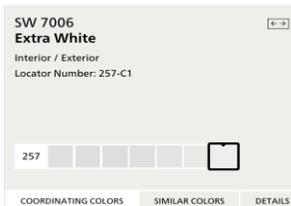
Additional architectural features include carriage style garage doors, brackets on dormer roof lines shown on the front and rear elevations, and a 10" square wood column on the front elevation at the garage entrance door and another on the left side elevation at the entrance to the stairs leading to the garret above the garage.

Lightning will be recessed in soffits above the garage door. Additional recessed lighting will be located at the garage entrance door on the front elevation and at the vestibule entering the garret above the garage on the left side elevation.

Exterior Siding Color:



Exterior Trim Color:



**DAVIDSON PLANNING ORDINANCE:**

**Section 4.5.8 Accessory Structures**

**B. Size of Accessory Structure**

1. *In the Rural Reserve and Rural Planning Areas, on lots over two acres where the proposed accessory structure is located more than 150 feet from the right-of-way or is not otherwise visible from the right-of-way, the footprint of an accessory structure shall not exceed 1,200 square feet. In all planning areas, except the Rural Reserve and Rural Planning Areas, the footprint of an accessory structure must not exceed 650 square feet or 30% of the footprint of the principal building (up to a maximum of 900 square feet), whichever is greater.*
2. *Any accessory structure over 650 square feet of first floor area and all accessory structure ancillary to non-residential building types shall be reviewed by the Design Review Board, in accordance with the procedures in Section 14.*

**Section 4.4.1 General Building Design Standards**

**E. Materials**

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*
4. *Building materials and colors shall be:*
  - a. *Complementary to the materials already being used in the neighborhood.*

**F. Architectural Details**

1. *Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.*
4. *Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*



# Design Review

253 Catawba Ave Detached Garage Accessory Structure  
 (Name of Project)

## Application Requirements

Date Received

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\_\_\_\_\_

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\_\_\_\_\_

- Application Fee per Town of Davidson Fee Schedule
- Contact Information
- General Statement of Intent  
*(Use, building type, approx. square footage, height, design features)*
- Statement of Compliance with Section 2
- Master Plan or Conditional Planning Area  
*(Including all documents, plans, maps, and conditions of approval)*
- Environmental Inventory in accordance with Section 14.15.1  
*(Including adjacent properties and buildings)*
- General Description  
*(Including a description and color photographs to existing / adjacent site)*
- Site Schematic Design in accordance with Section 14.15.7
- Building Schematic Design in accordance with Section 14.15.3  
*(Including rendered elevations of each façade per 14.15.3 C)*
- Landscape Schematic Design in accordance with Section 14.15.5
- Building Perspective
- Building Materials/Colors  
*(Roofing, siding, doors, windows, etc.)*

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

DocuSigned by:  
  
 495112402F31446...

\_\_\_\_\_

Applicant's Signature

1/4/2019

\_\_\_\_\_

Date



# Design Review

253 Catawba Ave Detached Garage Accessory Structure

(Name of Project)

## Contact Information

### Applicant's Information

Name: Copper Builders, Inc

E-Mail: timpratt@copperbuilders.com

Mailing Address: 1235E East Blvd #155 Charlotte, NC 28203

Business Phone: None Mobile Phone: 704-604-7452

### Property Owner's Information

*(If Different from Applicant)*

Name: Clay and Shannon Hooper

E-Mail: clay.hooper@nike.com

Mailing Address: 253 Catawba Ave Davidson, NC 28036

Business Phone: \_\_\_\_\_ Mobile Phone: 704-236-6385

### Architect's Information

Name of Firm: ALB Architecture

Architect's Name: Angie Lauer

E-Mail: lauer.alb@icloud.com

Mailing Address: 1200 E Morehead St Suite 240  
Charlotte, NC 28204

Business Phone: 704-503-9595 Mobile Phone: 704-506-6540



# Design Review

253 Catawba Ave Detached Garage Accessory Structure  
 (Name of Project)

## Project Description

Application Date: 1/3/19

Project Location: 253 Catawba Ave Davidson, NC 28036

Tax Parcel(s): 00320519

Planning Area: Village Infill

Overlay District: Orange

Master or Cond. Plan  
*(Attach Conditions of Approval)* N/A

Gen. Statement of Intent: Detached garage accessory structure compliant with zoning

\_\_\_\_\_

\_\_\_\_\_

### Project Details:

- Project Type:
  Individual Bldg.
  Master Plan
  Conditional Planning Area
  Sign
- Building Type:
  Detached House
  Townhouse
  Attached House (Tri- or Quadplex)
  Institutional
  Live/Work
  Multi-family (Apts., Condos, Flats)
  Workplace
  Storefront
  Accessory Structure
- Use(s): Garage and garrett
- Height & Stories: 25'7" and 2 stories
- Square Footage: 861 sq/ft footprint Footprint amended to 756 Sq. ft.
- Building Materials: Hardi plank siding and asphalt shingles on a brick foundation
- Architectural Features: Carriage style garage doors, corbels on overhangs and dormer roof lines
- Existing Site Conditions: Empty lot- new construction

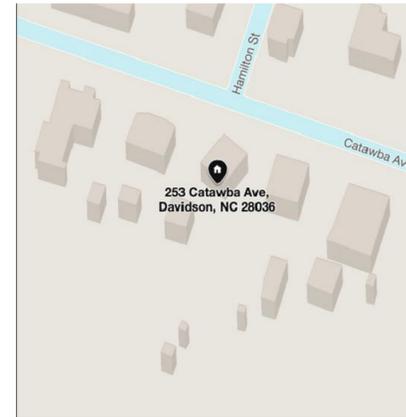
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VICINITY MAP



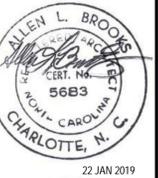
INDEX OF DRAWINGS

- A-0 COVER SHEET
- A-1.0 SITE PLAN
- A-4.0 ACCESSORY PLANS
- A-4.1 ACCESSORY PLANS
- A-4.2 ACCESSORY ELEVATIONS
- A-4.3 ACCESSORY SECTIONS



ALB Architecture  
1200 E. Morehead St.  
Suite 240  
Charlotte, NC 28204  
Phone: 704.503.9595

E-mail:  
brooks.alb@icloud.com  
lauer.ab@icloud.com



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ZONING INFORMATION

JURISDICTION	TOWN OF DAVIDSON
ZONED	VI-O
ACCESSORY FOOTPRINT	
HOUSE FOOTPRINT	2542 SQ.FT
ACCESSORY FOOTPRINT	756 (LESS THAN 30 PERCENT OF HOUSE FOOTPRINT)

ACCESSORY SQUARE FOOTAGE CALCULATIONS

	HEATED SPACE	UNHEATED SPACE
FIRST FLOOR	17	697 (GARAGE)
		42 (PORCHES)
SECOND FLOOR	545	
TOTAL	562	739
TOTAL UNDER ROOF	1301	

REQUESTED CHANGES

#	DATE	REQUESTED BY	REASON
1			

Designed Exclusively For the:  
**HOOPER RESIDENCE-ACCESSORY**  
 253 Catawba Avenue, Davidson, NC 28036

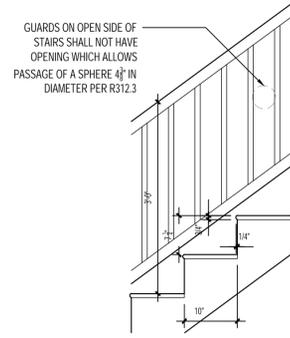
PROJECT #: 18086  
ISSUED: 22 JAN 2019  
REVISIONS:

COVER SHEET

**A-0**

OF:

NOTE:  
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.



③ WOOD STAIR DETAIL  
3/4" = 1'-0"

GARAGE FIRST FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
101	16'-0" X 8'-0"	GARAGE DOOR
102	2'-8" X 6'-8"	GARAGE ENTRY
103	2'-8" X 6'-8"	STAIR ENTRY

WINDOW SCHEDULE FOR GARAGE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-6" X 4'-6"	5'-9"	SINGLE HUNG
B	2'-6" X 2'-6"	7'-0"	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
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GENERAL NOTES:

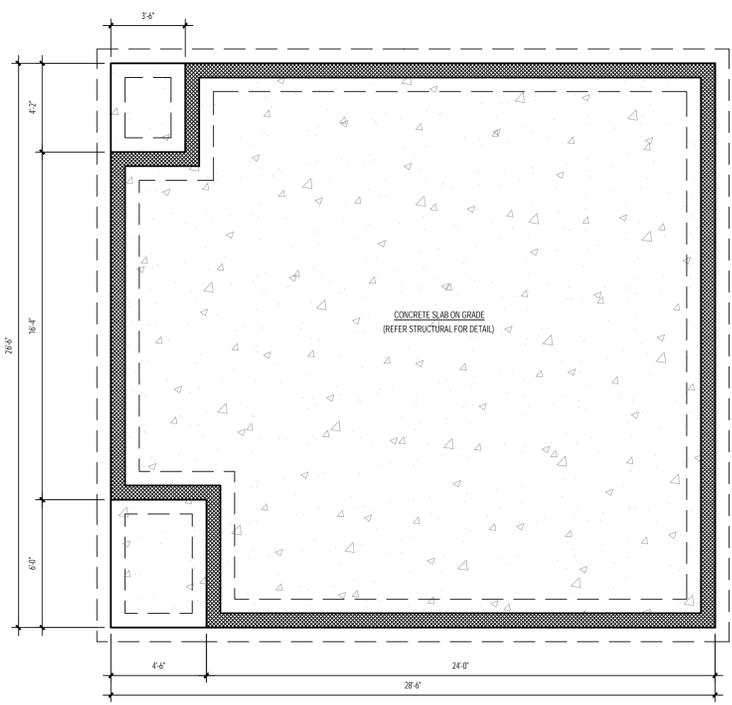
- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF STUD TO ALIGN WITH FACE OF BLOCK.
- FIRE BLOCK @ FLOOR & CEILING PER CODE.
- ALL DIMENSIONS ARE TO FACE OF STUD & BLOCK.
- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.5.3 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 3/4".
- ALL RISERS TO BE SOLID.
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- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO BE 1'-6" U.N.O.
- ALL FASCIAS TO BE 8".
- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

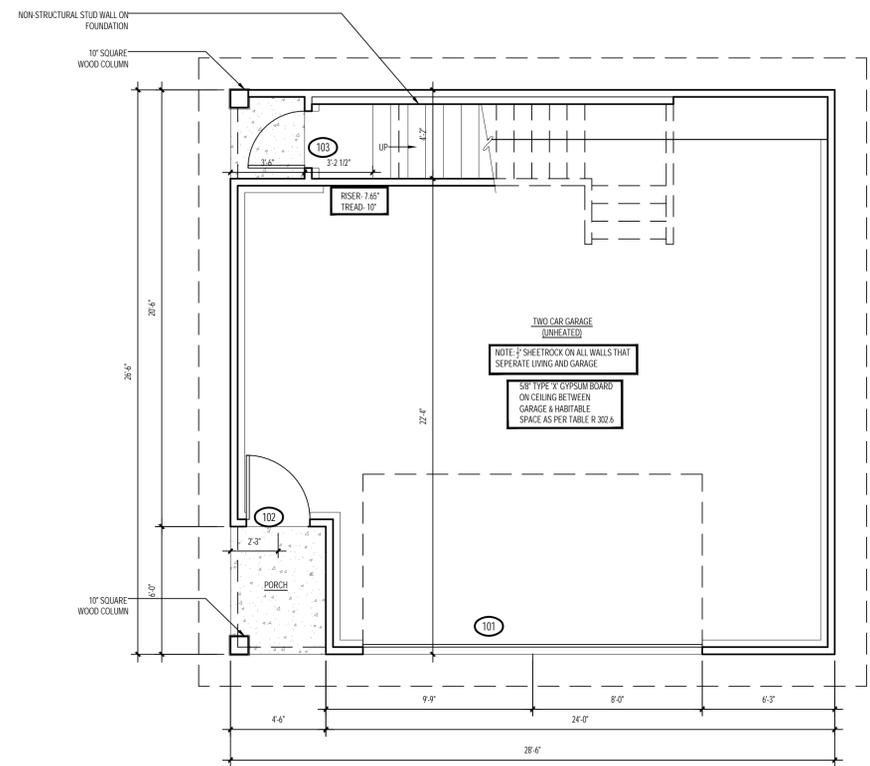
- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
  - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R311.7.5.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
  - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
- R311.7.5.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
- R311.7.8 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
- R311.7.8.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
- R312.1.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES
  - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
- R312.1.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
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NOTE:

- REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECT'S PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.
- THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.
- THIS PAGE SHALL EXPIRE ON DECEMBER 31, 2019 @ 11:59 PM IF BUILDING PERMIT HAS NOT BEEN ACQUIRED PRIOR TO EXPIRATION DATE



② PROPOSED GARAGE FOUNDATION PLAN  
1/4" = 1'-0"

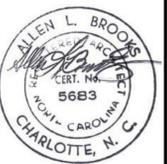


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Designed Exclusively For the:  
**HOOPER RESIDENCE-ACCESSORY**  
253 Catawba Avenue, Davidson, NC 28036

PROJECT #: 18086  
ISSUED: 22 JAN 2019  
REVISIONS:

PROPOSED GARAGE PLANS

**A-4.0**

OF:



GARAGE SECOND FLOOR DOOR SCHEDULE		
ID	OPENING	LOCATION
201	2'-8" X 6'-8" POCKET DOOR	BEDROOM
202	2'-6" X 6'-8" POCKET DOOR	BATHROOM
203	2'-6" X 6'-8"	WC
204	2'-6" X 6'-8"	CLOSET

WINDOW SCHEDULE FOR GARAGE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-6" X 4'-6"	5'-9"	SINGLE HUNG
B	2'-6" X 2'-6"	7'-0"	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
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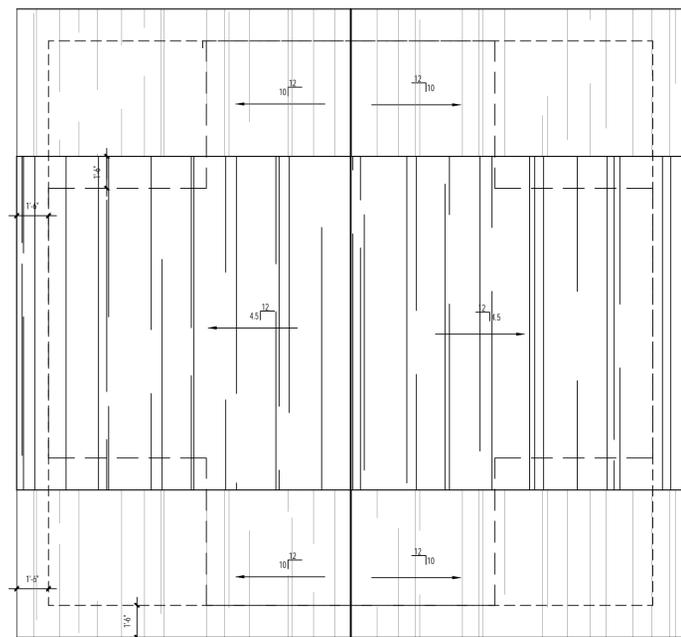
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**STAIRS, RAILING & GUARD NOTES:**

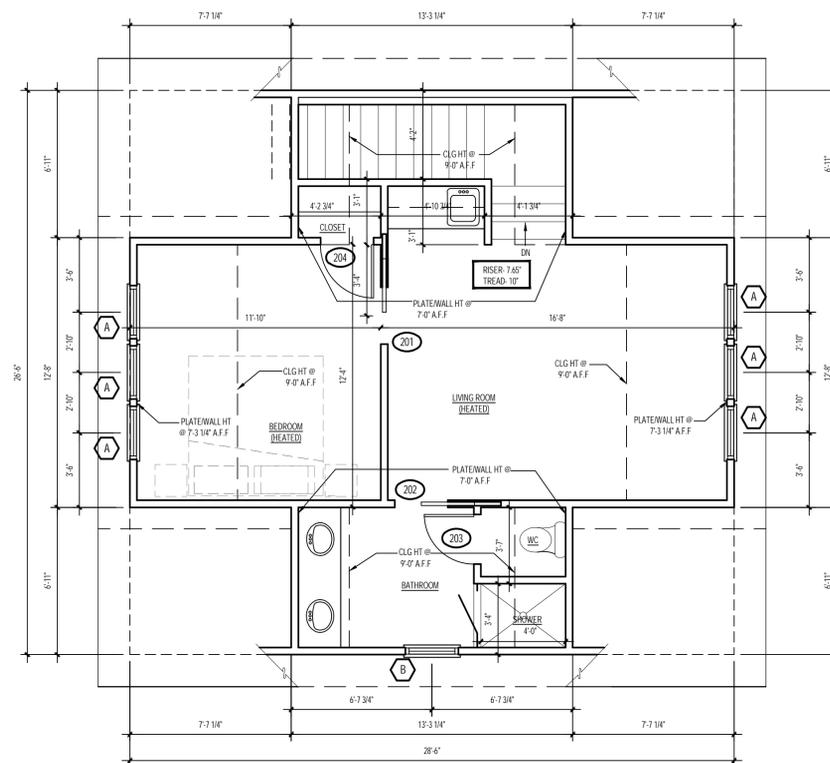
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**NOTE:**

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2 PROPOSED GARAGE ROOF PLAN  
1/4" = 1'-0"



1 PROPOSED GARRETT PLAN  
1/4" = 1'-0"

WINDOW SCHEDULE FOR GARAGE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-6" X 4'-4"	5'-9"	SINGLE HUNG
B	2'-6" X 2'-4"	7'-0"	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS
  - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F. MUST BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
  - WINDOW SIZING:
    - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
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**GENERAL NOTES:**

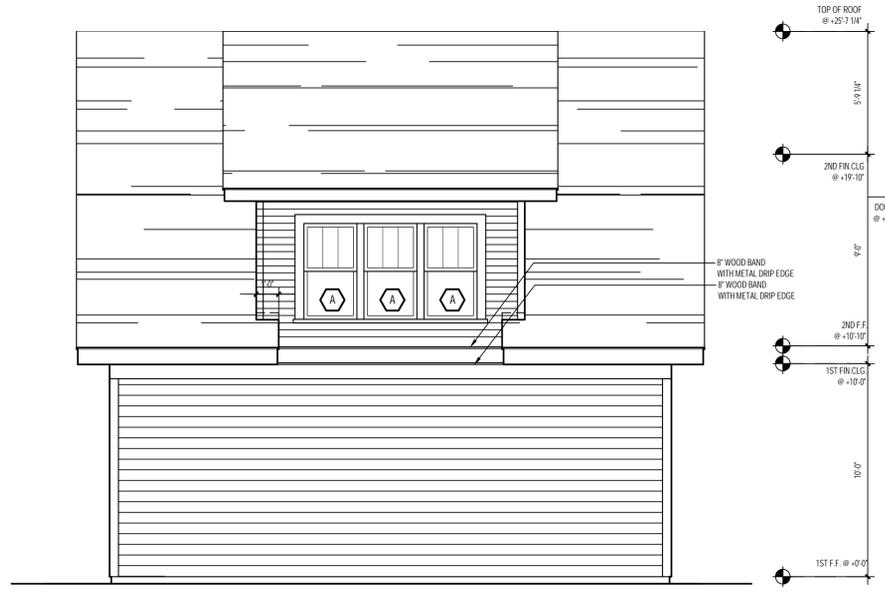
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- RAILS TO BE 36" IN HEIGHT
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**STAIRS, RAILING & GUARD NOTES:**

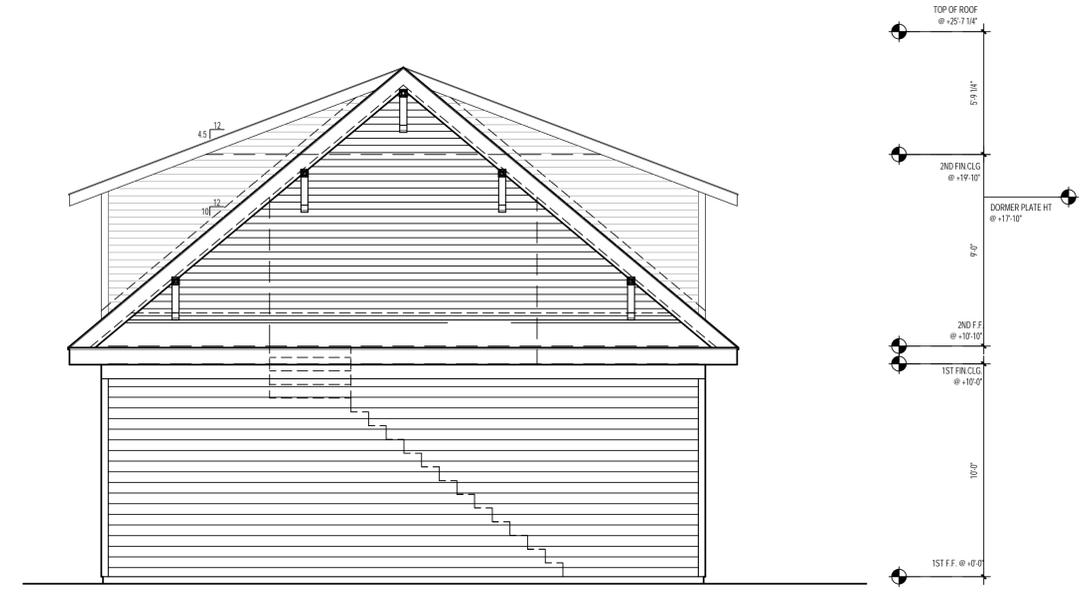
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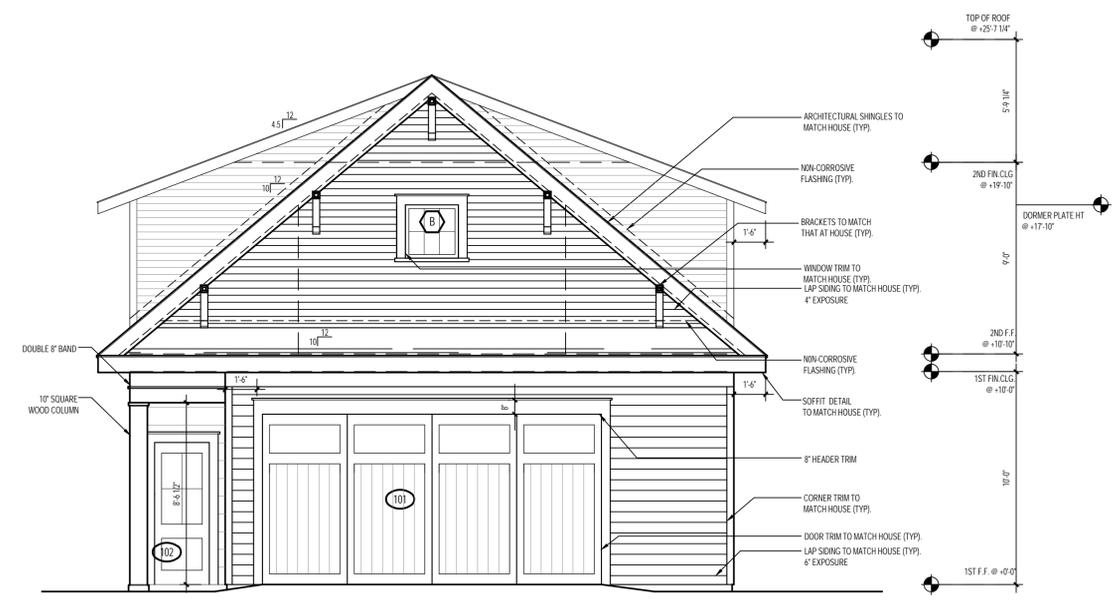
3 PROPOSED RIGHT SIDE ELEVATION  
1/4" = 1'-0"



4 PROPOSED REAR ELEVATION  
1/4" = 1'-0"



2 PROPOSED LEFT SIDE ELEVATION  
1/4" = 1'-0"

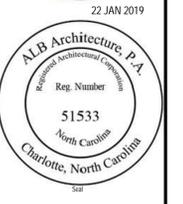
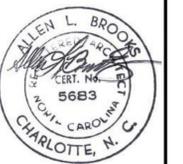


1 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"



ALB Architecture  
1200 E. Morehead St.  
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Phone: 704.503.9595

E-mail:  
brooks.alb@icloud.com  
lauer.alb@icloud.com

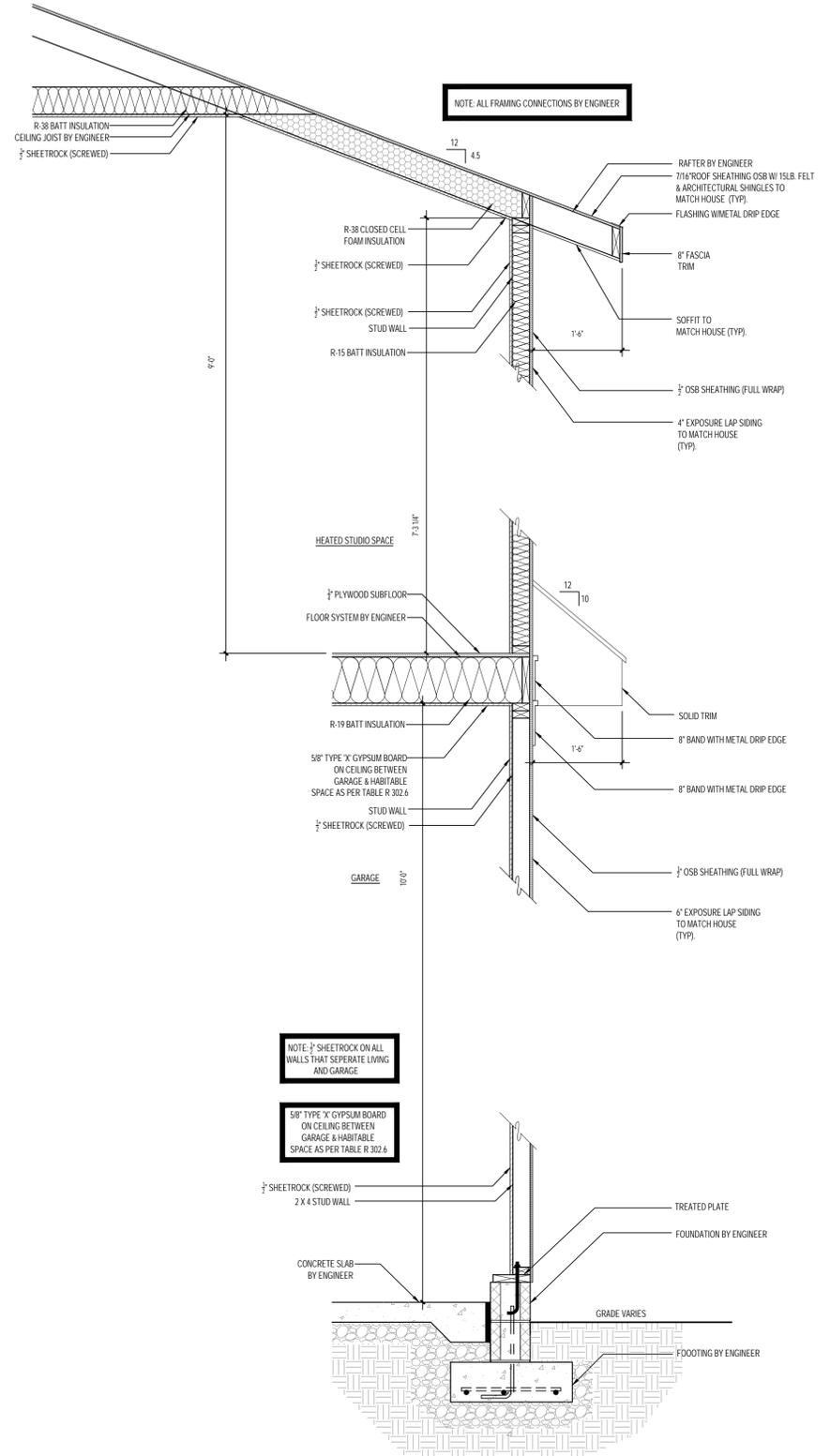


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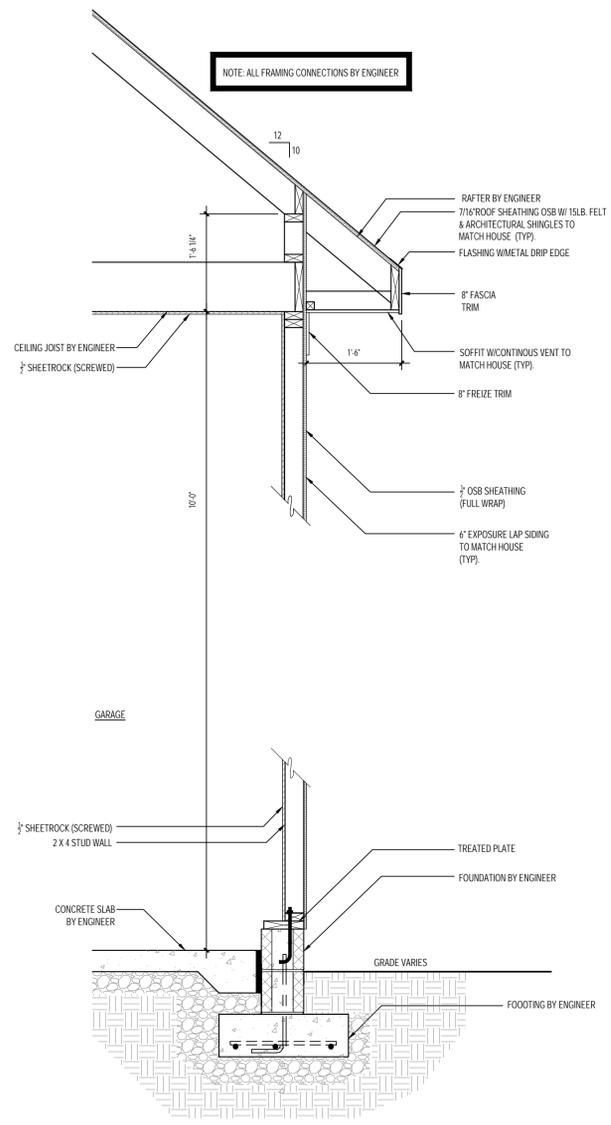
Designed Exclusively For the:  
**HOOPER RESIDENCE-ACCESSORY**  
253 Catawba Avenue, Davidson, NC 28036

PROJECT #: 18086  
ISSUED: 22 JAN 2019  
REVISIONS:

PROPOSED GARAGE ELEVATIONS  
**A-4.2**  
OF:



② TYPICAL SECTION THROUGH SHED DORMERS  
3/4" = 1'-0"



① TYPICAL SECTION  
3/4" = 1'-0"

**GENERAL NOTES:**

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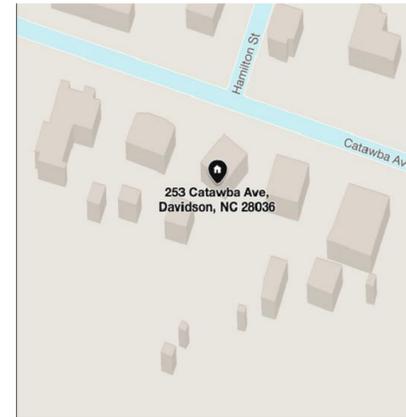
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VICINITY MAP



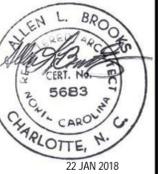
INDEX OF DRAWINGS

- A-0 COVER SHEET
- A-1.0 SITE PLAN
- A-2.0 FOUNDATION PLAN
- A-2.1 FIRST FLOOR PLAN
- A-2.2 SECOND FLOOR PLAN
- A-2.3 ROOF PLAN
- A-3.0 FRONT & RIGHT ELEVATION
- A-3.1 REAR & LEFT ELEVATION
- A-3.2 SECTIONS & DETAILS
- A-3.3 SECTIONS & DETAILS



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ZONING INFORMATION

JURISDICTION	TOWN OF DAVIDSON
ZONED	VI-O
	<u>BUILDING LIMITS</u>
FRONT SETBACK	25'-0"
LEFT SIDE YARD	6'-0"
RIGHT SIDE YARD-SIDE SETBACKS BASED ON 30 % OF LOT WIDTH	16.45'
REAR SETBACK	20'-0"
MAXIMUM BUILDING HEIGHT	32'-0"
FLOOR AREA RATIO-ORANGE OVERLAY DISTRICT-	
LOT SIZE	22,433 SQ.FT
21,000 TO LESS THAN 28,000	0.13 BUT CAN GO TO 0.16
MAXIMUM FAR	3589 SQ.FT

SQUARE FOOTAGE CALCULATIONS

	HEATED SPACE	UNHEATED SPACE
FIRST FLOOR	1996	
FRONT PORCH		275
REAR PORCH		237
SECOND FLOOR	1336	
TOTAL	3332	512
TOTAL UNDER ROOF		3844

REQUESTED CHANGES

#	DATE	REQUESTED BY	REASON
1			

Designed Exclusively For the:  
**HOOPER RESIDENCE**  
253 Catawba Avenue, Davidson, NC 28036

PROJECT #: 18086  
ISSUED: 22 JAN 2018  
REVISIONS:

COVER SHEET

**A-0**

OF:

NOTE:  
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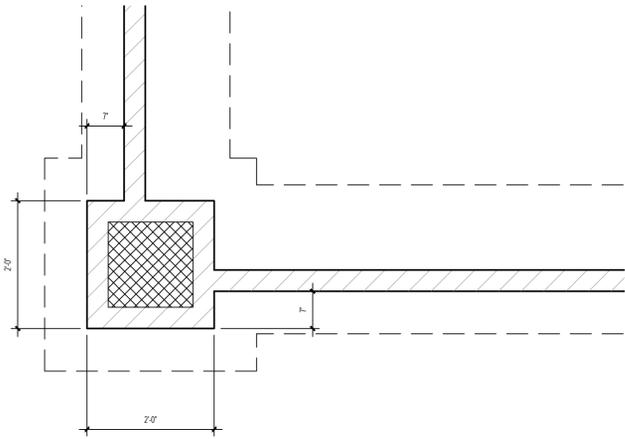
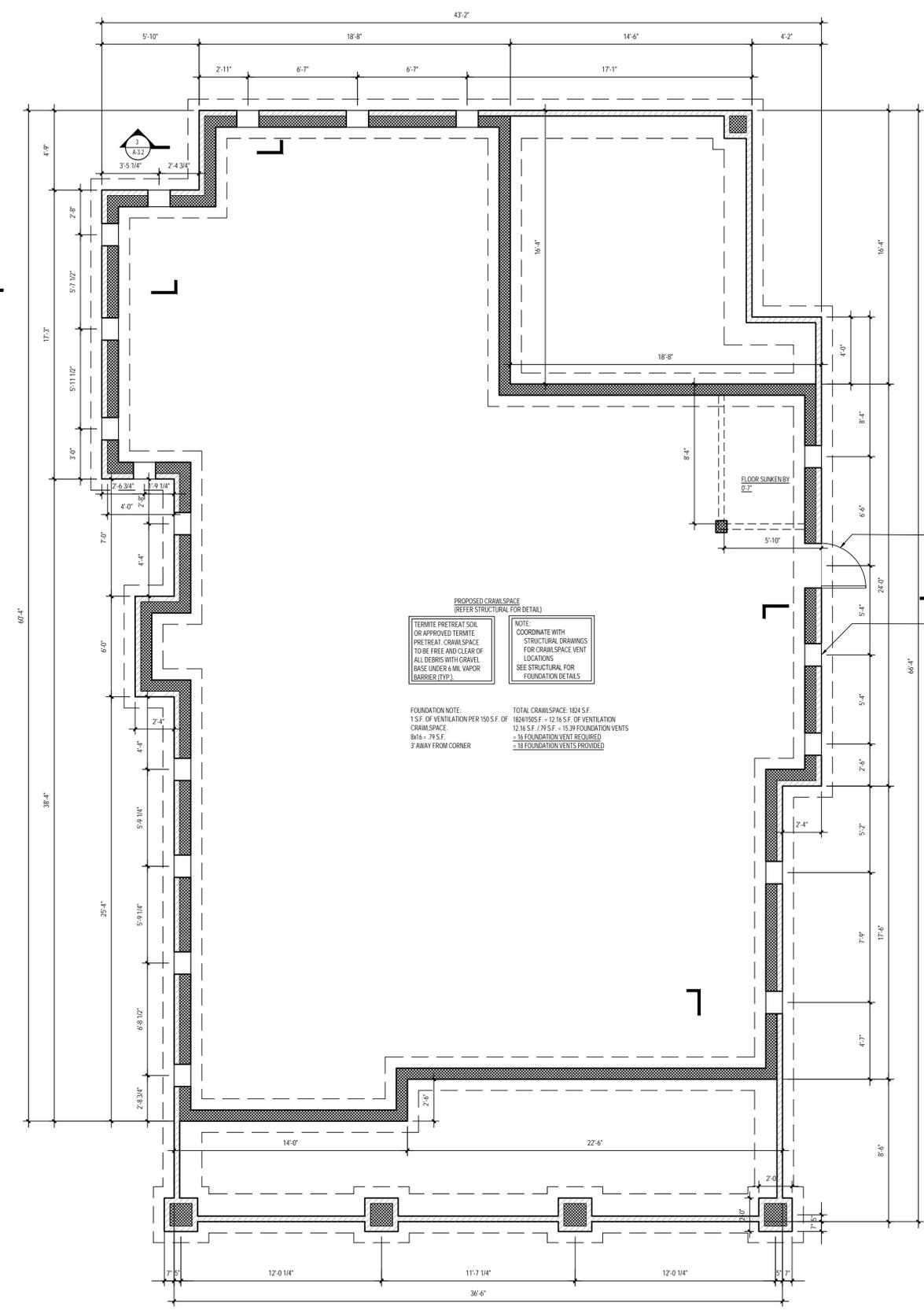
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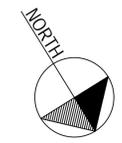


**2** DETAIL OF FRONT PIER  
3/4" = 1'-0"

**1** PROPOSED FOUNDATION PLAN  
1/4" = 1'-0"

**NOTE:**

- CMU
- STUD WALL
- 6" STUD WALL
- BRICK



WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	8'-0"	SINGLE HUNG
B	3'-0" X 5'-6"	8'-0"	SINGLE HUNG
C	2'-8" X 5'-0"	7'-0" 2ND FLOOR 9'-4" FOYER (FROM SECOND FLOOR)	SINGLE HUNG
D	2'-6" X 4'-6"	8'-0"	SINGLE HUNG
E	2'-0" X 2'-6"	8'-0" 2ND FLOOR	CASEMENT
F	2'-0" X 2'-0"	8'-0" 1ST FLOOR 13'-10" FOYER (FROM SECOND FLOOR)	CASEMENT

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FIRST FLOOR DOOR SCHEDULE		
ID	OPENING	LOCATION
100	3'-0" x 8'-0"	FRONT DOOR
101	PR 2'-0" x 8'-0"	OFFICE
102	PR 2'-0" x 8'-0"	OFFICE CLOSET
103	2'-6" x 8'-0"	BATHROOM
104	2'-6" x 8'-0"	BATHROOM
105	2'-6" x 8'-0"	COAT CLOSET
106	2'-8" x 8'-0"	PANTRY
107	2'-8" x 8'-0"	LAUNDRY
108	2'-8" x 8'-0"	MUD ROOM EXTERIOR
109	9'-0" x 8'-0"	BREAKFAST EXTERIOR
110	2'-8" x 8'-0"	MASTER BEDROOM
111	2'-6" x 8'-0"	MASTER CLOSET
112	2'-6" x 8'-0"	MASTER BATHROOM
113	2'-4" x 8'-0"	WC

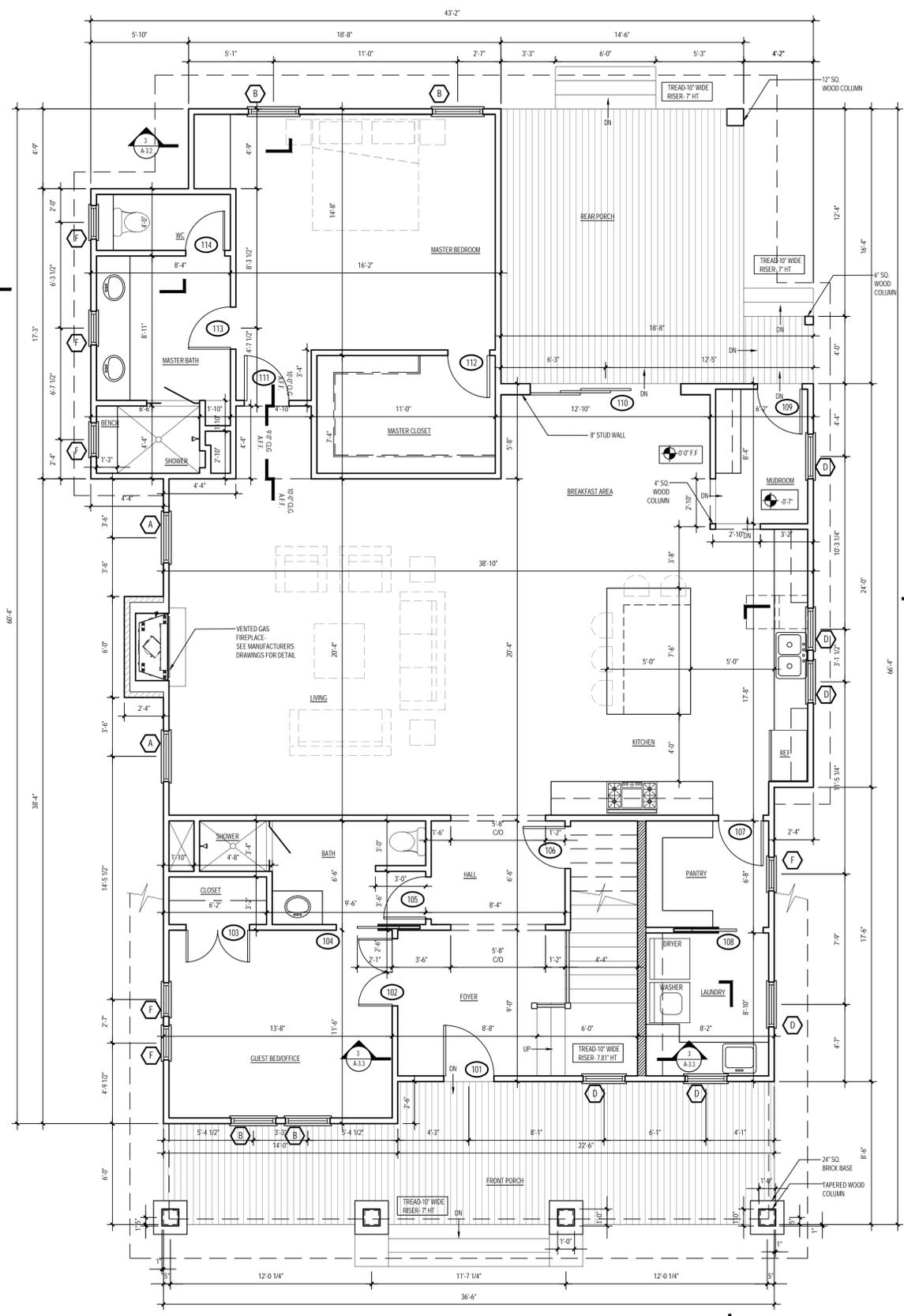
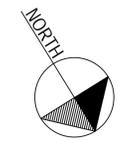
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  - R311.7.8 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
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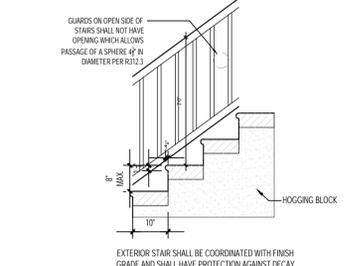
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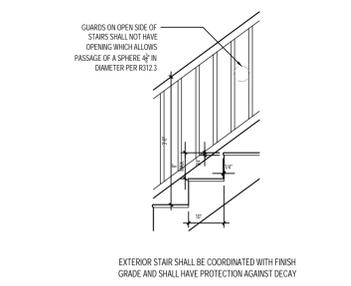
CMU	
STUD WALL	
6" STUD WALL	
BRICK	



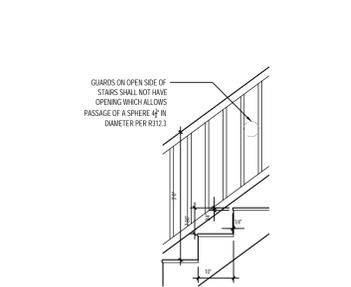
**1** PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"



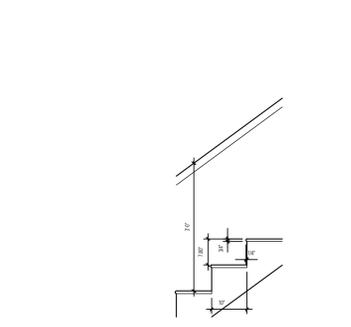
**2** MASONRY STAIR DETAIL  
1/2" = 1'-0" (EXTERIOR ONLY)



**3** WOOD STAIR DETAIL  
1/2" = 1'-0" (EXTERIOR ONLY)



**4** STAIR DETAIL w/ GUARD  
1/2" = 1'-0" (INTERIOR ONLY)



**5** STAIR DETAIL w/ RAIL  
1/2" = 1'-0" (INTERIOR ONLY)

ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	8'-0"	SINGLE HUNG
B	3'-0" X 5'-4"	8'-0"	SINGLE HUNG
C	2'-8" X 5'-0"	7'-0" 2ND FLOOR 9'-4" FOYER (FROM SECOND FLOOR)	SINGLE HUNG
D	2'-6" X 4'-4"	8'-0" 8'-7" @ MUDROOM	SINGLE HUNG
E	2'-0" X 2'-4"	8'-0" 2ND FLOOR	CASEMENT
F	2'-0" X 2'-0"	8'-0" 1ST FLOOR 13'-10" FOYER (FROM SECOND FLOOR)	CASEMENT

- NOTE:
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NUM	OPENING	LOCATION
201	2'-8" x 6'-8"	BEDROOM 'A'
202	2'-4" x 6'-8"	BEDROOM 'A' CLOSET
203	2'-4" x 6'-8"	BATHROOM 'A'
204	1'-6" x 6'-8" POCKET DOOR	BATHROOM 'A' LINEN
205	2'-8" x 6'-8"	STORAGE
206	2'-8" x 6'-8"	BEDROOM 'B'
207	2'-4" x 6'-8"	BEDROOM 'B' CLOSET
208	2'-4" x 6'-8"	BATHROOM 'B'
209	1'-6" x 6'-8" POCKET DOOR	BATHROOM 'B' LINEN

**GENERAL NOTES:**

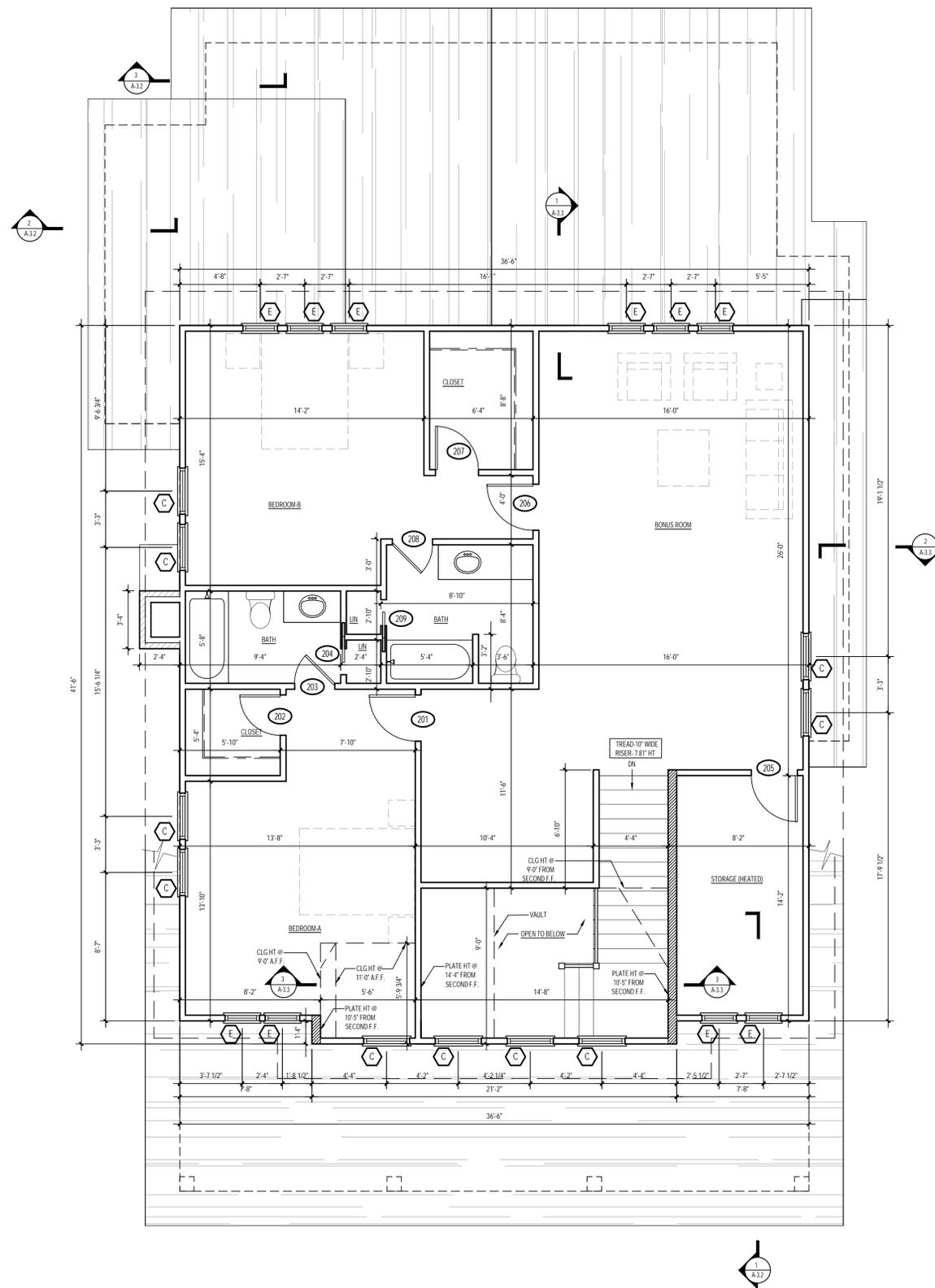
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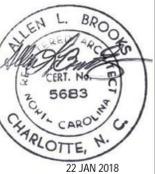


**1 PROPOSED SECOND FLOOR PLAN**  
1/4" = 1'-0"

**NOTE:**

- CMU
- STUD WALL
- 6" STUD WALL
- BRICK





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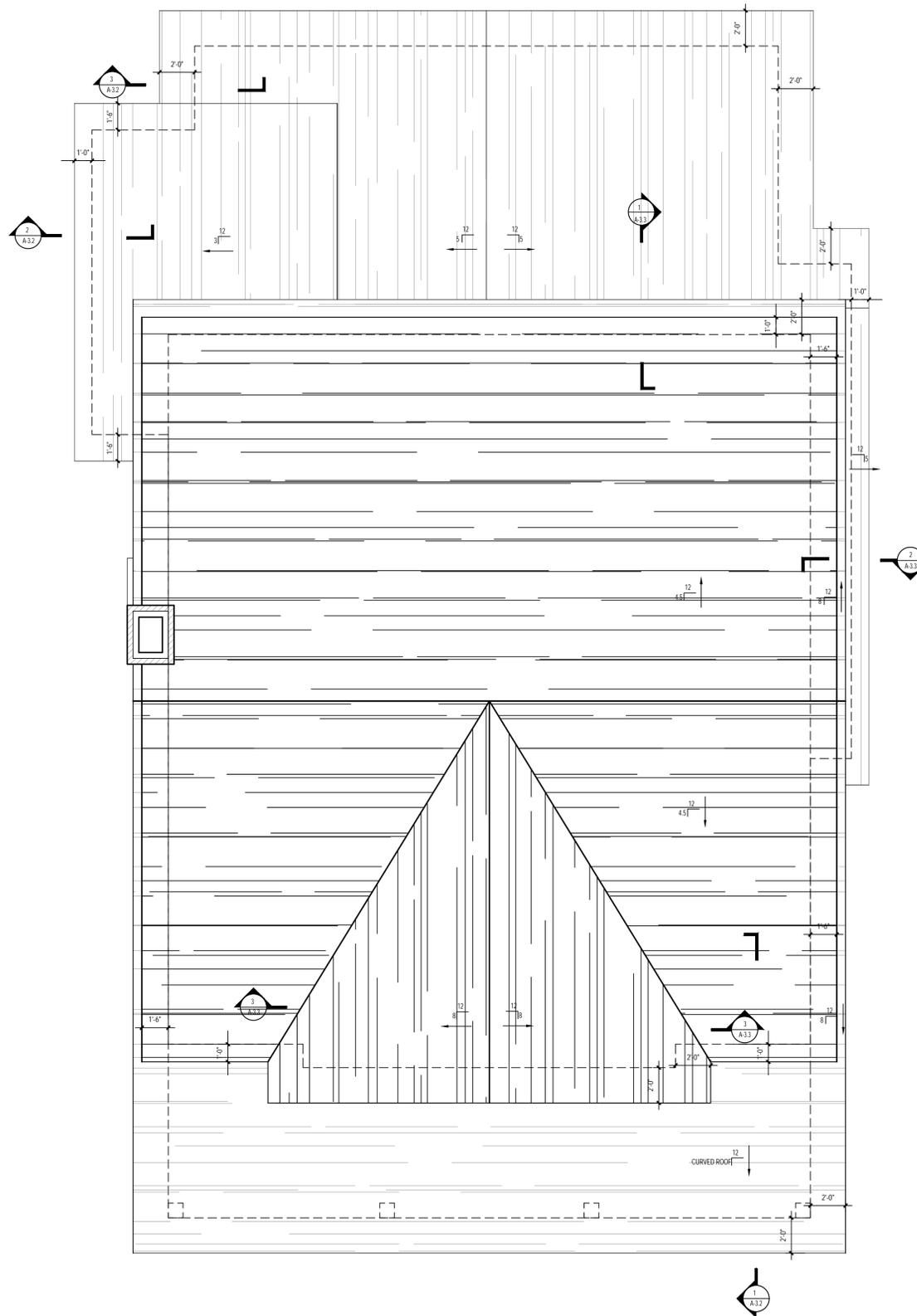
Designed Exclusively For the:  
**HOOPER RESIDENCE**  
253 Catawba Avenue, Davidson, NC 28036

PROJECT #: 18086  
ISSUED: 22 JAN 2018  
REVISIONS:

PROPOSED 3RD FLOOR PLAN

**A-2.3**

OF:



1 PROPOSED ROOF PLAN  
1/4" = 1'-0"

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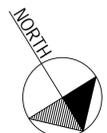
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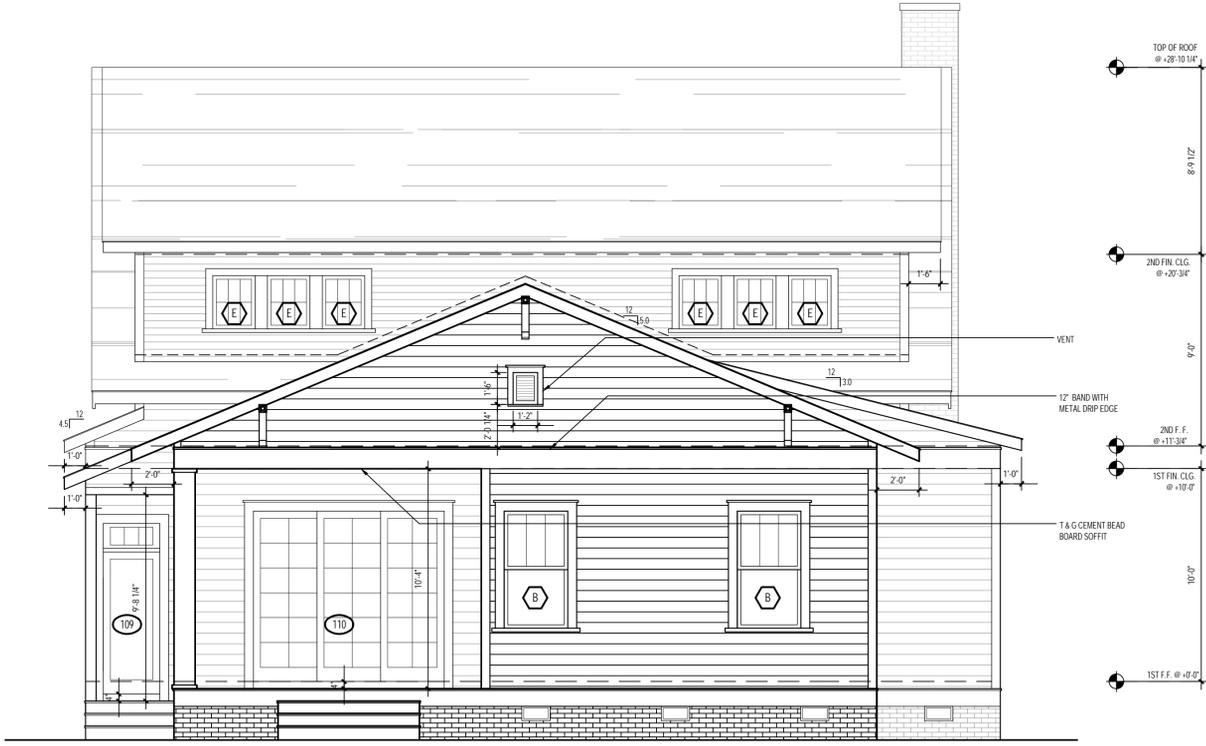
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1 PROPOSED REAR ELEVATION  
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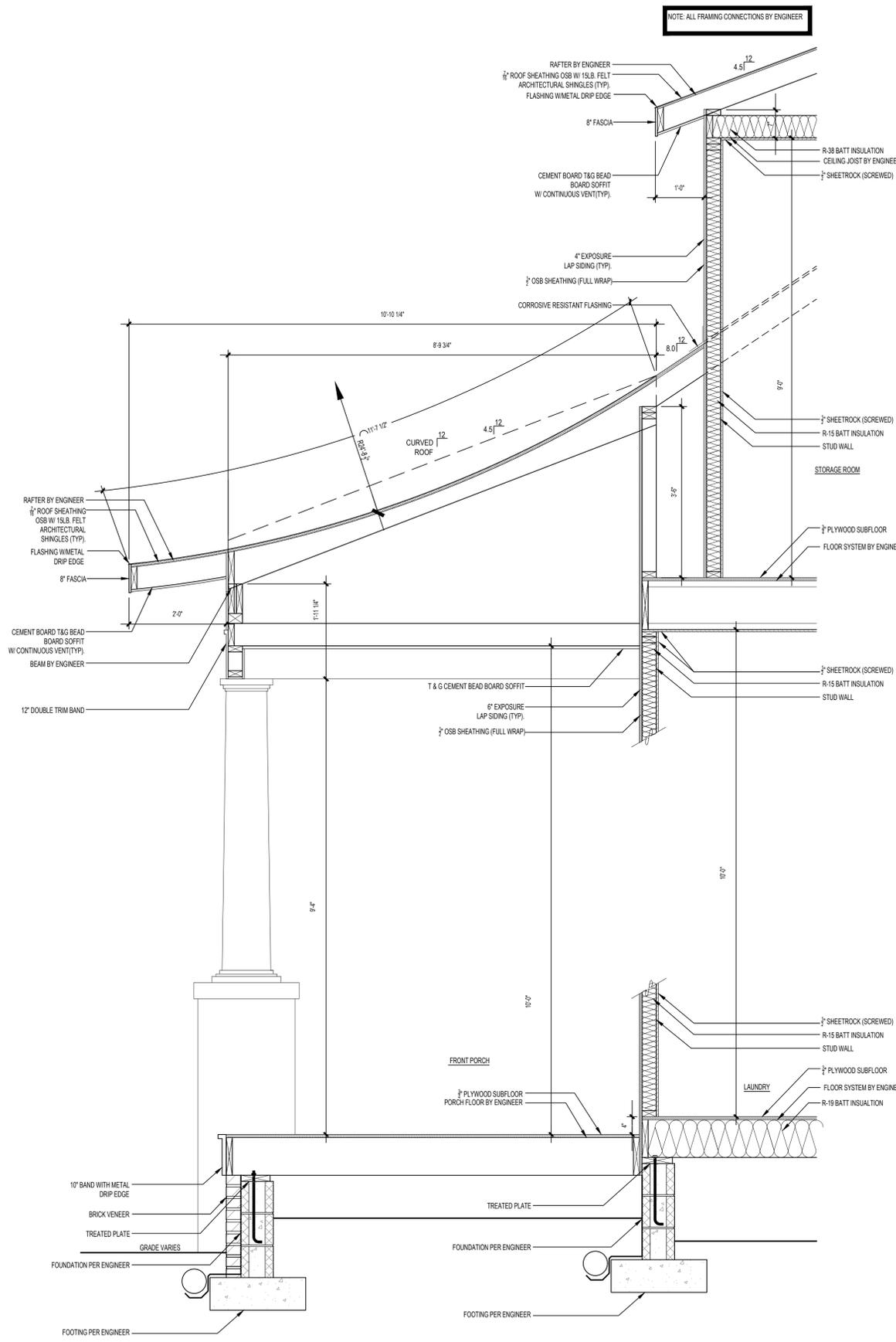
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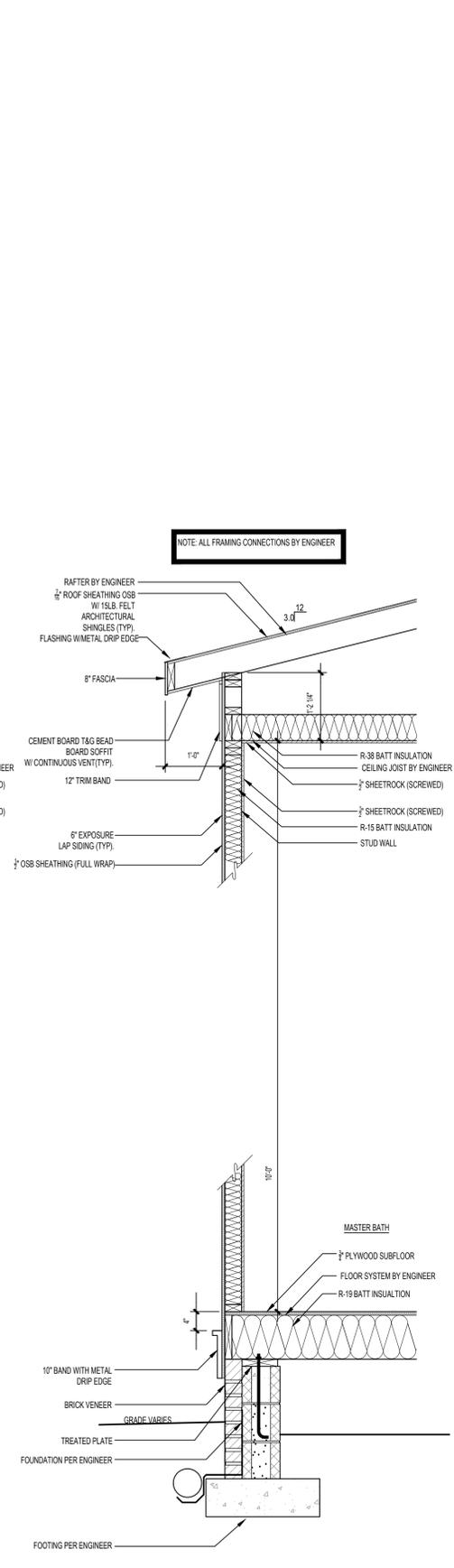
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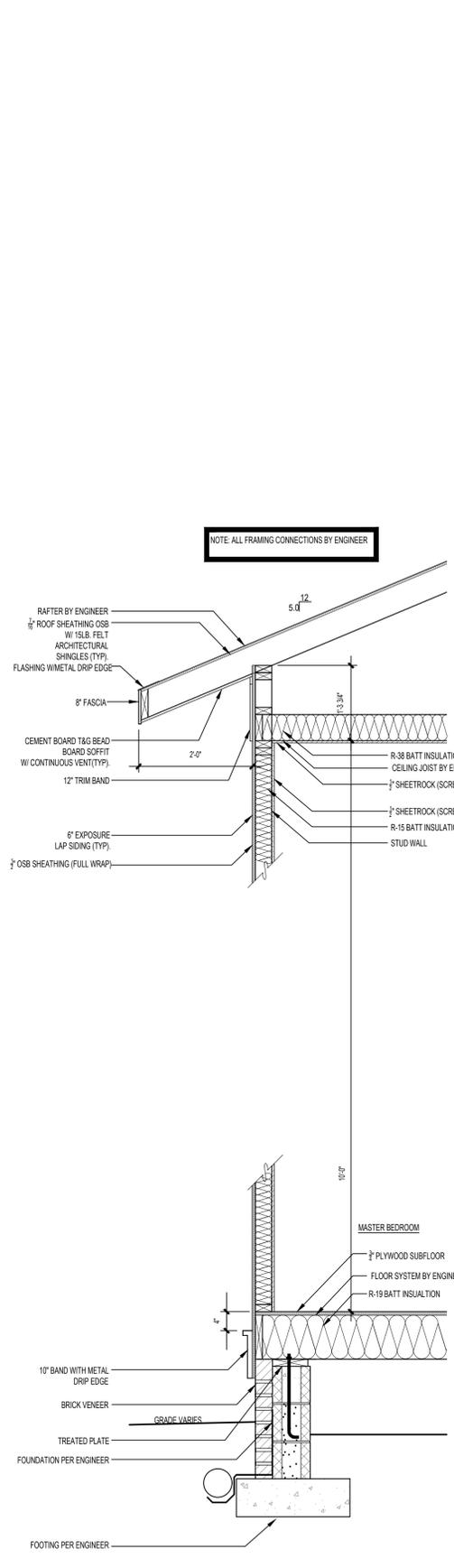
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3. THIS PAGE SHALL EXPIRE ON DECEMBER 31, 2019 @ 11:59 PM IF BUILDING PERMIT HAS NOT BEEN ACQUIRED PRIOR TO EXPIRATION DATE



① SECTION THROUGH FRONT PORCH  
3/4" = 1'-0"



② SECTION THROUGH MASTER BATH  
3/4" = 1'-0"



③ SECTION THROUGH MASTER BED  
3/4" = 1'-0"

**GENERAL NOTES:**

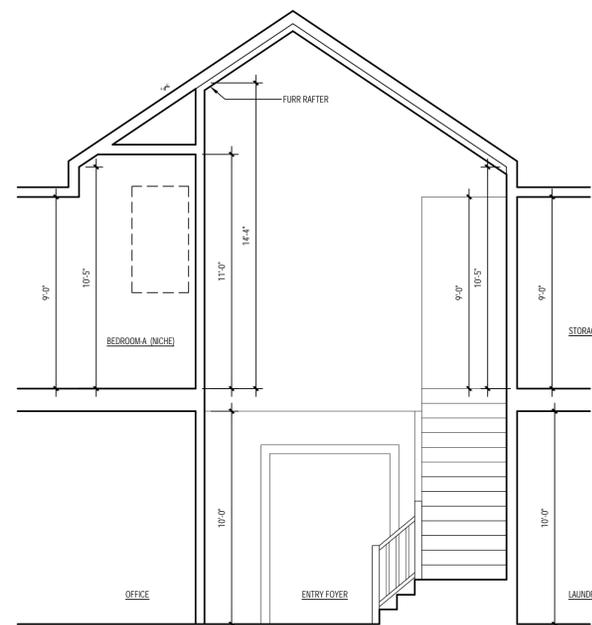
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- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF STUD TO ALIGN WITH FACE OF BRICK
- FIRE BLOCK @ FLOOR & CEILING PER CODE
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- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.5.3 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{3}{16}$ "
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT
- ALL EXTERIOR COLUMNS VARIES - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO BE 2'-0" U.N.O
- ALL FASCIAS TO BE 8"
- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

**STAIRS, RAILING & GUARD NOTES:**

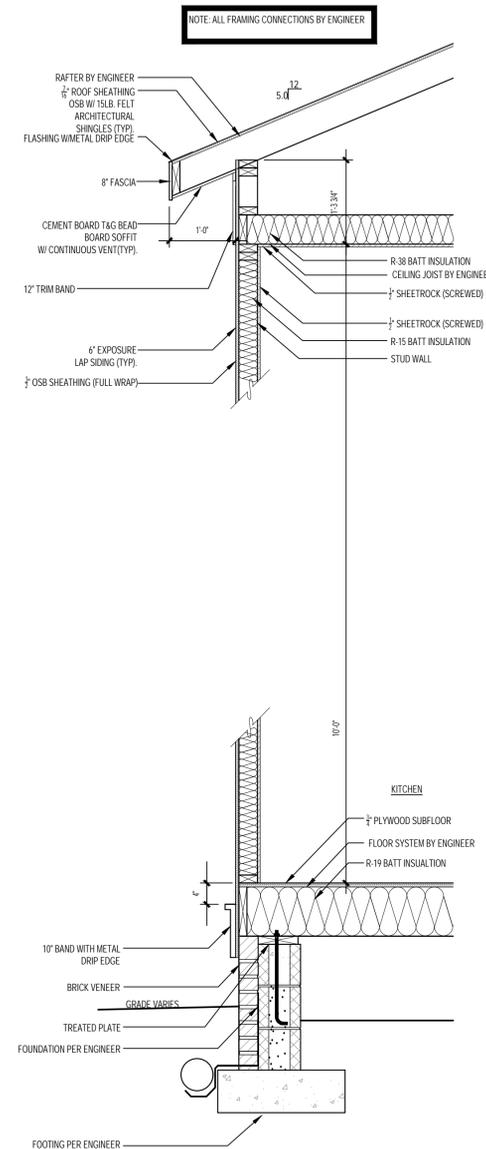
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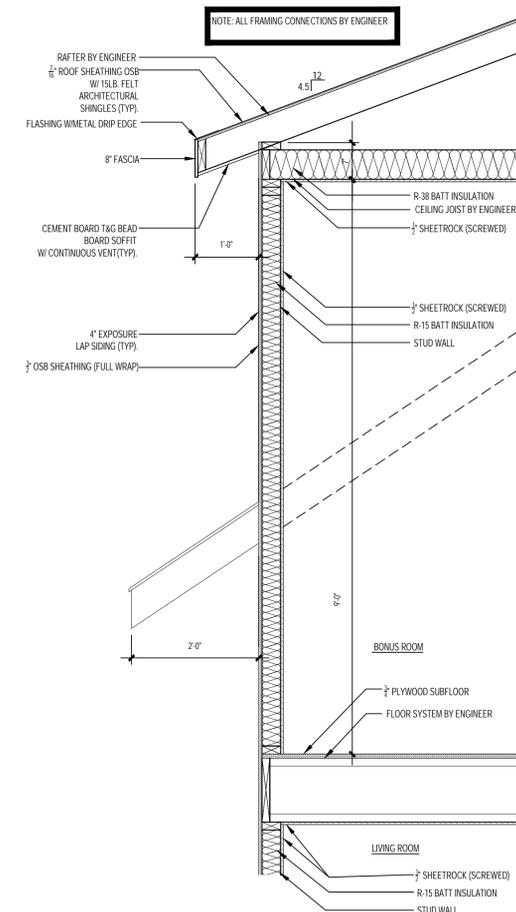
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③ SECTION THROUGH FOYER  
1/4" = 1'-0"



② SECTION THROUGH KITCHEN  
3/4" = 1'-0"



① SECTION THROUGH REAR DORMER  
3/4" = 1'-0"

Designed Exclusively For the:  
**HOOPER RESIDENCE**  
253 Catawba Avenue, Davidson, NC 28036

## 253 Catawba Ave. – Existing Conditions

### 1. Existing Site



### 2. Neighboring Home



3. Neighboring Home



4. Neighboring Home





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**Agenda Title:** 1506 Matthew McClure Cr Garage

**Summary:**

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**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
□ 20180220 1506 Matthew McClure Cr Garage	2/13/2019	Exhibit

**Town of Davidson, NC  
Design Review Board: Staff Analysis  
February 20, 2019**

**Project:** Accessory Structure (over 650 square feet)  
**Location:** 1506 Matthew McClure Cr  
**Applicant:** Tim Pratt, Copper Builders, Inc.  
**Designer:** ALB Architecture  
**Planning Area:** Village Infill

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The applicant would like to construct a detached garage in the rear yard at 1506 Matthew McClure Circle in the Davidson Hall neighborhood. Currently, this is an undeveloped lot. A new home and detached garage are proposed for this site.

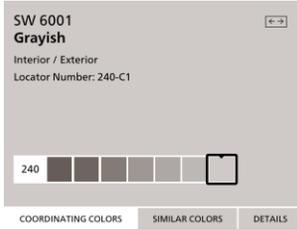
The footprint of the proposed detached garage is in excess of 650 square feet. Per DPO Section 4.5.8.B.2., any accessory structure over 650 square feet of first floor area shall be reviewed by the Design Review Board.

The proposed garage will have a footprint of 756 square feet. This is less than 30% of the footprint of the principal building, as required per DPO Section 4.5.8.B.1. The footprint of the principal building appears to be 2,873 square feet (30% of this footprint is 862 square feet). The height of the structure will be 23' 11" (two stories).

The proposed garage will be constructed with materials to match the new home to be constructed on site. The exterior of the structure will have gray hardi plank siding and white trim (see sample colors below). Gutters and downspouts will be white. The foundation will be brick. The roof appears to be architectural shingles with dormers having a 5V metal roof to match the proposed home.

Additional architectural features include carriage style garage doors, vertical board and batten accents, and a 10" square wood column on the front elevation at the garage entrance door (house facing façade). Lightning fixtures to be located on front elevation above the garage doors (see light detail below). Exact location is not shown on elevation.

### Exterior Siding Color:



### Exterior Trim Color:



### Lighting Detail:



## **DAVIDSON PLANNING ORDINANCE:**

### **Section 4.5.8 Accessory Structures**

#### **B. Size of Accessory Structure**

- 1. In the Rural Reserve and Rural Planning Areas, on lots over two acres where the proposed accessory structure is located more than 150 feet from the right-of-way or is not otherwise visible from the right-of-way, the footprint of an accessory structure shall not exceed 1,200 square feet. In all planning areas, except the Rural Reserve and Rural Planning Areas, the footprint of an accessory structure must not exceed 650 square feet or 30% of the footprint of the principal building (up to a maximum of 900 square feet), whichever is greater.*
- 2. Any accessory structure over 650 square feet of first floor area and all accessory structure ancillary to non-residential building types shall be reviewed by the Design Review Board, in accordance with the procedures in Section 14.*

**Section 4.4.1 General Building Design Standards**

**E. Materials**

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*
4. *Building materials and colors shall be:*
  - a. *Complementary to the materials already being used in the neighborhood.*

**F. Architectural Details**

1. *Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.*
4. *Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*

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T:\Planning\_Shared\_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2019 DRB Agendas\20190220\_DRB-Agenda\1. 20190220 1506 Matthew McClure Cr Garage – Staff Analysis



# Design Review

1506 Matthew McClure Circle Detached Garage Accessory Structure  
 (Name of Project)

## Application Requirements

Date Received

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- Application Fee per Town of Davidson Fee Schedule
- Contact Information
- General Statement of Intent  
*(Use, building type, approx. square footage, height, design features)*
- Statement of Compliance with Section 2
- Master Plan or Conditional Planning Area  
*(Including all documents, plans, maps, and conditions of approval)*
- Environmental Inventory in accordance with Section 14.15.1  
*(Including adjacent properties and buildings)*
- General Description  
*(Including a description and color photographs to existing / adjacent site)*
- Site Schematic Design in accordance with Section 14.15.7
- Building Schematic Design in accordance with Section 14.15.3  
*(Including rendered elevations of each façade per 14.15.3 C)*
- Landscape Schematic Design in accordance with Section 14.15.5
- Building Perspective
- Building Materials/Colors  
*(Roofing, siding, doors, windows, etc.)*

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

DocuSigned by:

*Tim Pratt*

495112462F31440...

Applicant's Signature

1/4/2019

Date



# Design Review

1506 Matthew McClure Circle Detached Garage Accessory Structure

(Name of Project)

## Contact Information

### Applicant's Information

Name: Copper Builders, Inc

E-Mail: timpratt@copperbuilders.com

Mailing Address: 1235E East Blvd #155 Charlotte, NC 28203

Business Phone: None Mobile Phone: 704-604-7452

### Property Owner's Information

*(If Different from Applicant)*

Name: Larina and Brian Pierce

E-Mail: larina2@gmail.com

Mailing Address: 1104 Samuel Spencer Pkwy Davidson, NC 28036

Business Phone: \_\_\_\_\_ Mobile Phone: \_\_\_\_\_

### Architect's Information

Name of Firm: ALB Architecture

Architect's Name: Angie Lauer

E-Mail: lauer.alb@icloud.com

Mailing Address: 1200 E Morehead St Suite 240  
Charlotte, NC 28204

Business Phone: 704-503-9595 Mobile Phone: 704-506-6540



# Design Review

1506 Matthew McClure Circle Detached Garage Accessory Structure  
 (Name of Project)

## Project Description

Application Date: 1/3/19

Project Location: 1506 Matthew McClure Cr Davidson, NC 28036

Tax Parcel(s): 00740246

Planning Area: Village Infill

Overlay District: N/A

Master or Cond. Plan  
*(Attach Conditions of Approval)* N/A

Gen. Statement of Intent: Detached garage accessory structure compliant with zoning

\_\_\_\_\_

\_\_\_\_\_

### Project Details:

- Project Type:
  Individual Bldg.
  Master Plan
  Conditional Planning Area
   
 Sign
- Building Type:
  Detached House
  Townhouse
  Attached House (Tri- or Quadplex)
   
 Institutional
  Live/Work
  Multi-family (Apts., Condos, Flats)
   
 Workplace
  Storefront
  Accessory Structure

- Use(s): Garage and garrett
- Height & Stories: 23'11 1/4" and 2 stories
- Square Footage: 890 sq/ft footprint Amended footprint of 756 sq. ft.
- Building Materials: Hardi plank siding and asphalt shingles on a brick foundation

Architectural Features: Carriage style garage doors, vertical board/batten accents and dormer roof lines

\_\_\_\_\_

Existing Site Conditions: Empty lot- new construction

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

See 14.12.2.D





WINDOW SCHEDULE FOR GARAGE			
ID	SIZE	HEADER HEIGHT	TYPE
W1	2'0" x 6'0"	5'4"	DOUBLE HUNG
W2	2'0" x 2'0"	7'0"	CASSETTE

NOTE:  
1. MATCH TRIM DETAILS WITH METAL Drip CAP (WITH FLASHING & BACK BAND TRIM AT WINDOWS).  
2. SEE ELEVATIONS FOR MOUNTING INTERNAL. VERIFY ANY REQUIREMENTS FOR EGGS OF TIMBERED GLASS.  
3. ALL WINDOWS WITH 36" OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE SHUTTERS.  
4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 48" ABOVE A.F.F. AND GREATER THAN 18" ABOVE GRADE OR WALKING SURFACE BELOW.  
5. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

GARAGE FIRST FLOOR DOOR SCHEDULE		
ID	OPENING	LOCATION
D1	9'0" x 8'0"	GARAGE DOOR
D2	9'0" x 8'0"	GARAGE DOOR
D3	2'0" x 8'0"	GARAGE ENTRY
D4	2'0" x 8'0"	STAIR ENTRY
D5	7'0" x 7'0"	STORAGE ROLL UP DOOR

NOTE:  
1. MATCH TRIM DETAILS WITH METAL Drip CAP (WITH FLASHING & BACK BAND TRIM AT EXTERIOR DOORS).  
2. SEE ELEVATIONS FOR MOUNTING INTERNALS.  
3. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

**GENERAL NOTES:**

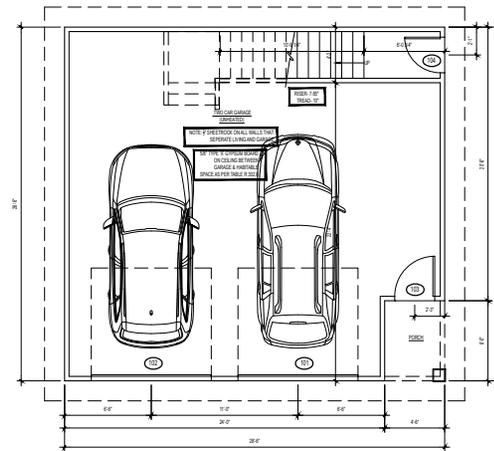
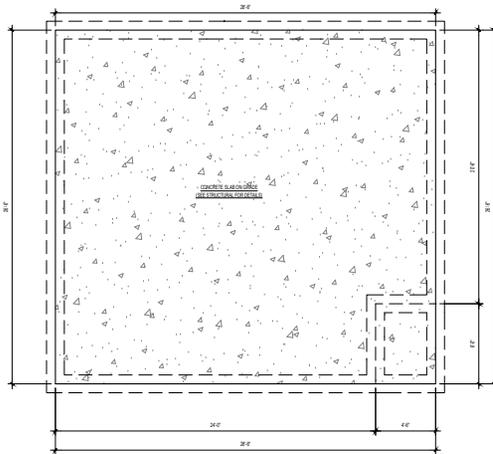
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- ALL FASCIAS TO BE 10".
- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

**STAIRS, RAILING & GUARD NOTES:**

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Designed Exclusively For the:  
**PIERCE RESIDENCE**  
1506 Mathew McClure Cir, Davidson, NC 28036



PROJECT # 1846  
ISSUED 29 JAN 2019  
REVISIONS:

PROPOSED GARAGE PLANS



A-4

OF FOURTEEN

**GENERAL NOTES:**

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
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12. RAILS TO BE 36" IN HEIGHT.
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 20" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO BE 12" U.L.G.
17. ALL FASCIAS TO BE 10".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.L.G.

GARAGE SECOND FLOOR DOOR SCHEDULE		
ID	OPENING	LOCATION
010	2' 0" x 6' 0"	BATHROOM
020	3' 0" x 6' 0"	CLOSET

- NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING & BACK BAND TRIM AT EXTERIOR SIDES).
  2. SEE SCHEDULE FOR MATERIAL PATTERNS.
  3. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

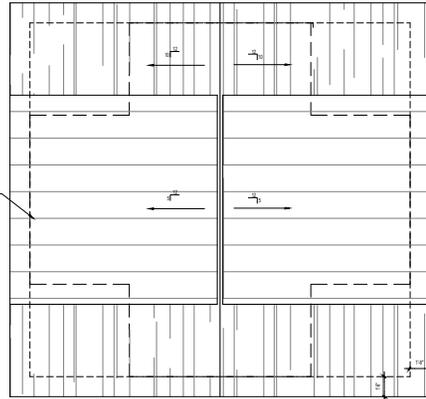
WINDOW SCHEDULE FOR GARAGE			
ID	SIZE	HEADER HEIGHT	TYPE
010	2' 0" x 4' 0"	5' 4"	DOUBLE HUNG
020	2' 0" x 2' 0"	7' 0"	CASERMENT

- NOTE:
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  2. SEE SCHEDULE FOR MATERIAL PATTERNS. VERIFY ANY REQUIREMENTS FOR FINISHES OR TYPED GLASS.
  3. ALL WINDOWS WITH UP TO 16 GLASS OR MORE & LESS THAN 10" A.F.F. MUST BE TYPED.
  4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 40" ABOVE A.F.F. AND GREATER THAN 20" ABOVE GROUND OR WALKING SURFACE BELOW.
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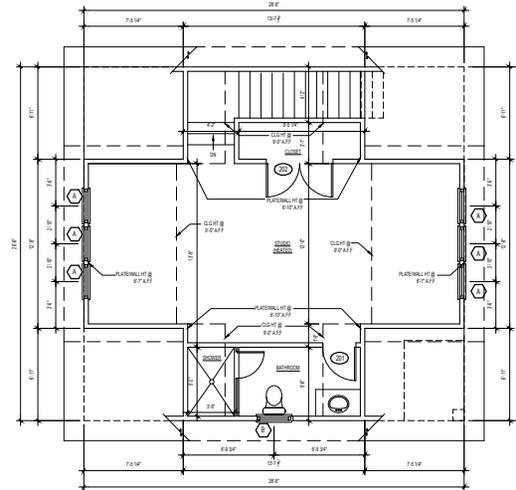
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2 PROPOSED GARAGE ROOF PLAN  
1/4" = 1'-0"



1 PROPOSED GARRETT PLAN  
1/4" = 1'-0"

Designed Exclusively For the:  
**PIERCE RESIDENCE**  
1506 Mathew McClure Cir, Davidson, NC 28036

PROJECT # 1846  
ISSUED 29 JAN 2019  
REVISIONS:

PROPOSED GARAGE PLANS

**A-4.1**

OF FOURTEEN

WINDOW SCHEDULE FOR GARAGE			
NO.	SIZE	HEADER HEIGHT	TYPE
1	2' 0" x 4' 0"	2' 0"	DOUBLE HUNG
2	2' 0" x 2' 0"	2' 0"	CASEMENT

- NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND DETAIL AT WINDOWS.
  2. ALL WINDOW HEADERS FACTORY-APPLY ANY REQUIREMENTS FOR EXPRESS OR TEMPERED GLASS.
  3. ALL WINDOWS WITH 1/8" OF GLASS OR MORE, A LEAST 1/4" A.F.F. MUST BE TEMPERED.
  4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 42" ABOVE A.F.F. AND GREATER THAN 17" ABOVE GRADE OR WALKING SURFACE BELOW.
  5. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

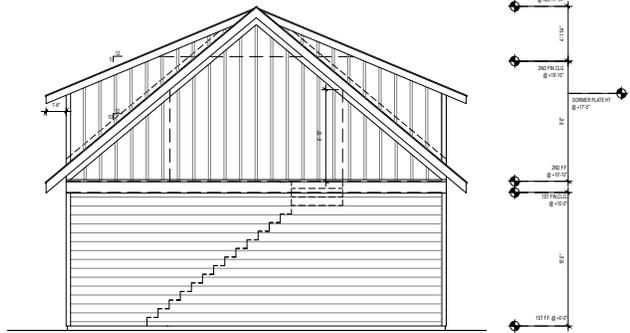
- GENERAL NOTES:**
1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
  2. ALL BUILDING LOCATIONS TO BE VERIFIED BY CONTRACTOR.
  3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
  5. FACE OF BRICK TO ALIGN WITH FACE OF STUD.
  6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
  7. ALL DIMENSIONS ARE TO FACE OF BRICK AT FOUNDATION.
  8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
  9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE. CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/4".
  10. ALL RISERS TO BE SOLID.
  11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  12. RAILS TO BE 36" IN HEIGHT.
  13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
  14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 20" IN HEIGHT.
  15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
  16. ALL EAVES TO BE 12" MIN. G.
  17. ALL FASCIAS TO BE 10".
  18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
  19. CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:**
1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT - SEE PLANS FOR CLEAR WIDTH.
  - 1.1 EXCEPTION DOES NOT APPLY TO THIS PROJECT.
  2. R311.7.4 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
  - 2.1 ALB SPECIFICS MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
  3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
  4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
  5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
  6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
  - 6.1 EXCEPTIONS: 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
  7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
  - 7.1 EXCEPTIONS: 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

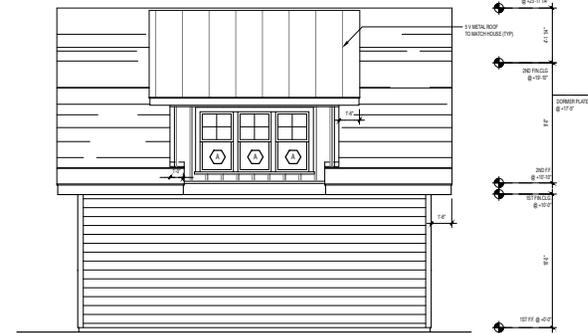
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4 PROPOSED RIGHT SIDE ELEVATION  
1/4" = 1'-0"



3 PROPOSED REAR ELEVATION  
1/4" = 1'-0"



2 PROPOSED LEFT SIDE ELEVATION  
1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION (HOUSE FACING)  
1/4" = 1'-0"



E-mail: brooks.ab@icloud.com  
leaver.ab@icloud.com

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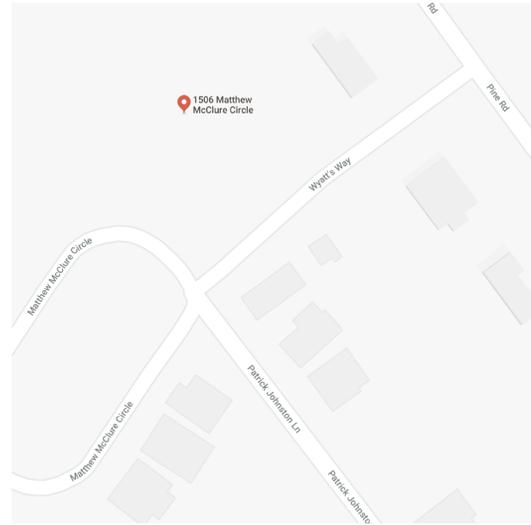
Designed Exclusively For the:  
**PIERCE RESIDENCE**  
1506 Mathew McClure Cir, Davidson, NC 28036

PROJECT # 1846  
ISSUED 29 JAN 2019  
REVISIONS:

PROPOSED GARAGE ELEVATIONS

**A-4.2**

OF FOURTEEN



VICINITY MAP

**INDEX OF DRAWINGS**

- A-0 COVER SHEET
- A-1.0 SITE PLAN
- A-2.0 FOUNDATION PLAN
- A-2.1 FIRST FLOOR PLAN
- A-2.2 SECOND FLOOR PLAN
- A-2.3 ROOF PLAN
- A-3.0 FRONT AND RIGHT ELEVATION
- A-3.1 REAR AND LEFT ELEVATION
- A-3.2 BUILDING SECTIONS AND DETAILS
- A-3.3 BUILDING SECTIONS AND DETAILS
- A-4.0 GARAGE PLANS
- A-4.1 GARAGE PLANS
- A-4.2 GARAGE ELEVATIONS
- A-4.3 GARAGE WALL SECTIONS

**BUILDING INFORMATION**

BUILDING CODE: 2012 NC RESIDENTIAL CODE

**ZONING INFORMATION**

JURISDICTION TOWN OF DAVIDSON  
ZONED VI

**BUILDING LIMITS**

FRONT SETBACK	17'-0"
SIDE YARD	5'-0"
REAR YARD	25'
MAXIMUM BUILDING HEIGHT	32'-0"
<b>FLOOR TO AREA RATIO - GREEN OVERLAY DISTRICT</b>	
LOT SIZE	

**MAXIMUM FAR**

**SQUARE FOOTAGE CALCULATIONS**

	FIRST FLOOR	
	HEATED SPACE	UNHEATED SPACE
1ST FLOOR	2298	
FRONT PORCH	0	272
CAR PORT		303
2ND FLOOR	1725	0
<b>TOTAL</b>	<b>4023</b>	<b>575</b>
<b>TOTAL UNDER ROOF</b>		<b>4598</b>
	DETACHED GARAGE	
FIRST FLOOR	46	683
STOOP	0	27
SECOND FLOOR	489	0
<b>TOTAL</b>	<b>535</b>	<b>710</b>
<b>TOTAL UNDER ROOF</b>		<b>1245</b>



Designed Exclusively For the:  
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1506 Mathew McClure Cir, Davidson, NC 28036

PROJECT #: 18045  
ISSUED: 29 JAN 2019  
REVISIONS:

COVER SHEET

**A-0**

OF: FOURTEEN

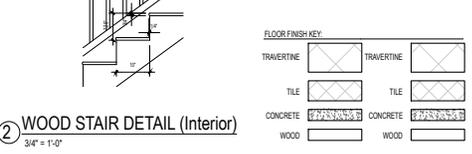
NOTE:  
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

WINDOW SCHEDULE			
SYMBOL	SIZE	HEADER HEIGHT	TYPE
⊕	2'0" X 5'0"	8'-0"	DOUBLE HUNG
⊖	2'0" X 4'0"	FIRST FLOOR & SECOND FLOOR	DOUBLE HUNG
⊕	2'0" X 6'0"	8'-0"	CASEMENT
⊖	2'0" X 2'0"	7'-0"	CASEMENT
⊕	2'0" X 5'0"	7'-0"	DOUBLE HUNG
⊖	2'0" X 5'0" W/ TRANSOM	7'-0"	DOUBLE HUNG

- GENERAL NOTES:**
- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
  - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
  - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
  - FACE OF BRICK TO ALIGN WITH FACE OF STUD.
  - FIRE BLOCK @ FLOOR & CEILING PER CODE.
  - ALL DIMENSIONS ARE TO FACE OF BRICK AT FOUNDATION.
  - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
  - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE. CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/4".
  - ALL RISERS TO BE SOLID.
  - ALL CASSED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  - DOORS TO BE 36" IN HEIGHT.
  - ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
  - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 2' IN HEIGHT.
  - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
  - ALL SAWS TO BE 1/2" O.K.G.
  - ALL FASCIAS TO BE 1/2".
  - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
  - CONTINUOUS EAVE VENT U.N.O.

FIRST FLOOR DOOR SCHEDULE		
SYMBOL	OPENING	LOCATION
⊕	10'-0" X 8'-0"	POYER EXTERIOR
⊕	2'-6" X 8'-0"	POWDER ROOM
⊕	2'-6" X 8'-0"	CHAF. CLOSET
⊕	2'-6" X 8'-0"	W.C.
⊕	2'-6" X 8'-0"	POCKET DOOR
⊕	2'-6" X 8'-0"	MASTER BEDROOM
⊕	2'-6" X 8'-0"	BATHROOM
⊕	2'-6" X 8'-0"	HER. CLOSET
⊕	2'-6" X 8'-0"	HEP. CLOSET
⊕	2'-6" X 8'-0"	STORAGE UNDER STAIRS
⊕	2'-6" X 8'-0"	POCKET DOOR
⊕	2'-6" X 8'-0"	LAUNDRY
⊕	2'-6" X 8'-0"	MUD ROOM EXTERIOR

- STAIRS, RAILING & GUARD NOTES:**
- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT - SEE PLANS FOR CLEAR WIDTH.
  - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
  - R311.7.4 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 INCHES.
  - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
  - R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
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  - R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
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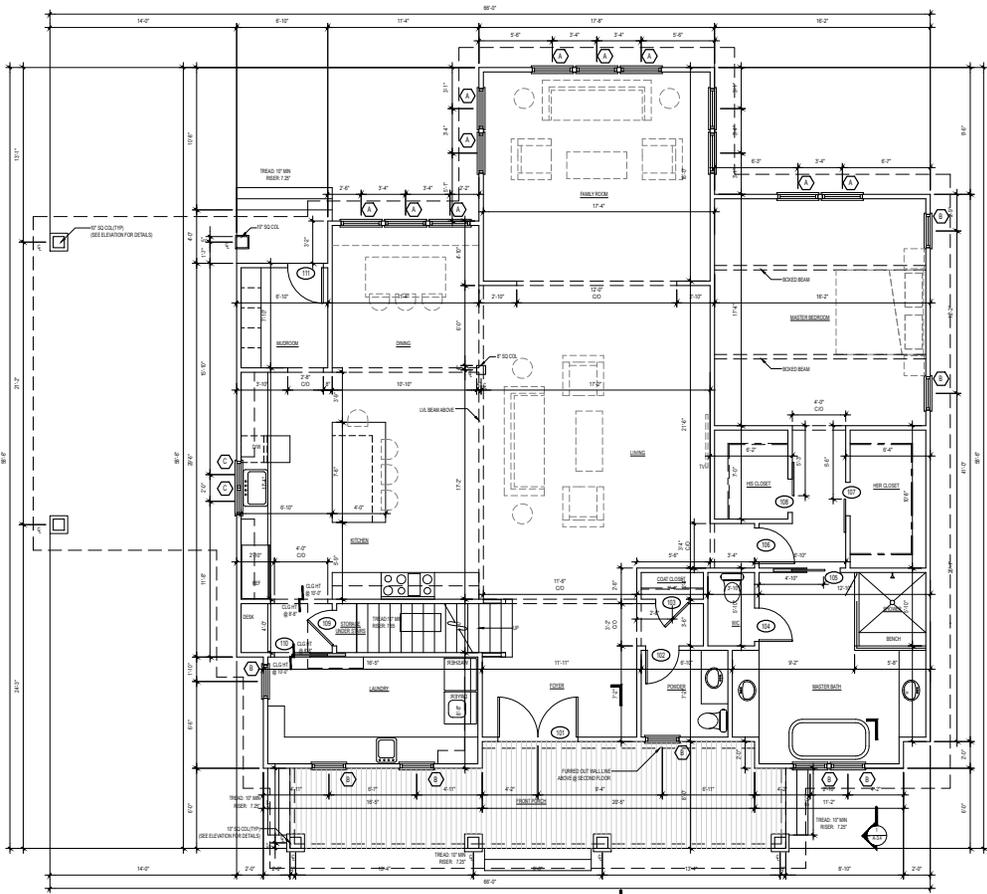
- NOTE:**
- 17" CONCRETE
  - STUD WALL
  - BRICK

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Designed Exclusively For the:  
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1506 Mathew McClure Cir, Davidson, NC 28036

PROJECT # 1846  
ISSUED 29 JAN 2019  
REVISIONS:

PROPOSED 1ST FLOOR PLAN  
**A-2.1**  
OF FOURTEEN



**1 PROPOSED FIRST FLOOR PLAN**  
1/4" = 1'-0"



ALB Architecture  
1200 E. Morehead St.  
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Charlotte, NC 28204  
Phone: 704.503.9595

E-mail:  
brooks.ab@alboutd.com  
leaver.ab@alboutd.com

WINDOW SCHEDULE			
NO.	SIZE	HEADER HEIGHT	TYPE
1	2'0" x 6'0"	6'0"	DOUBLE HUNG
2	2'0" x 4'0"	FIRST FLOOR 6'0" SECOND FLOOR 7'0"	DOUBLE HUNG
3	2'0" x 4'0"	6'0"	CASHEM
4	2'0" x 2'0"	7'0"	CASHEM
5	2'0" x 2'0"	7'0"	DOUBLE HUNG
6	2'0" x 2'0" w/ TRANSOM- LEDGE	7'0"	DOUBLE HUNG

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM FINISHES.
  - SEE ELEVATIONS FOR MOUNTING PATTERNS. VERIFY ALL REQUIREMENTS FOR FINISHES OR FINISHING SEQUENCE.
  - ALL WINDOWS WITH TOP OF GLASS OR MORE & LESS THAN 18" AFF MUST BE TRIMMED.
  - PROVIDE FALL PROTECTORS WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 12" ABOVE GRADE OR WALKING SURFACE.
  - WINDOW SCHEDULING:
    - FOR RECTANGULAR WINDOWS: DIMENSIONS BASED ON INSIDE UNITS SERIES DIMENSIONS.
    - FOR RECTANGULAR & TRIANGULAR: MATCH EXISTING WINDOW & LOOK UP: METAL DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MOUNTING PATTERNS. VERIFY ANY REQUIREMENTS FOR FINISHES OR FINISHING SEQUENCE.
  - REFER TO EXISTING ARCHITECT SUBMIT DRAWINGS TO THE ARCHITECT FOR APPROVAL.

SECOND FLOOR DOOR SCHEDULE		
NO.	OPENING	LOCATION
101	PR 2'0" x 6'0"	CLOSET
102	2'0" x 6'0"	BEDROOM-D
103	2'0" x 6'0"	BATHROOM
104	2'4" x 6'0"	CLOSET
105	PR 2'0" x 6'0"	BEDROOM
106	2'0" x 6'0"	CLOSET
107	2'0" x 6'0"	CLOSET
108	2'0" x 6'0"	OFFICE
109	2'0" x 6'0"	CLINIC
110	2'0" x 6'0"	CLOSET
111	2'0" x 6'0"	BEDROOM-C
112	2'0" x 6'0"	BEDROOM-A
113	2'0" x 6'0"	BATHROOM
114	2'0" x 6'0"	CLOSET

- GENERAL NOTES:
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  - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
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  - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
  - FACE OF BRICK TO ALIGN WITH FACE OF STUD.
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  - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE. CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/4".
  - ALL RISERS TO BE SOLID.
  - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  - RAILS TO BE 36" IN HEIGHT.
  - ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
  - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 24" IN HEIGHT.
  - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
  - ALL EAVES TO BE 12" O.C.G.
  - ALL FASCIAS TO BE 10".
  - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
  - CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:
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FLOOR FINISH KEY:

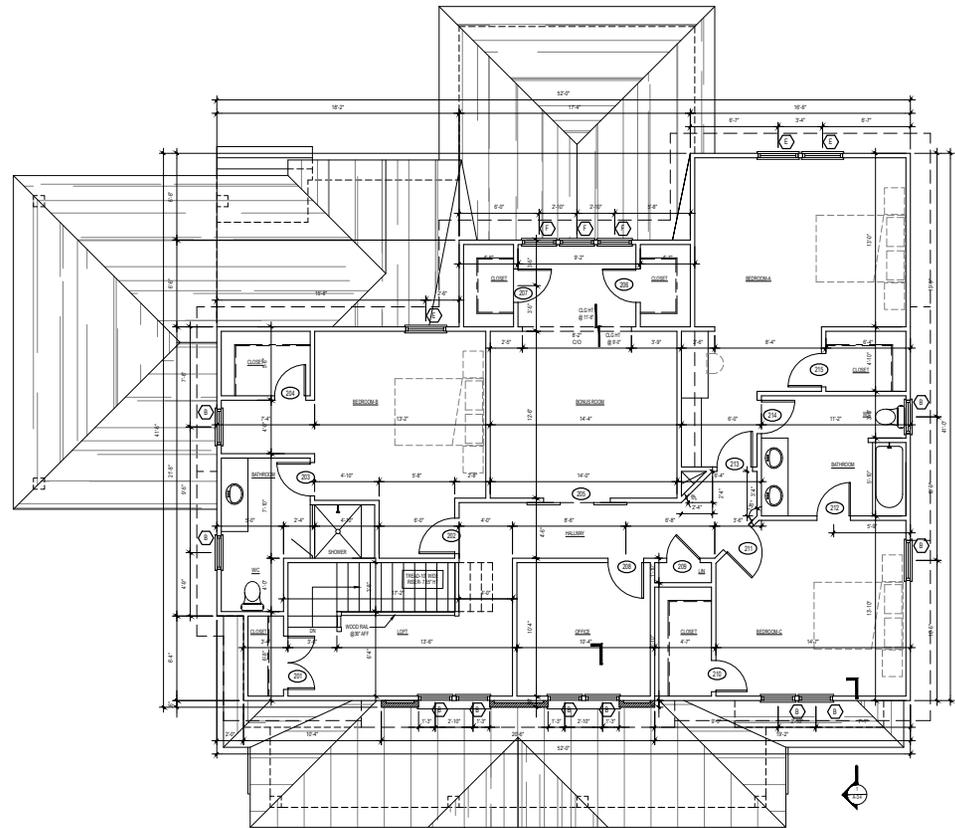
TRAVERTINE		TRAVERTINE	
TILE		TILE	
CONCRETE		CONCRETE	
WOOD		WOOD	

NOTE:

10' CONCRETE	
STUD WALL	
BRICK	

PROJECT # 1846  
ISSUED 29 JAN 2019  
REVISIONS:

PROPOSED 2ND FLOOR PLAN  
**A-2.2**  
OF FOURTEEN



1 PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"

Designed Exclusively For the:  
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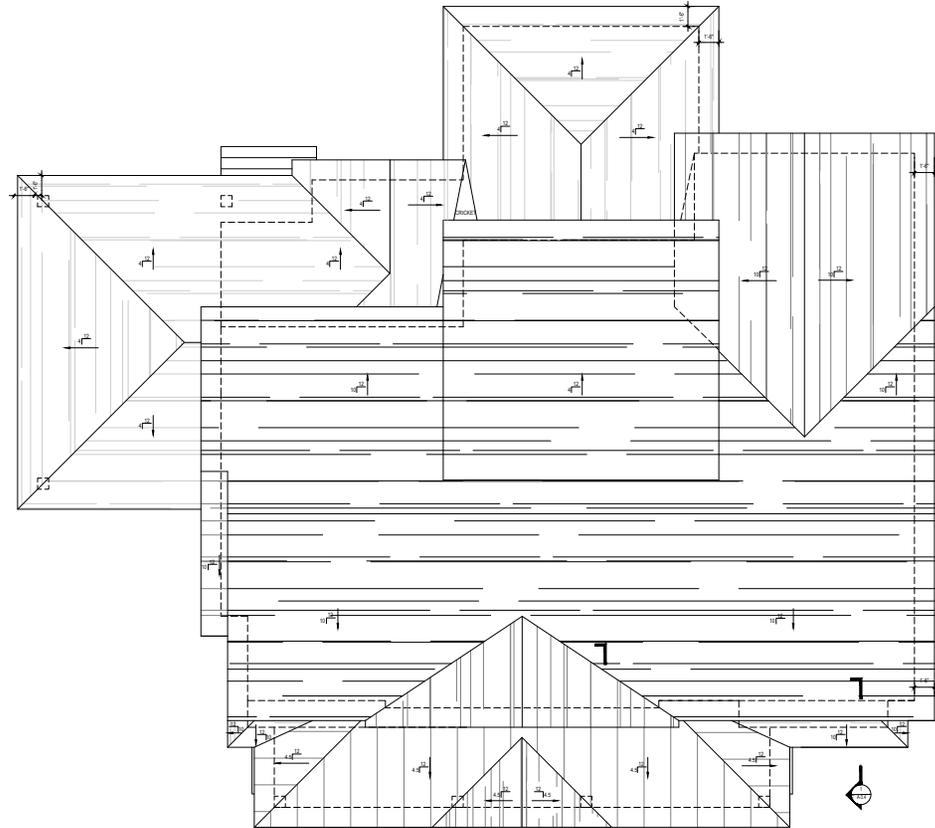
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16. ALL EAVES TO BE 1" D.L.G.
17. ALL FASCIAS TO BE 1".
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

**STAIRS, RAILING & GUARD NOTES:**

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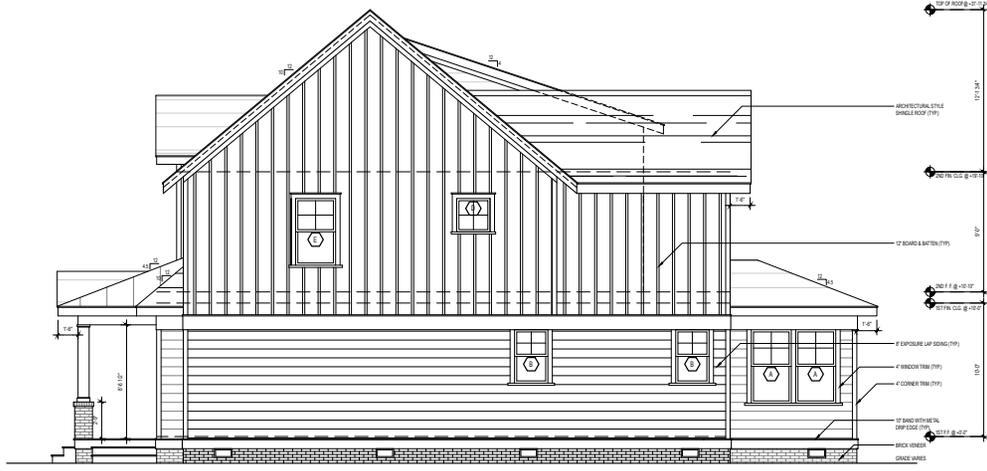
① PROPOSED ROOF PLAN  
1/4" = 1'-0"

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PROJECT # 1846  
ISSUED 29 JAN 2019  
REVISIONS:

PROPOSED ROOF PLAN

**A-2.3**  
OF FOURTEEN



2 PROPOSED RIGHT ELEVATION  
1/8" = 1'-0"



1 PROPOSED FRONT ELEVATION  
1/8" = 1'-0"

WINDOW SCHEDULE			
SYMBOL	SIZE	HEADER HEIGHT	TYPE
⊕	3'0" x 6'0"	8'-0"	DOUBLE HUNG
⊕	2'0" x 4'0"	FIRST FLOOR 8'-0" SECOND FLOOR 7'-0"	DOUBLE HUNG
⊕	2'0" x 4'0"	8'-0"	CASEMENT
⊕	2'0" x 2'0"	7'-0"	CASEMENT
⊕	2'0" x 2'0"	7'-0"	DOUBLE HUNG
⊕	2'0" x 2'0"	7'-0"	DOUBLE HUNG

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM ON WINDOWS.
  - SEE ELEVATION FOR MATCH PATTERN. SEE PLAN REQUIREMENTS FOR MATERIALS/INSTALLATION/DETAILS
  - ALL WINDOWS WITH TOP OF GLASS OR MORE & LESS THAN 1" A.F.F. MUST BE TEMPORARY.
  - PROTECT FULL PROTECTION WHERE THE WINDOW IS LESS THAN 3" ABOVE A.F.F. AND GREATER THAN 12" ABOVE GRADE OR WALKING SURFACE. BRICK.
5. WINDOW SCHEDULE
- 5.1. DIMENSIONS BASED ON KALIBRE ULTRA SERIES
- 5.2. SUBSTITUTIONS & MODIFICATIONS: MATCH EXISTING WINDOW & DOOR SIZES. VERIFY WITH TOP OF FINISH FLASHING. SEE ELEVATIONS FOR MATCH PATTERN. VERIFY ANY REQUIREMENTS FOR EDGES OR TEMPORARY GLASS.
- 5.3. M.E. MATCH EXISTING
6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

- GENERAL NOTES:
- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
  - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
  - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
  - FACE OF BRICK TO ALIGN WITH FACE OF STUD.
  - FIRE BLOCK @ FLOOR & CEILING PER CODE.
  - ALL DIMENSIONS ARE TO FACE OF BRICK AT FOUNDATION.
  - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
  - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE. CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/2".
  - ALL RISERS TO BE SOLID.
  - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  - RAILS TO BE 36" IN HEIGHT.
  - ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
  - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 2' IN HEIGHT.
  - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
  - ALL EAVES TO BE 12" O.C.G.
  - ALL FASCIAS TO BE 10".
  - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
  - CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:
- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT - SEE PLANS FOR CLEAR WIDTH.
  - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
  - R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/8 INCHES.
  - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
  - R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
  - R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
  - R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
  - R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
  - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
  - R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
  - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE ON OPEN SIDE OF STAIR.
- NOTE:
- REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT WITHOUT THE ARCHITECT'S PERMISSION SHALL BE AT THE CLIENT'S SOLE RISK AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.
  - THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON. ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.



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Designed Exclusively For the:

**PIERCE RESIDENCE**

1506 Mathew McClure Cir, Davidson, NC 28036

PROJECT # 1846  
REVISED 29 JAN 2019  
REVISIONS:

PROPOSED FRONT AND  
RIGHT SIDE ELEVATION  
**A-3.0**  
OF FOURTEEN



2 PROPOSED LEFT ELEVATION  
1/8" = 1'-0"



1 PROPOSED REAR ELEVATION  
1/8" = 1'-0"

WINDOW SCHEDULE			
NO.	SIZE	HEADER HEIGHT	TYPE
1	3'0" x 6'0"	8'-0"	DOUBLE HUNG
2	2'0" x 4'0"	FIRST FLOOR 8'-0" SECOND FLOOR 7'-0"	DOUBLE HUNG
3	2'0" x 4'0"	8'-0"	CASEMENT
4	2'0" x 2'0"	7'-0"	CASEMENT
5	2'0" x 2'0"	7'-0"	DOUBLE HUNG
6	2'0" x 2'0"	7'-0"	DOUBLE HUNG

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM OF WINDOWS.
  - SEE ELEVATIONS FOR MATCH PATTERNS. SEE PLAN REQUIREMENTS FOR MATERIALS/INSTALLATION/DETAILS
  - ALL WINDOWS WITH TOP OF GLASS OR MORE & LESS THAN 10" A.F.F. MUST BE TEMPORARY.
  - PROTECT WALL PROTECTION WHERE THE WINDOW IS LESS THAN 20" ABOVE A.F.F. AND GREATER THAN 12" ABOVE GRADE OR WALKING SURFACE BELOW.
5. WINDOW SCHEDULE
- 5.1. SUBSTITUTIONS: DIMENSIONS BASED ON KALIBRE ULTRA SERIES
- 5.2. SUBSTITUTIONS & SCHEDULES: MATCH EXISTING WINDOW & DOOR SCHEDULES WITH TOP OF FINISH FLASHING. SEE ELEVATIONS FOR MATCH PATTERNS. VERIFY ANY REQUIREMENTS FOR GLASS OR TEMPORARY GLASS.
- 5.3. M.E. MATCH EXISTING
6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

**GENERAL NOTES:**

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF BRICK TO ALIGN WITH FACE OF STUD
- FIRE BLOCK @ FLOOR & CEILING PER CODE.
- ALL DIMENSIONS ARE TO FACE OF BRICK AT FOUNDATION.
- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR RISING SHALL CONFORM TO R310.7.4 PROFILE. CURVATURE OF THE RISING SHALL BE NO GREATER THAN 1/4"
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT.
- ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 20" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO BE 1'-0" O.C.G.
- ALL FASCIAS TO BE 10"
- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

**STAIRS, RAILING & GUARD NOTES:**

- R310.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT - SEE PLANS FOR CLEAR WIDTH.
  - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R310.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
  - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
- R310.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
- R310.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
  - R310.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
  - R310.7.7.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 38 INCHES.
    - EXCEPTIONS: 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
- R310.7.8 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
  - EXCEPTIONS: 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE ON OPEN SIDE OF STAIR.

**NOTE:**

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Designed Exclusively For the:  
**PIERCE RESIDENCE**  
1506 Mathew McClure Cir, Davidson, NC 28036

PROJECT # 1846  
ISSUED  
REVISONS: 29 JAN 2019

PROPOSED REAR AND  
LEFT SIDE ELEVATION  
**A-3.1**  
OF FOURTEEN

# 1506 Matthew McClure Cr. – Existing Conditions

## 1. Existing Site



## 2. Neighboring Home



3. Neighboring Home

