



**TOWN OF DAVIDSON
DESIGN REVIEW BOARD**

7:00PM Administration Conference Room in Town Hall at 216 S Main St, Davidson, NC

March 27, 2019

-
- I. CALL TO ORDER**
 - II. SILENT ROLL CALL**
 - III. CHANGES TO THE AGENDA**
 - IV. REVIEW/APPROVAL OF THE MINUTES**
 - (a) DRB Minutes 2019 February 20
 - V. NEW BUSINESS**
 - (a) Homewood Suites Pergola
 - (b) Davidson College Richardson Hall Renovation
 - VI. OTHER ITEMS**
 - VII. ADJOURN**



Agenda Title: DRB Minutes 2019 February 20

Summary:

ATTACHMENTS:

Description	Upload Date	Type
▣ DRB Minutes 2019 February 20	3/19/2019	Exhibit

Meeting Minutes

Design Review Board

Town of Davidson, NC
February 20, 2019

A meeting of the Town of Davidson *Design Review Board* was held in the Town Hall, Board Room, 216 S. Main St.

Call to Order: 6:59 p.m.

Silent Roll Call and Determination of Quorum:

Members Present signified by :

<input checked="" type="checkbox"/> Bruce Barteldt, Chair	<input checked="" type="checkbox"/> Brian Bumann	<input checked="" type="checkbox"/> Jeff Osman
<input checked="" type="checkbox"/> Tom Goodwin	<input checked="" type="checkbox"/> Bob Sipp	
<input checked="" type="checkbox"/> Mike Kessler	<input type="checkbox"/> EB Dyer	
<input checked="" type="checkbox"/> John Burgess	<input type="checkbox"/> Lorraine Degree	

Town Staff Present: Lindsay Laird (Planner)

Changes to the Agenda: None.

Review/Approval of the Minutes

A motion was made (TG) to approve meeting the minutes of January 16, 2019 as submitted. It was seconded (BS) and the motion was approved unanimously.

Consent Item: None.

Old Business: None

New Business:

1. 253 Catawba Ave Garage

Located at 253 Catawba Avenue

Village Infill (Orange Overlay District)

Proposed accessory structure in excess of 650 square feet

Lindsay Laird gave an overview of the project, noting that the proposed garage requires approval by the DRB because the footprint is greater than 650 square feet. The footprint is compliant with the DPO for Village Infill properties. The garage will be constructed with materials to match the new home to be constructed on site.

After discussion, a motion (MK) was made to approve the project as submitted. The motion was seconded (BS) and approved unanimously.

2. 1506 Matthew McClure Cr Garage

Located at 1506 Matthew McClure Circle (Davidson Hall)
Village Infill
Proposed accessory structure in excess of 650 square feet

Lindsay Laird gave an overview of the project, noting that the proposed garage requires approval by the DRB because the footprint is greater than 650 square feet. The footprint is compliant with the DPO for Village Infill properties. The garage will be constructed with materials to match the new home to be constructed on site.

After discussion, a motion (BS) was made to approve the project as submitted. The motion was seconded (JO) and approved unanimously.

Other Items: None.

Adjourn: A motion was made to adjourn (MK), seconded (TG), and approved unanimously. The meeting was adjourned at 7:21 pm.

Approval of Minutes:

Date: _____ By: _____

Please note: This is a summary of the meeting and not to be considered a complete transcript.



Agenda Title: Homewood Suites Pergola

Summary:

ATTACHMENTS:

Description	Upload Date	Type
▣ Homewood Suites Pergola	3/19/2019	Exhibit

Town of Davidson, NC
Design Review Board: Staff Analysis
March 27, 2019

Project: Homewood Suites Pergola (Accessory structure ancillary to non-residential building type)

Location: 125 Harbour Pl Dr (Parcel ID 00322147)

Applicant: Krista Hillis, Beacon IMG

Designer: Proximity Architecture

Planning Area: Conditional

The applicant would like to update an existing approximately 500 square foot outdoor guest grill area to include a pergola, sitting area, and grill island. Per Davidson Planning Ordinance Section 4.5.8.B., all accessory structures ancillary to non-residential building types shall be reviewed by the Design Review Board.

The proposed pergola will be located on the western side of the existing hotel, along Griffith Street. The pergola will be approximately 10 feet wide by 14 feet long and will be constructed of dark grey fiberglass. The pergola will have four 10" x 10" columns supporting 18 foot long beams (see west elevation), and will have nine 2" x 8" fiberglass rafters with stringers on top of the structure. The height of the structure will be 10'- 8" in height.

Lighting is shown on columns on the west (detail 3, A-1) and east (detail 5, A-1) elevations of the pergola. A lighting detail has not been provided at this time. The application lists LED string lights on the pergola as well.

The patio renovation also includes a stacked faux stone island with granite counter top, built-in grills, and a sitting area.

DAVIDSON PLANNING ORDINANCE:

Section 4.5.8 Accessory Structures

B. Size of Accessory Structure

1. *In the Rural Reserve and Rural Planning Areas, on lots over two acres where the proposed accessory structure is located more than 150 feet from the right-of-way or is not otherwise visible from the right-of-way, the footprint of an accessory structure shall not exceed 1,200 square feet. In all planning areas, except the Rural Reserve and Rural Planning Areas, the footprint of an accessory structure must not exceed 650 square feet or 30% of the footprint of the principal building (up to a maximum of 900 square feet), whichever is greater.*
2. *Any accessory structure over 650 square feet of first floor area and all accessory structure ancillary to non-residential building types shall be reviewed by the Design Review Board, in accordance with the procedures in Section 14.*

Section 4.4.1 General Building Design Standards

E. Materials

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*

4. *Building materials and colors shall be:*
 - a. *Complementary to the materials already being used in the neighborhood.*

 - b. *If dissimilar materials are being proposed, other characteristics such as scale, proportion, form, architectural detailing, color, and texture shall be used to ensure that the building relates to the rest of the neighborhood.*

T:\Planning_Shared_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2019 DRB Agendas\20190327_DRB-Agenda\1. 20190327 Homewood Suites Pergola - Staff Analysis

Homewood Suites – Existing Conditions

1. Existing Site (view from parking lot towards Griffith Street)



2. Existing Outdoor Grill Area



3. Existing Outdoor Grill Area





Design Review

Homewood Suites Davidson Outdoor Grill Area

(Name of Project)

Development Process

Date Completed	Outline of Steps & Checklist
_____	<input type="checkbox"/> 1. Initial Meeting
_____	<input checked="" type="checkbox"/> 2. Application and Fee
_____	<input type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
_____	<input type="checkbox"/> 4. Planning Director Site Schematic Design Review
_____	<input type="checkbox"/> 5. Design Review Board Approval
_____	<input checked="" type="checkbox"/> 6. Building Construction Documents
_____	<input type="checkbox"/> 7. Site and Landscape Construction Documents
_____	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
_____	<input type="checkbox"/> 9. Building Permit Approval
_____	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
_____	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
_____	<input type="checkbox"/> 12. Certificate of Occupancy

** For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*



Design Review

Homewood Suites, Davidson Outdoor Grill Area
 (Name of Project)

Application Requirements

Date Received

- Application Fee per Town of Davidson Fee Schedule
- Contact Information
- General Statement of Intent
(Use, building type, approx. square footage, height, design features)
- Statement of Compliance with Section 2
- Master Plan or Conditional Planning Area
(Including all documents, plans, maps, and conditions of approval)
- Environmental Inventory in accordance with Section 14.15.1
(Including adjacent properties and buildings)
- General Description
(Including a description and color photographs to existing / adjacent site)
- Site Schematic Design in accordance with Section 14.15.7
- Building Schematic Design in accordance with Section 14.15.3
(Including rendered elevations of each façade per 14.15.3 C)
- Landscape Schematic Design in accordance with Section 14.15.5
- Building Perspective
- Building Materials/Colors *(To be submitted by 2/27/19.)*
(Roofing, siding, doors, windows, etc.)

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.

Krista S. Hillis
 Applicant's Signature

2/20/19
 Date



Design Review

Homewood Suites Davidson Outdoor Grill Area
(Name of Project)

Contact Information

Applicant's Information

Name: Beacon IMG, Krista Hillis
E-Mail: krista@beaconimg.com
Mailing Address: 6428 Bannington Rd. Suite B
Charlotte, NC 28226
Business Phone: 704-752-7901 Mobile Phone: 704-900-4537

Property Owner's Information

(If Different from Applicant)

Name: Nish Patel
E-Mail: nish@beaconimg.com
Mailing Address: 6428 Bannington Rd. Suite B
Charlotte, NC 28226
Business Phone: 704-752-7901 Mobile Phone: 704-363-1230

Architect's Information

Name of Firm: Proximity Architecture
Architect's Name: Dwaine Swink
E-Mail: ldswink@proximityarchitecture.com
Mailing Address: 867 Brawley School Road, Suite 205
Mooresville, NC 28117
Business Phone: 980-444-0057 Mobile Phone: 704-654-0809



Design Review

Homewood Suites Davidson, Outdoor Grill Area
(Name of Project)

Project Description

Application Date: February 20, 2019

Project Location: 129 Harbour Place Drive, Davidson NC

Tax Parcel(s): 00322147

Planning Area: Conditional 2.2.17

Overlay District: -

Master or Cond. Plan (Attach Conditions of Approval): -

Gen. Statement of Intent: update existing guest grill area per Brand Standards to include pergola, sitting area, and grill island

Project Details:

- Project Type:

<input type="checkbox"/> Individual Bldg.	<input type="checkbox"/> Master Plan	<input type="checkbox"/> Conditional Planning Area
<input type="checkbox"/> Sign		
- Building Type:

<input type="checkbox"/> Detached House	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Attached House (Tri- or Quadplex)
<input type="checkbox"/> Institutional	<input type="checkbox"/> Live/Work	<input type="checkbox"/> Multi-family (Apts., Condos, Flats)
<input type="checkbox"/> Workplace	<input type="checkbox"/> Storefront	<input checked="" type="checkbox"/> Accessory Structure
- Use(s): Guest grill area - 2 gas grills
- Height & Stories: Pergola - top of pergola 10'-8"
- Square Footage: Existing patio approximately 500SF
- Building Materials: Fiberglass pergola, stacked faux stone island with granite top.
- Architectural Features:** Pergola with LED String lights, built-in grills, granite bar top.
- Existing Site Conditions:** Existing patio, landscaped (private)

See 14.12.2.D

Homewood Suites, 125 Harbour Place Drive, Davidson, NC 28036
Proposed Finish Materials for Outdoor Grill Patio Area



Granite Countertop: Himalayan White

Pergola: Fiberglass StructureWorks in Color CS



 21622124 PATTERN: # 270		NOTE: ALL STONE SAMPLES ARE AFFECTED TO SOME DEGREE BY THE TYPE OF LIGHT IN WHICH THEY ARE VIEWED, AS WELL AS THE AGE OF THE SAMPLE ITSELF. THEREFORE, THERE MAY OCCASIONALLY BE A SLIGHT DIFFERENCE BETWEEN THE COLORS OF THE SAMPLE AND ACTUAL JOB SITE STONE. CENTURION RECOMMENDS LOOKING AT A COMPLETED JOB OR LAYING OUT A CURED BOX OF STONE TO VIEW THE COLOR RANGES, LAYING PATTERN AND MORTAR JOINTS, AND ACTUAL SIZES OF PIECES.
COLOR: # 185 Cutface Suede Thickness: 1 1/2" TO 3 1/2" Height: 1" TO 6" Width: 4" TO 20" Recommended Joint: Drystack		
APPROXIMATE PERCENTAGES OF EACH: BASE COLOR OVERLAY COLOR		
BUFF/YELLOW	DARK BROWN	50%
	BLACK	12.5%
	BURGUNDY/BLACK	12.5%
	GREEN SLATE/ BROWN	25%

Grill Island: Centurion Stone, Pattern: Cutface, Color: Suede



Topping Slab Products by Turning Point Solutions. Artist Color/Texture TBD

NAME OF PROJECT: PROPOSED GUEST PATIO FOR HOMEWOOD SUITES ZIP CODE: 28036
 ADDRESS: 125 HARBOUR PI DR, DAVIDSON, NC LICENSE # 12355 TELEPHONE # 910-444-0051 EMAIL: lswink@proximityarchitecture.com
 OWNER OR AUTHORIZED AGENT: TONYA WARD PHONE # 704-410-1260 EMAIL: tonya@proximityarchitecture.com
 OWNER BY: CITY/COUNTY PRIVATE STATE
 CODE ENFORCEMENT JURISDICTION: CITY COUNTY MECKLENBURG STATE

CONTACT: L DWAIN SWINK, AIA, CSI EMAIL: lswink@proximityarchitecture.com
 DESIGNER: FIRM NAME LICENSE # TELEPHONE # EMAIL
 ARCHITECTURAL: PROXIMITY ARCHITECTURE, PC L DWAIN SWINK, AIA 12355 910-444-0051 lswink@proximityarchitecture.com
 CIVIL: _____
 ELECTRICAL: C2 ENGINEERING SOLUTIONS RYAN E. CAYA, PE 20270 704-266-0942 rcaya@cesolutions.com
 FIRE ALARM: _____
 PLUMBING: C2 ENGINEERING SOLUTIONS JEFFREY B. CHRISTIAN, PE 20261 704-266-0942 jchristian@cesolutions.com
 MECHANICAL: _____
 SPRINKLER/STANDPIPE: _____
 STRUCTURAL: _____
 RETAINING WALLS 1'5" HIGH: _____
 OTHER: _____

2018 NC BUILDING CODE: NEW BUILDING ADDITION RENOVATION
 10% THE INTERIOR COMPLETION
 SHELL/GORE - CONTACT THE LOCAL INSPECTION JURISDICTION FOR POSSIBLE ADDITIONAL PROCEDURES AND REQUIREMENTS
 PHASED CONSTRUCTION - SHELL/GORE - CONTACT THE LOCAL INSPECTION JURISDICTION FOR POSSIBLE ADDITIONAL PROCEDURES AND REQUIREMENTS

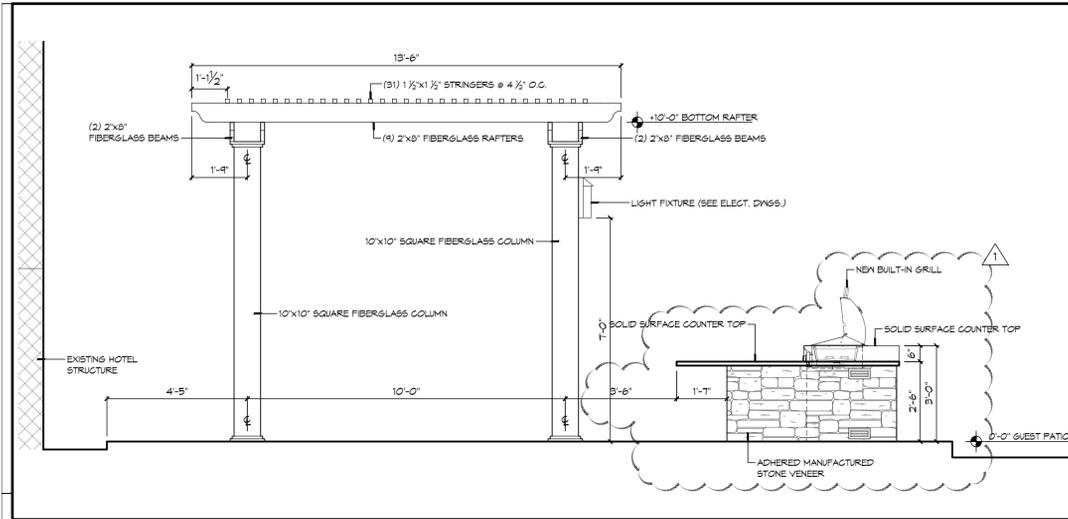
2018 NC EXISTING BUILDING CODE: EXISTING: PRESERVATIVE REPAIR CHAPTER 14
 ALTERATION: LEVEL I LEVEL II LEVEL III
 HISTORIC PRESERVATION
 CONSTRUCTED: (DATE) _____ CURRENT OCCUPANCY (S) (CH. 5): _____
 RENOVATED: (DATE) _____ PROPOSED OCCUPANCY (S) (CH. 5): _____

RISK CATEGORY (TABLE 1604.5): CURRENT: I II III IV
 PROPOSED OUTDOOR GUEST PATIO: I II III IV

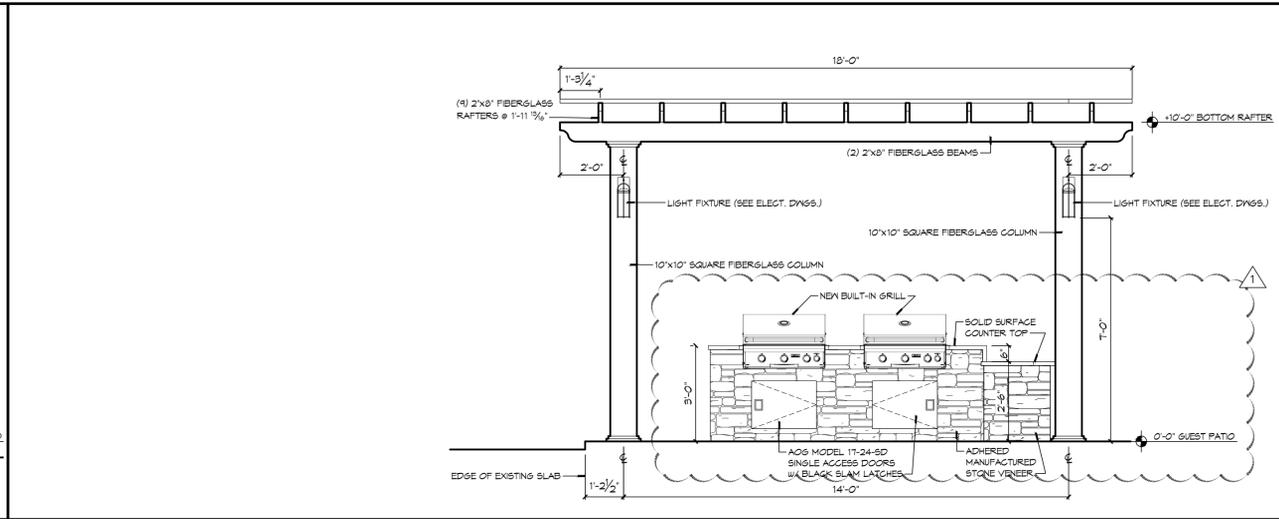
BASIC BUILDING DATA AS IT APPLIES TO NEW OUTDOOR GUEST PATIO

CONSTRUCTION TYPE:	<input type="checkbox"/> I-A	<input type="checkbox"/> I-B	<input type="checkbox"/> I-C	<input type="checkbox"/> I-D	<input type="checkbox"/> I-E	<input type="checkbox"/> I-F	<input type="checkbox"/> I-G	<input type="checkbox"/> I-H	<input type="checkbox"/> I-I	<input type="checkbox"/> I-J	<input type="checkbox"/> I-K	<input type="checkbox"/> I-L	<input type="checkbox"/> I-M	<input type="checkbox"/> I-N	<input type="checkbox"/> I-O	<input type="checkbox"/> I-P	<input type="checkbox"/> I-Q	<input type="checkbox"/> I-R	<input type="checkbox"/> I-S	<input type="checkbox"/> I-T	<input type="checkbox"/> I-U	<input type="checkbox"/> I-V	<input type="checkbox"/> I-W	<input type="checkbox"/> I-X	<input type="checkbox"/> I-Y	<input type="checkbox"/> I-Z
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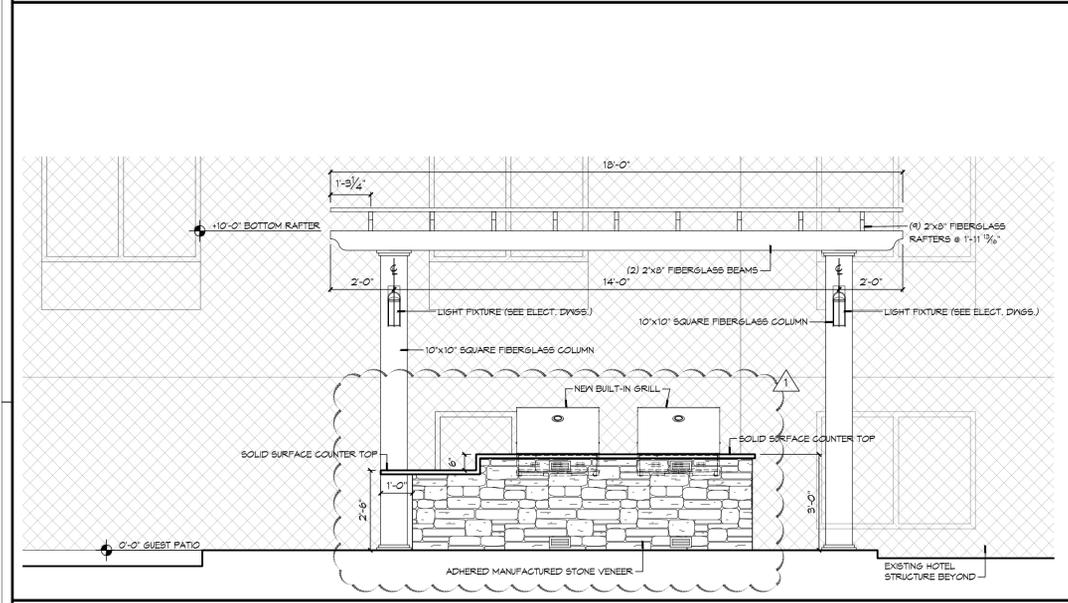
SPRINKLERS: MAJOR CONSTRUCTION: NO YES TYPE: NFPA 13 NFPA 13R NFPA 13B
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LXVI LXVII LXVIII LXIX LXX LXXI LXXII LXXIII LXXIV LXXV LXXVI LXXVII LXXVIII LXXIX LXXX LXXXI LXXXII LXXXIII LXXXIV LXXXV LXXXVI LXXXVII LXXXVIII LXXXIX XL XLI XLII XLIII XLIV XLV XLVI XLVII XLVIII XLIX L LI LII LIII LIV LV LVI LVII LVIII LIX LX LXI LXII LXIII LXIV LXV LXVI LXVII LXVIII LXIX LXX LXXI LXXII LXXIII LXXIV LXXV LXXVI LXXVII LXXVIII LXXIX LXXX LXXXI LXXXII LXXXIII LXXXIV LXXXV LXXXVI LXXXVII LXXXVIII LXXXIX XL XLI XLII XLIII XLIV XLV XLVI XLVII XLVIII XLIX L LI LII LIII LIV LV LVI LVII LVIII LIX LX LXI LXII LXIII LXIV LXV LXVI LXVII LXVIII LXIX LXX LXXI LXXII LXXIII LXXIV LXXV LXXVI LXXVII LXXVIII LXXIX LXXX LXXXI LXXXII LXXXIII LXXXIV LXXXV LXXXVI LXXXVII LXXXVIII LXXXIX XL XLI XLII XLIII XLIV XLV XLVI XLVII XLVIII XLIX L LI LII LIII LIV LV LVI LVII LVIII LIX LX LXI LXII LXIII LXIV LXV LXVI LXVII LXVIII LXIX LXX LXXI LXXII LXXIII LXXIV LXXV LXXVI LXXVII LXXVIII LXXIX LXXX LXXXI LXXXII LXXXIII LXXXIV LXXXV LXXXVI LXXXVII LXXXVIII LXXXIX XL XLI XLII XLIII XLIV XLV XLVI XLVII 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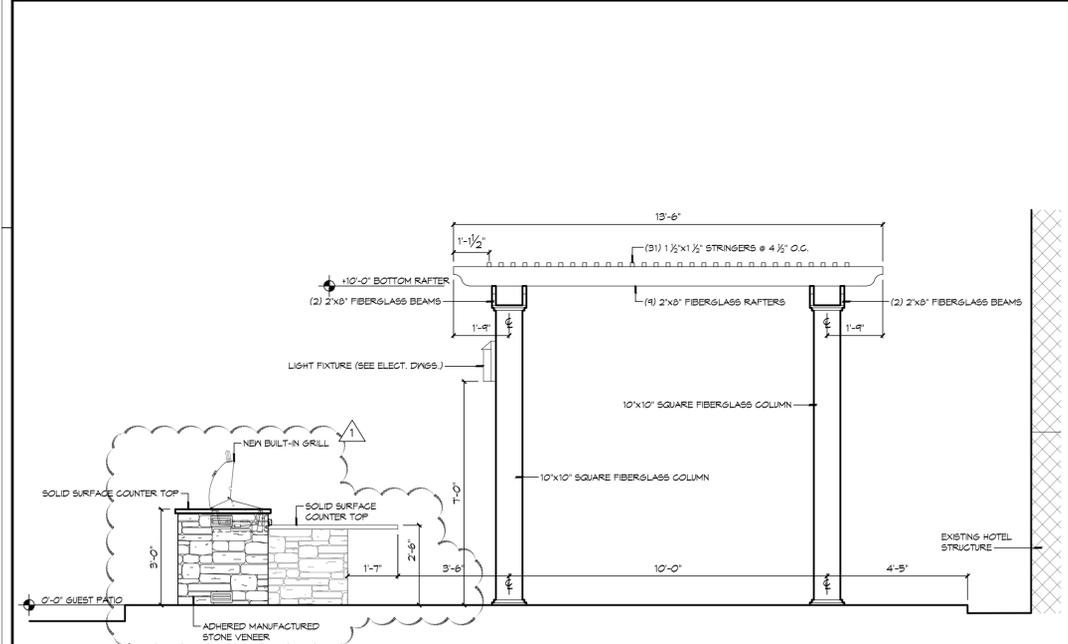
4 GUEST PATIO-SOUTH ELEVATION
A-1 3/8" = 1'-0"



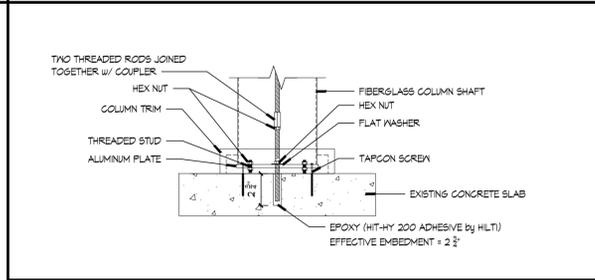
5 GUEST PATIO-WEST ELEVATION
A-1 3/8" = 1'-0"



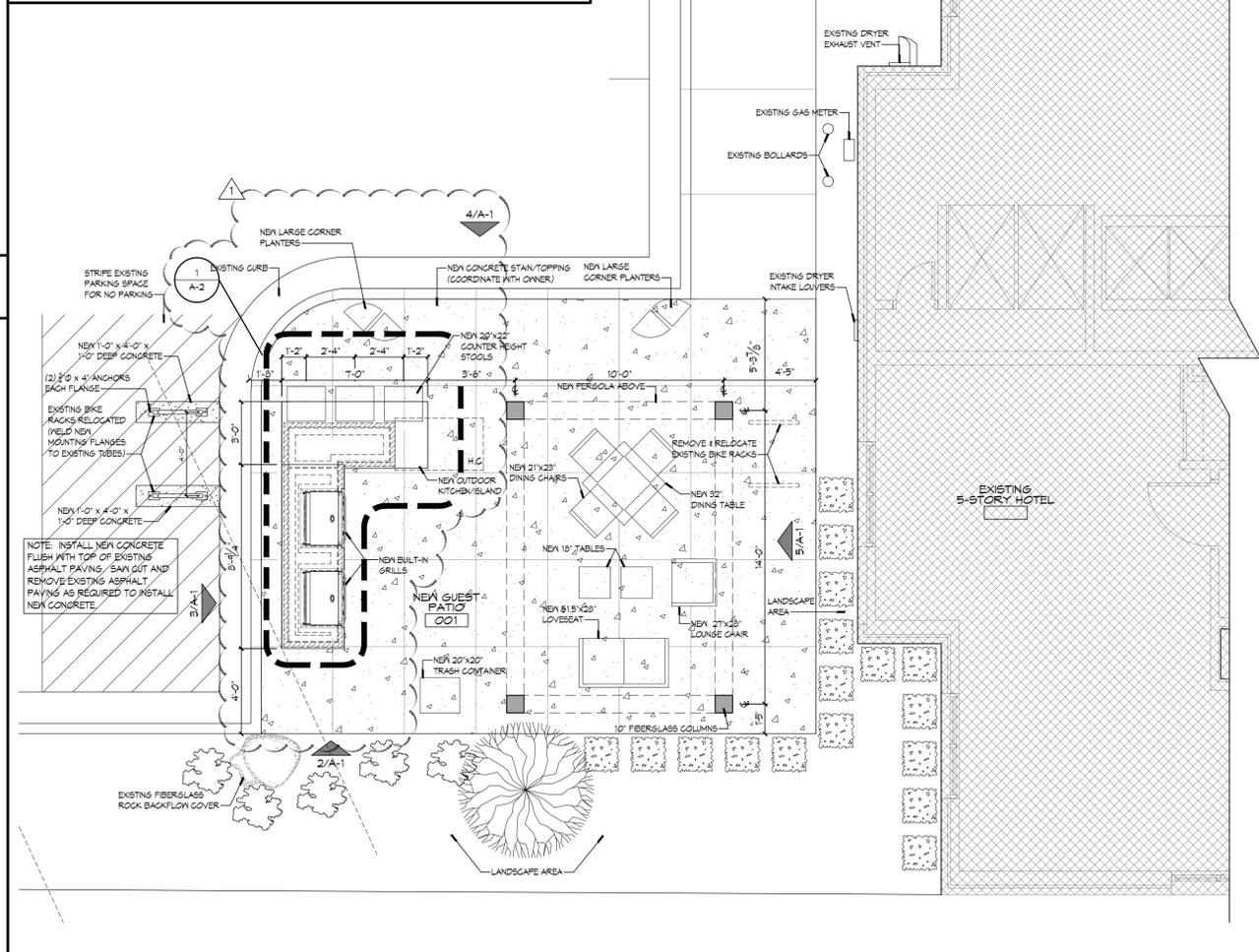
3 GUEST PATIO-WEST ELEVATION
A-1 3/8" = 1'-0"



2 GUEST PATIO-NORTH ELEVATION
A-1 3/8" = 1'-0"



6 COL. ATTACHMENT DET.
A-1 1 1/2" = 1'-0"



1 GUEST PATIO FLOOR PLAN
A-1 1/4" = 1'-0"

GENERAL NOTES

- WHERE ACRONYMS OR ABBREVIATIONS ARE USED ON THE DRAWINGS THEY ARE DEFINED TO MEAN THE RECOGNIZED NAME OF THE PERSON, OBJECT, MATERIAL, TYPICALLY USED IN THE CONSTRUCTION INDUSTRY.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE SITE AND VERIFYING ALL EXISTING CONDITIONS. NO CLAIM FOR EXTRA OR ADDITIONAL WORK OR MATERIAL ARISING FROM LACK OF KNOWLEDGE OF SUCH CONDITIONS WILL BE ALLOWED.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL GRADES, LEVELS, CONDITIONS AND DIMENSIONS AND SHALL MAKE ALL NECESSARY MEASUREMENTS AT THE SITE. NO EXTRA CHARGE OR CHANGE ORDER SHALL BE ALLOWED BECAUSE OF DIFFERENCES BETWEEN ACTUAL MEASUREMENTS AND THE DIMENSIONS INDICATED ON THE DRAWINGS. ANY DISCREPANCIES OR DIFFERENCES SHALL BE PROMPTLY REPORTED TO THE DESIGNER OF RECORD IN WRITING PRIOR TO COMPLETING THE AFFECTED WORK.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK AS PRUDENT OR REQUIRED BY LAW.
- GENERAL CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION, INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, FROM VIOLATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES.
- GENERAL CONTRACTOR SHALL COORDINATE LOCATION OF DUMPSTER FOR COLLECTION OF CONSTRUCTION DEBRIS WITH OWNER.
- GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL TAKE ALL NECESSARY STEPS TO INSURE AREAS NOT INCLUDED IN WORK ARE PROTECTED AND NOT DISTURBED DURING CONSTRUCTION.
- A LAY DOWN AREA SHALL BE CONSTRUCTED AND ITS LOCATION COORDINATED WITH OWNER. THIS AREA SHALL BE PROVIDED WITH SAFEGUARDS FOR SAFETY AND PROTECTION OF PUBLIC.
- GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL HAVE LIMITED USE OF PROJECT SITE FOR CONSTRUCTION OPERATIONS AS INDICATED BY THE CONTRACT LIMITS.
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- SMOKING IS NOT PERMITTED WITHIN THE BUILDING OR WITHIN 50 FEET OF ENTRANCES, OPERABLE WINDOWS, OR OUTDOOR-AIR INTAKES.
- GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL PERFORM CLEAN UP ACTIVITIES AT THE END OF EACH DAY.

BASIS OF DESIGN ITEMS

- PERGOLA: 14' X 11'-6" P FREESTANDING CUSTOM FIBERGLASS PERGOLA AS MANUFACTURED BY STRUCTUREWORKSFAB. 811.484.8064, WWW.STRUCTUREWORKSFAB.
- BUILT-IN GRILLS: 30" W x 18" D x 8.5" H 30 NBT T-SERIES 30" BUILT-IN NATURAL GAS GRILL w/ ROTISSERIE KIT AS MANUFACTURED BY AMERICAN OUTDOOR GRILL. 800.332.3413; WWW.AMERICANOUTDOORGRILL.COM
- GRILL ACCESS DOORS: 18" x 24.5" MODEL 11-24-86DR SINGLE ACCESS DOOR AS MANUFACTURED BY AMERICAN OUTDOOR GRILL. 800.332.3413; WWW.AMERICANOUTDOORGRILL.COM
- CONCRETE STAIN/TOPPING: SINGLE-COMPONENT, POLYMER-MODIFIED, CEMENTITIOUS, STAMPABLE OVERLAY. COORDINATE COLOR OF STAMP PATTERN w/ OWNER. EUCRID THIN-CRETE GROUT AS MANUFACTURED BY OLDCASTLE ADAMS PRODUCTS. 104.591.8255; WWW.ADAMSPRODUCTS.COM
- ADHERED MANUFACTURED STONE VENEER. COORDINATE STYLE & COLOR w/ OWNER. DRYSTACK LEDGESTONE AS MANUFACTURED BY CULTURED STONE. 800.225.1721; WWW.CULTUREDSTONE.COM
- GRANITE COUNTER TOPS: 1 1/2" THICK GRANITE w/ LEATHERED FINISH. COORDINATE COLOR w/ OWNER.
- COUNTER TOP BRACKETS: 2" W x 20" x 20" STEEL BRACKETS AS MANUFACTURED BY FEDERAL BRACE. 811.353.8899; WWW.FEDERALBRACE.COM



DATE	REVISIONS
2/13/19	REVISION #1

PROPOSED GUEST PATIO FOR
HOMewood SUITES
125 HARBOUR PL. D.
DAVIDSON, NC, 28036

OWNER
TONYA WARD
125 HARBOUR PL. D.
DAVIDSON, NC, 28036

ISSUE DATES:
01.28.2019 FOR CONSTRUCTION

PROJECT NO.: 2018-0039
DRAWN BY: PA
CHECKED BY: LDS

FLOOR PLAN & GUEST PATIO ELEVATIONS

A-1
SHEET 2 OF 6

NOT RELEASSED FOR CONSTRUCTION

GENERAL NOTES

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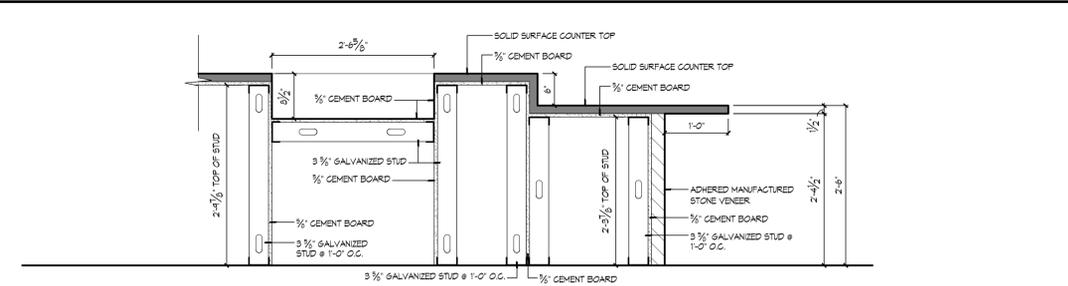
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14' X 11'-6" P FREESTANDING CUSTOM FIBERGLASS PERGOLA AS MANUFACTURED BY STRUCTUREWORKS FABRICATIONS.
877.484.8064; WWW.STRUCTUREWORKSFAB.COM
- BUILT-IN GRILLS:
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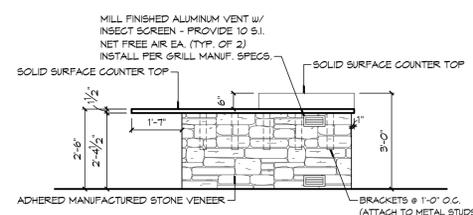
REVISIONS

MARK	DATE	DESCRIPTION
Δ	2/13/19	REVISION #1

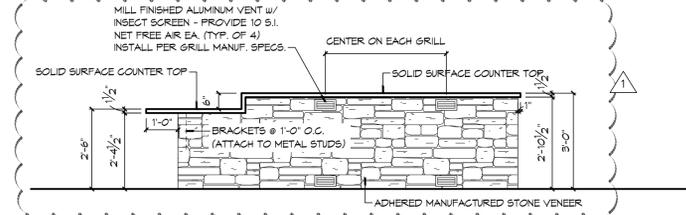
○ PRE-BID ISSUE Δ POST-BID ISSUE



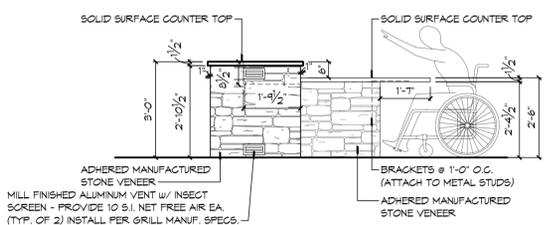
7 OUTDOOR KITCHEN/ISLAND DETAIL
3/4" = 1'-0"



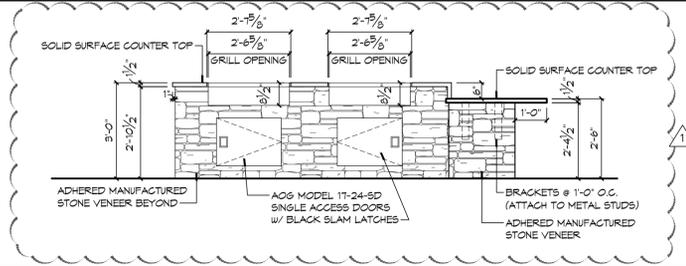
6 OUTDOOR KITCHEN/ISLAND RIGHT ELEV.
3/8" = 1'-0"



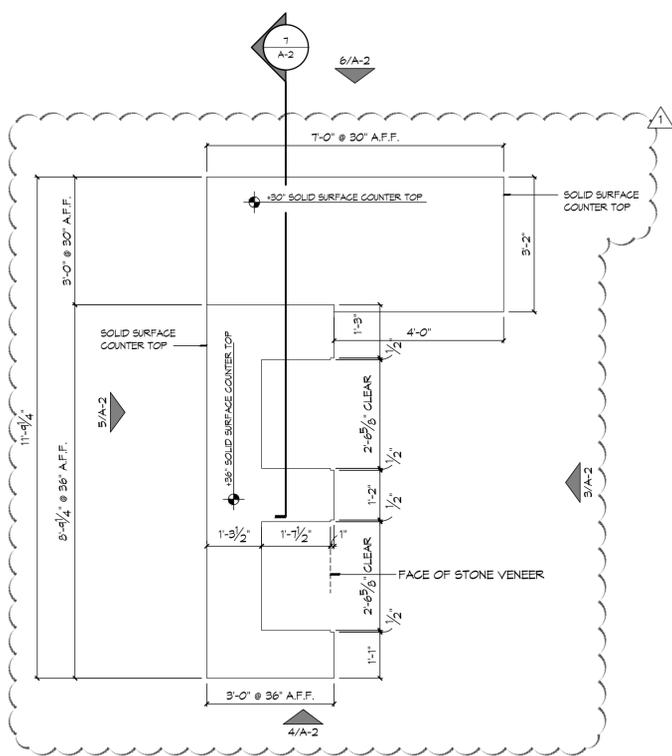
5 OUTDOOR KITCHEN/ISLAND REAR ELEV.
3/8" = 1'-0"



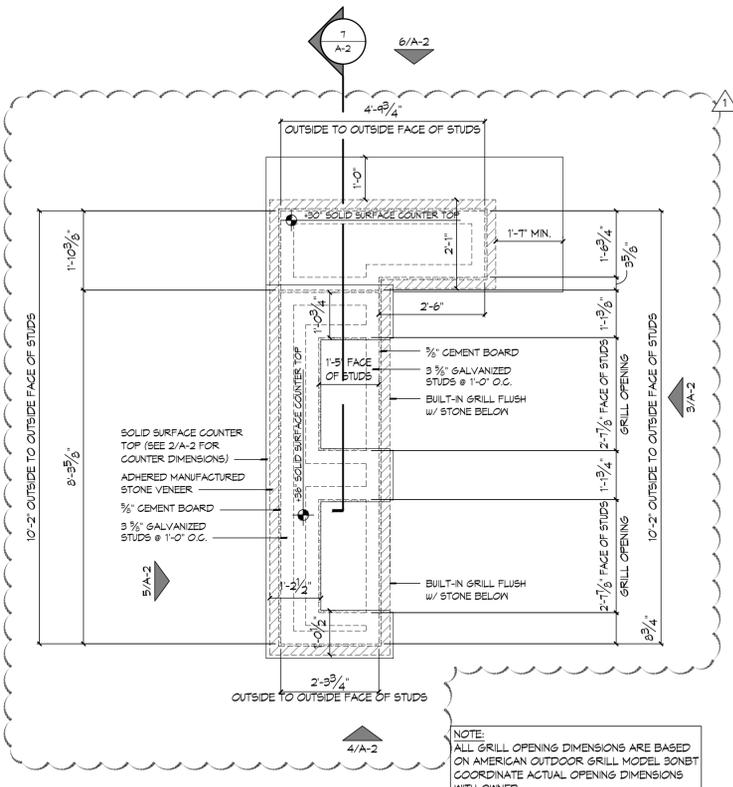
4 OUTDOOR KITCHEN/ISLAND LEFT ELEV.
3/8" = 1'-0"



3 OUTDOOR KITCHEN/ISLAND FRONT ELEV.
3/8" = 1'-0"



2 OUTDOOR KITCHEN/ISLAND COUNTER PLAN
1/2" = 1'-0"



1 OUTDOOR KITCHEN/ISLAND PLAN
1/2" = 1'-0"

PROPOSED GUEST PATIO FOR
HOMWOOD SUITES
125 HARBOUR PI DR.
DAVIDSON, NC 28036

OWNER
TONYA WARD
125 HARBOUR PI DR.
DAVIDSON, NC 28036

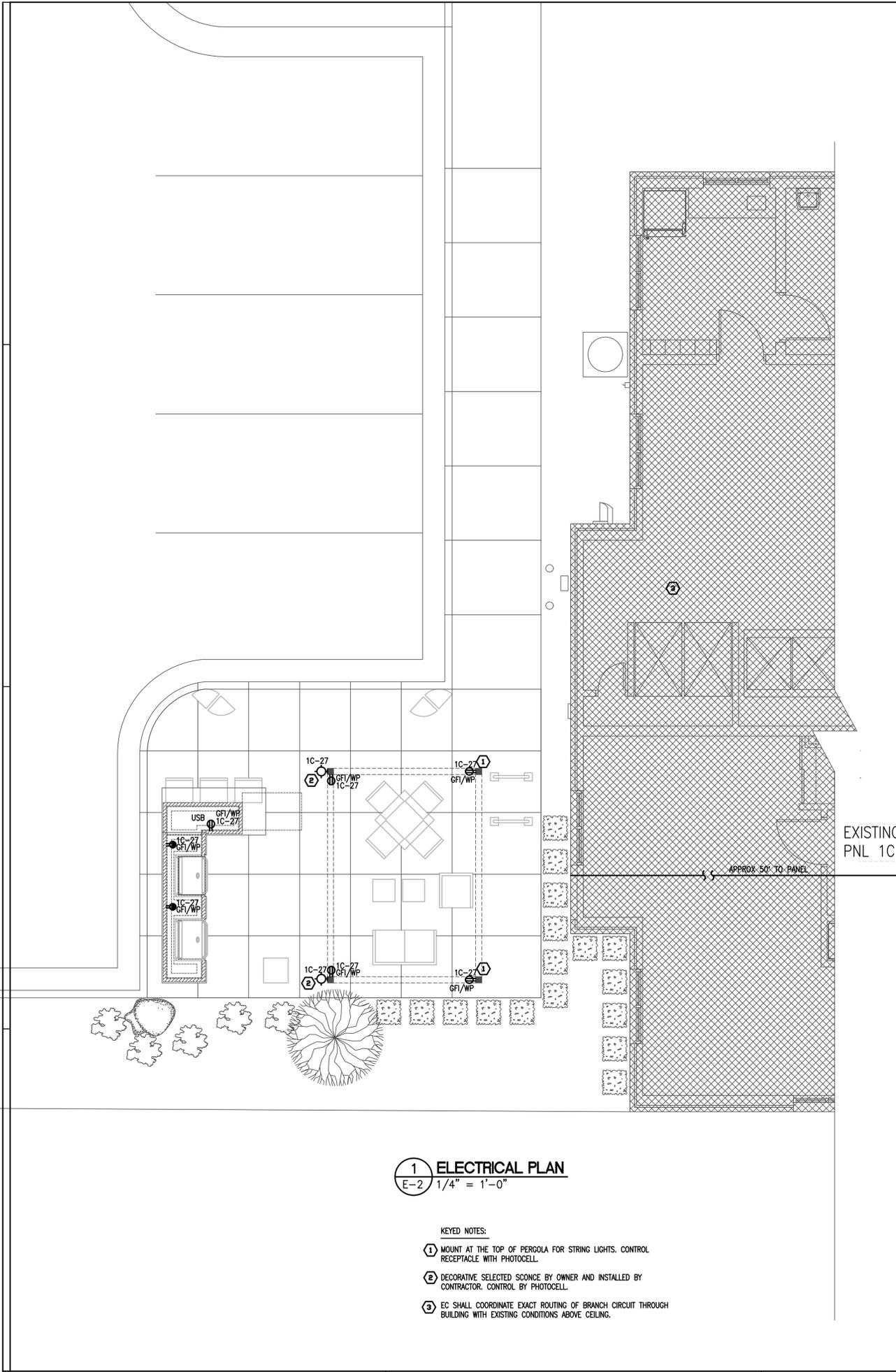
ISSUE DATES:
01.28.2019 FOR CONSTRUCTION

PROJECT NO.: 2018-0039
DRAWN BY: PA
CHECKED BY: LDS

KITCHEN/ISLAND PLAN, ELEVATIONS & DETAILS

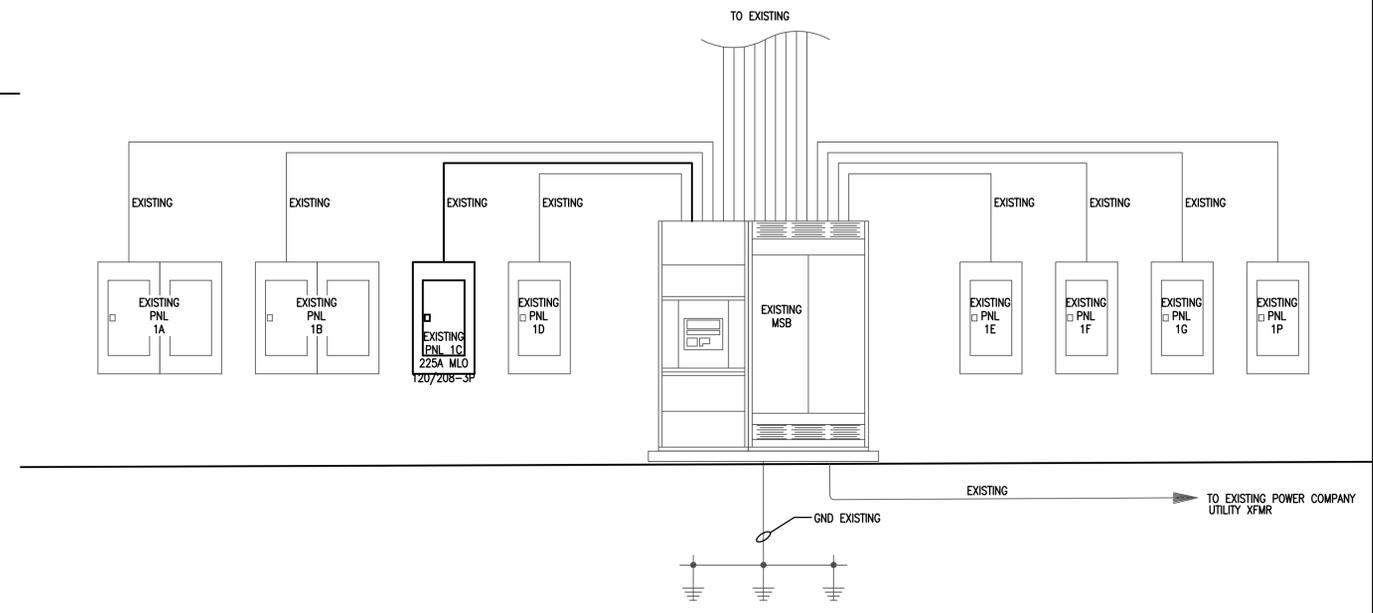
A-2
SHEET 3 OF 6

NOT RELEASSED FOR CONSTRUCTION



1 ELECTRICAL PLAN
E-2 1/4" = 1'-0"

- KEYED NOTES:
- ① MOUNT AT THE TOP OF PERGOLA FOR STRING LIGHTS. CONTROL RECEPTACLE WITH PHOTOCELL.
 - ② DECORATIVE SELECTED SCENCE BY OWNER AND INSTALLED BY CONTRACTOR. CONTROL BY PHOTOCELL.
 - ③ EC SHALL COORDINATE EXACT ROUTING OF BRANCH CIRCUIT THROUGH BUILDING WITH EXISTING CONDITIONS ABOVE CEILING.



1 ELECTRICAL RISER
E-3 NO SCALE
*EC SHALL COORDINATE NEW SERVICE WITH UTILITY.

EXISTING PANELBOARD SCHEDULE												1C					
VOLTAGE	PHASE	WIRE	MCB (A)	MLO (A)	AIC	MOUNTING	MANUFAC	MDL #	DWG REF								
120 / 208	3	4	0	225	-	-	-	-	-								
TYPE LEGEND						REMARKS											
L	LIGHTING		K	KITCHEN EQ		PROVIDE EQUIPMENT GROUND BUS											
R	RECEPTACLES		E	EXISTING		PROVIDE FEED THRU AND/OR SUB FEED LUGS FOR MULTI-SECTION PANEL											
M	MECH EQUIP		O	OTHER													
#	CKT.	ITEM SERVED	TYPE	WIRE	CONDUIT	CKT. BRK TRIP	LOAD (VA)	W P/MS	LOAD (VA)	CKT. BRK TRIP	CONDUIT	WIRE	TYPE	ITEM SERVED	#		
1		Existing	E	#12	3/4"	20A	3	1500	A	1600	3	15A	1/2"	#14	E	Existing	2
3		-	-	-	-	-	1500	B	1600	-	-	-	-	-	-	-	4
5		-	-	-	-	-	1500	C	1600	-	-	-	-	-	-	-	6
7		Existing	E	#12	3/4"	20A	1	1500	A	1600	1	15A	1/2"	#14	E	Existing	8
9		-	-	-	-	-	1500	B	1600	1	-	-	-	-	-	-	10
11		-	-	-	-	-	1500	C	1600	1	-	-	-	-	-	-	12
13		Existing	E	#12	3/4"	20A	1	900	A	1100	2	20A	3/4"	#12	E	Existing	14
15		Existing	E	#12	3/4"	20A	1	1200	B	1100	1	-	-	-	-	-	16
17		-	-	#12	3/4"	20A	1	1200	C	800	1	20A	3/4"	#12	E	Existing	18
19		Existing	E	#12	3/4"	20A	1	800	A	800	1	20A	3/4"	#12	E	Existing	20
21		Existing	E	#12	3/4"	20A	1	700	B	0	1	20A	3/4"	#12	-	Spare	22
23		Existing	E	#12	3/4"	20A	1	500	C	0	1	20A	3/4"	#12	-	Spare	24
25		Existing	E	#12	3/4"	20A	1	800	A	0	1	20A	3/4"	#12	-	Spare	26
27		Patio LTS/REC	R	#12	3/4"	20A	1	1200	B	1000	1	20A	3/4"	#12	E	Existing	28
29		Spare	-	#12	3/4"	20A	1	0	C	1000	1	20A	3/4"	#12	E	Existing	30
31		Spare	-	#12	3/4"	20A	1	0	A	1000	1	20A	3/4"	#12	E	Existing	32
33		Spare	-	#12	3/4"	20A	1	0	B	1000	1	20A	3/4"	#12	E	Existing	34
35		Spare	-	#12	1/2"	20A	1	0	C	1000	1	20A	3/4"	#12	E	Existing	36
37		Existing	E	#10	3/4"	30A	1	1000	A	1000	1	20A	3/4"	#12	E	Existing	38
39		-	-	-	-	-	1000	B	1000	1	20A	3/4"	#12	E	Existing	40	
41		Existing	E	#12	3/4"	20A	1	900	C	1000	1	20A	3/4"	#12	E	Existing	42
						A			B			C			TOTAL		
CONNECTED LOAD (VA)						13600			14400			12600			40600		
TYPE		LOAD (VA)	SUBLOADS (VA)		CONN LD(VA)	SIZING FACTOR		SIZING LOAD (VA)		NOTES							
LIGHTING		0	-		-	125%		0		* 1ST 10KVA @ 100% REMAINING @ 50%							
RECEPTACLES		1200	-		1200	*		1200		** SIZE FAC. IN ACCORDANCE WITH NEC 220.56							
MECH EQUIP		0	-		-	100%		0									
KITCHEN EQ		0	-		0	100%		0									
# OF KITCH EQ		0	-		0												
EXISTING		31000	-		31000	125%		38750									
OTHER		0	-		0	100%		0									
CONNECTED TOTAL (VA)			32200			39950			SIZING TOTAL (VA)								
CONNECTED AMPACITY (A)			89.38			110.89			SIZING AMPACITY (A)								
DEMAND TOTAL (VA)			39950														
DEMAND AMPACITY (A)			110.89														

REVISIONS

MARK	DATE	DESCRIPTION

PRE-BID ISSUE POST-BID ISSUE

NEW PATIO ADDITION FOR:
HOMWOOD SUITES
GREENHILL ST
DAVIDSON, NC

OWNER:
HOMWOOD SUITES
GRIFFITH ST
DAVIDSON, NC

ISSUE DATES:

PROJECT NO.: 2018_0026
DRAWN BY: AS
CHECKED BY:

MISCELLANEOUS NOTES

- MN1 All field measurements matched recorded dimensions within the precision requirements of ALTA/ACSM specifications unless otherwise shown.
- MN2 All underground utilities shown, were plotted from maps provided and actual above ground location. No underground investigation has been performed.
- MN3 No evidence of any recent earth moving work, building construction or building additions within the recent months.
- MN4 No apparent changes in the street right-of-way/lines, either completed or proposed.
- MN5 No evidence that the site is being used as a solid waste dump, sump or sanitary landfill.
- MN6 No evidence that any portion of the property is being used as a cemetery.
- MN7 From above ground appearances only, as shown hereon, electric, gas, sanitary sewer and water lines and/or service is available to the subject property within a dedicated street or easement.
- MN8 Property has direct access to Harbour Place Drive, a dedicated public right-of-way.
- MN9 All calls are measured distances, unless otherwise noted (R)

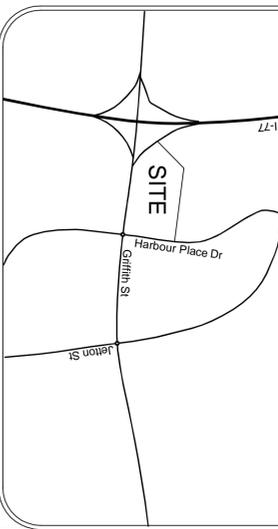
LEGEND

- Drop Inlet
- ⊕ Security Light
- ⊖ Telephone Box
- ⊖ Water Meter
- Fire Hydrant
- Manhole

AREA

104,511.679 SqFt
2,389.2 Acres

VICINITY MAP - NOT TO SCALE



SIGNIFICANT OBSERVATIONS

PARKING
Non-apparent
141 Standard Spaces
05 Handicap

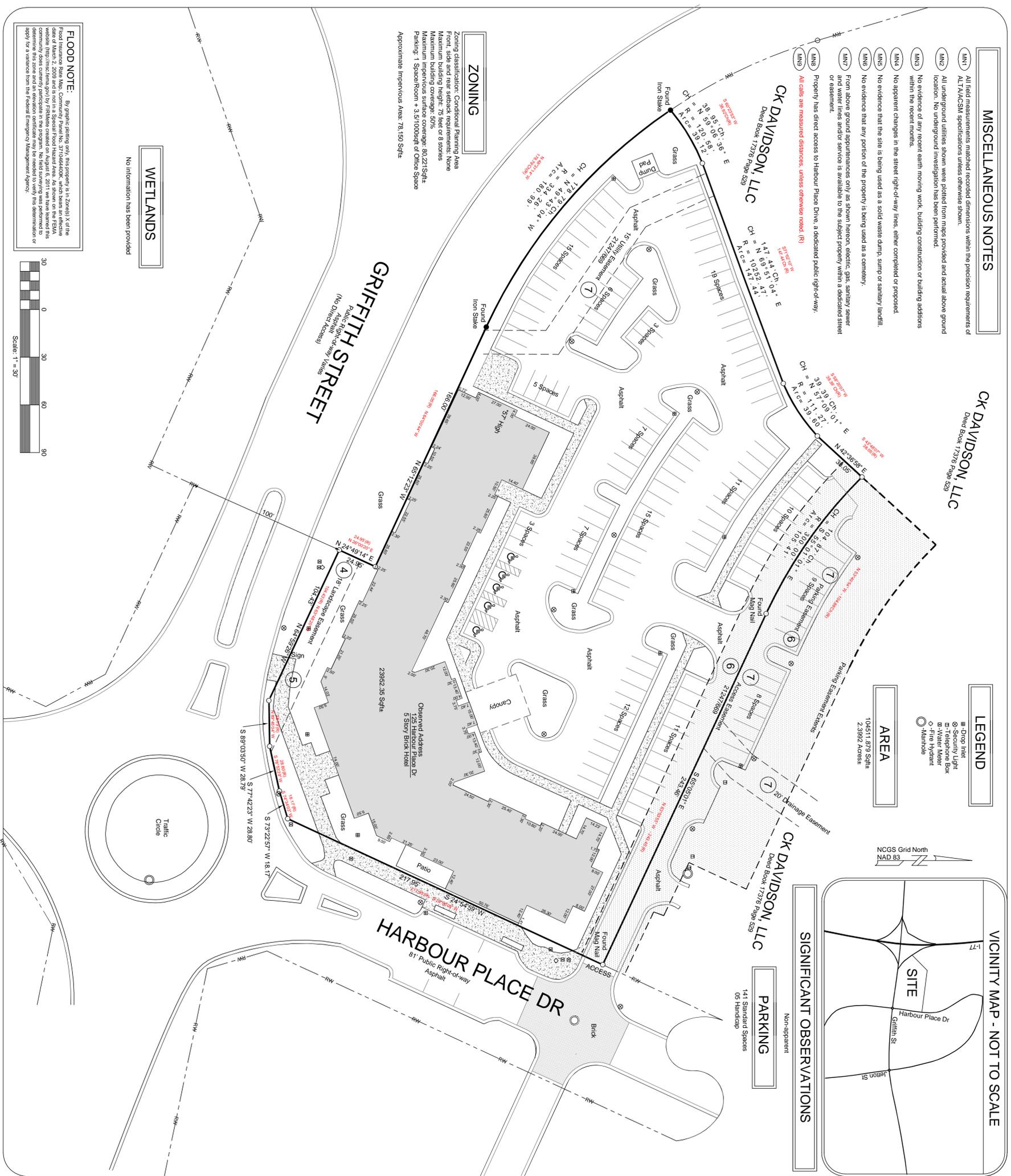
ZONING

Zoning classification: Conditional Planning Area
Front, side and rear setback requirements: None
Maximum building height: 75 feet or 8 stories
Maximum building coverage: 50%
Maximum lot coverage: 50%
Maximum parking: 1 Space/Room + 3.5/1000sqft of Office Space
Approximate Impervious Area: 78,150 Sqft.

WETLANDS

No information has been provided

FLOOD NOTE: By graphics showing only, the property is in Zone X1 of the Flood Insurance Rate Map, Community Flood Hazard Zone, effective date of March 2, 2009 and is not in Special Flood Hazard Area. As shown on the FEMA website (http://mca.fema.gov) by Floods created on August 6, 2011 we have learned the determination of flood zone and an elevation certificate may be needed to verify the determination or apply for a variance from the Federal Emergency Management Agency.



RECORD DESCRIPTION

LYING AND BEING in the Town of Davidson, Mecklenburg County, North Carolina, and more particularly described as follows:
BEING all of Lot #1 containing 104,516 square feet or 2.4005 acres, more or less, as shown on plat entitled "REVISED PLAT OF HARBOUR PLACE, MAP F" recorded in Map Book 46, Page 913, Mecklenburg County Public Registry.
TOGETHER WITH all easements and appurtenances contained in: (i) Declaration of Protective Covenants for Harbour Place recorded in Book 21247, Page 465, Mecklenburg County Public Registry; and (ii) Reciprocal Easement Agreement recorded in Book 21247, Page 669, Mecklenburg County Public Registry.
Currently designated as Mecklenburg County Tax Parcel Number: 003232147
Book deed reference: Book 21247, Page 665, Mecklenburg County Registry Office.

Being the same property as shown on Title Commitment #12CU171117 of Old Republic National Title Insurance Company bearing an effective date of 12/4/12

ITEMS CORRESPONDING TO SCHEDULE B

- 3 Easement (6) to Duke Power Company recorded in Book 2243, Page 617; Book 2275, Page 30; Book 2275, Page 31; Book 2275, Page 32; Book 6054, Page 409; and Book 6287, Page 980, Mecklenburg County Registry; Applies and affects: blank in nature and date plat.
- 4 Easement for landscape easement, recorded in Book 6193, Page 617, Mecklenburg County Registry, as shown on survey; Applies and affects as shown.
- 5 State's easement, governmental regulation or other matter shown on or disclosed by plat recorded in Map Book 463, Mecklenburg County Registry; Applies as shown.
- 6 Restrictions, reservations of easements and conditions contained in instrument recorded in Book 21237, Page 463, Mecklenburg County Registry; Applies as shown.
- 7 Reciprocal Easement Agreement by and between CK Davidson, LLC, and Riverside Hotel, LLC, recorded in Book 21247, Page 669, Mecklenburg County Registry; Applies and affects as shown.
- 8 Restriction and Covenant as set forth in Deed recorded in Book 21247, Page 665, Mecklenburg County Registry; No survey related items to plat.

ALTA/ACSM LAND TITLE SURVEY

Hotel Portfolio 2012
123 Harbour Place Drive, Davidson, NC
Based upon Title Commitment #12CU171117 of Old Republic National Title Insurance Company bearing an effective date of 12/04/12

Surveyor's Certification

To Goldman Sachs Mortgage Company and its successors and assigns:
Riverside Hotel, LLC, Old Republic National Title Insurance Company, Bank of North Carolina
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and the American Land Title Association. The field work was completed on 08/31/12.

Jimmy F. Cain, PLS
Jimmy F. Cain, PLS
Registration No. L-2388
in the State of North Carolina
Date of Exam: 11/21/12
12/26/12 Comments
12/04/12 Comments



J. F. Cain, PLS
Professional Land Surveyors
6333 NC 242 South
Bladenboro, NC 28520
Fax: (910) 648-4399
jfc@jfcinsurancetel.com



Agenda Title: Davidson College Richardson Hall Renovation

Summary:

ATTACHMENTS:

Description	Upload Date	Type
□ Davidson College Richardson Hall Renovation	3/19/2019	Exhibit

Town of Davidson, NC
Design Review Board: Staff Analysis
March 27, 2019

Project: Davidson College Richardson Hall Renovation
Location: 100 Nelson Lane (Parcel ID 00316201A)
Applicant: Joanne McKinney, Jenkins Peer Architects on behalf of Davidson College
Designer: Jenkins Peer Architects
Planning Area: College Campus

The applicant proposes renovations to an existing building at 100 Nelson Lane (Richardson Hall Dormitory). This is an existing four-story building with a basement. This project includes an elevator tower addition and interior renovation resulting in exterior changes to existing windows.

Elevator Tower Addition

The 1,260 square foot (252 square feet per floor; four stories with a basement) elevator tower addition will be located on the northeast side of the structure. The proposed addition will be constructed with materials to match existing brick and cast stone. New double hung windows will be located on the northeast elevation of the addition. A new steel and glass canopy will also be constructed at the entrance to the elevator lobby on the northeast elevation. The canopy will be painted to match cast stone bands. Lighting is not shown on elevator tower elevations.

Window Changes

Interior renovation of the existing building will also result in exterior changes to windows on the front and rear elevations of the existing building. New full height windows will replace two clerestory windows at the basement level on the rear elevation (southeast elevation). Additionally, the existing top sash and exhaust fan on nine windows located on front elevation (northwest elevation) will be removed and replaced with new glazing to match existing windows.

DAVIDSON PLANNING ORDINANCE:

Section 4.4.1 Standards

E. Materials

- 1. Materials shall be selected for suitability to the type of building and design for which they are used.*
- 3. All sides of the building should use materials consistent with those on the front if visible from public streets or neighboring properties, and should be carefully designed with similar detailing, comparable quality, and compatible materials.*
- 4. Building materials and colors shall be:*
 - a. Complementary to the materials already being used in the neighborhood, or*

- b. *If dissimilar materials are being proposed, other characteristics such as scale, proportion, form, architectural detailing, color, and texture shall be used to ensure that the building relates to the rest of the neighborhood.*

F. Architectural Details

1. *Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.*
4. *Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*
6. *The main entry to a building should be emphasized at the street level. Appropriate methods include, but are not limited to:*
 - a. *Recessing the door within a larger cased opening.*
 - b. *Flanking the door with columns, decorative fixtures or other details.*
 - c. *An awning or canopy, providing a sheltered transition to the interior.*

Section 4.5.1.A – Specific Building Type Requirements – Institutional Building

The scale and architectural sophistication of these buildings should support their civic importance and complement Davidson’s existing civic buildings.



Design Review

Richardson Hall- Interior Renovation and
Elevator Addition

(Name of Project)

Contact Information

Applicant's Information

Name: Joanne McKinney, Jenkins Peer Architects

E-Mail: jmckinney@jenkinspeer.com

Mailing Address: 112 S. Tryon Street, Suite 1300
Charlotte, NC 28284

Business Phone: 704-980-6924 Mobile Phone: 404-304-4693

Property Owner's Information

(If Different from Applicant)

Name: Ronnie Shirley, Davidson College

E-Mail: roshirley@davidson.edu

Mailing Address: Davidson College, PO Box 7166
Davidson, NC 28035-7166

Business Phone: 704-894-2015 Mobile Phone: 704-507-4835

Architect's Information

Name of Firm: Jenkins Peer Architects

Architect's Name: Victor Jones

E-Mail: vjones@jenkinspeer.com

Mailing Address: 112 S. Tryon Street, Suite 1300
Charlotte, NC 28284

Business Phone: 704-980-6918 Mobile Phone: 704-560-1418



Design Review

Richardson Hall- Interior Renovation and Elevator Addition

(Name of Project)

Project Description

Application Date: February 27, 2019

Project Location: 100 Nelson Lane, Davidson, NC 28036

Tax Parcel(s): 00316201A

Planning Area: College Campus (Section 2.2.14)

Overlay District: N/A

Master or Cond. Plan: N/A

(Attach Conditions of Approval)

Gen. Statement of Intent:

Elevator additions- Add an elevator tower to the existing Richardson Hall Dormitory.
Interior Renovation- Replace existing window fans with new glazing to match the existing window. Remove smaller windows on back of building and replace with new full size window to match existing.

Project Details:

- Project Type:

<input checked="" type="checkbox"/> Individual Bldg.	<input type="checkbox"/> Master Plan	<input type="checkbox"/> Conditional Planning Area
<input type="checkbox"/> Sign		
- Building Type:

<input type="checkbox"/> Detached House	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Attached House (Tri- or Quadplex)
<input checked="" type="checkbox"/> Institutional	<input type="checkbox"/> Live/Work	<input type="checkbox"/> Multi-family (Apts., Condos, Flats)
<input type="checkbox"/> Workplace	<input type="checkbox"/> Storefront	<input type="checkbox"/> Accessory Structure
- Use(s): Dormitory
- Height & Stories: 48' , Four stories with a basement
- Square Footage: 28,680 SF existing, 1,260 SF Elevator Addition (252 SF/FLOOR)
- Building Materials: Brick, Cast Stone, Double hung windows- match existing

Architectural Features:

Elevator Addition to match existing brick and cast stone construction. New glass entrance canopy.

Existing Site Conditions:

Site to be regraded at north end of building to allow for installation of new elevator tower. See schematic site plan.

See 14.12.2.D



Design Review

Richardson Hall- Interior Renovation and Elevator Addition

(Name of Project)

Statement of Compliance

For each category below that is applicable to the project submit a detailed analysis describing how the project does or does not comply with the Davidson Planning Ordinance and the specific regulations of each applicable section.

2.2.14

2.2.14 B

2.2.14 C

2.2.14 D

N/A

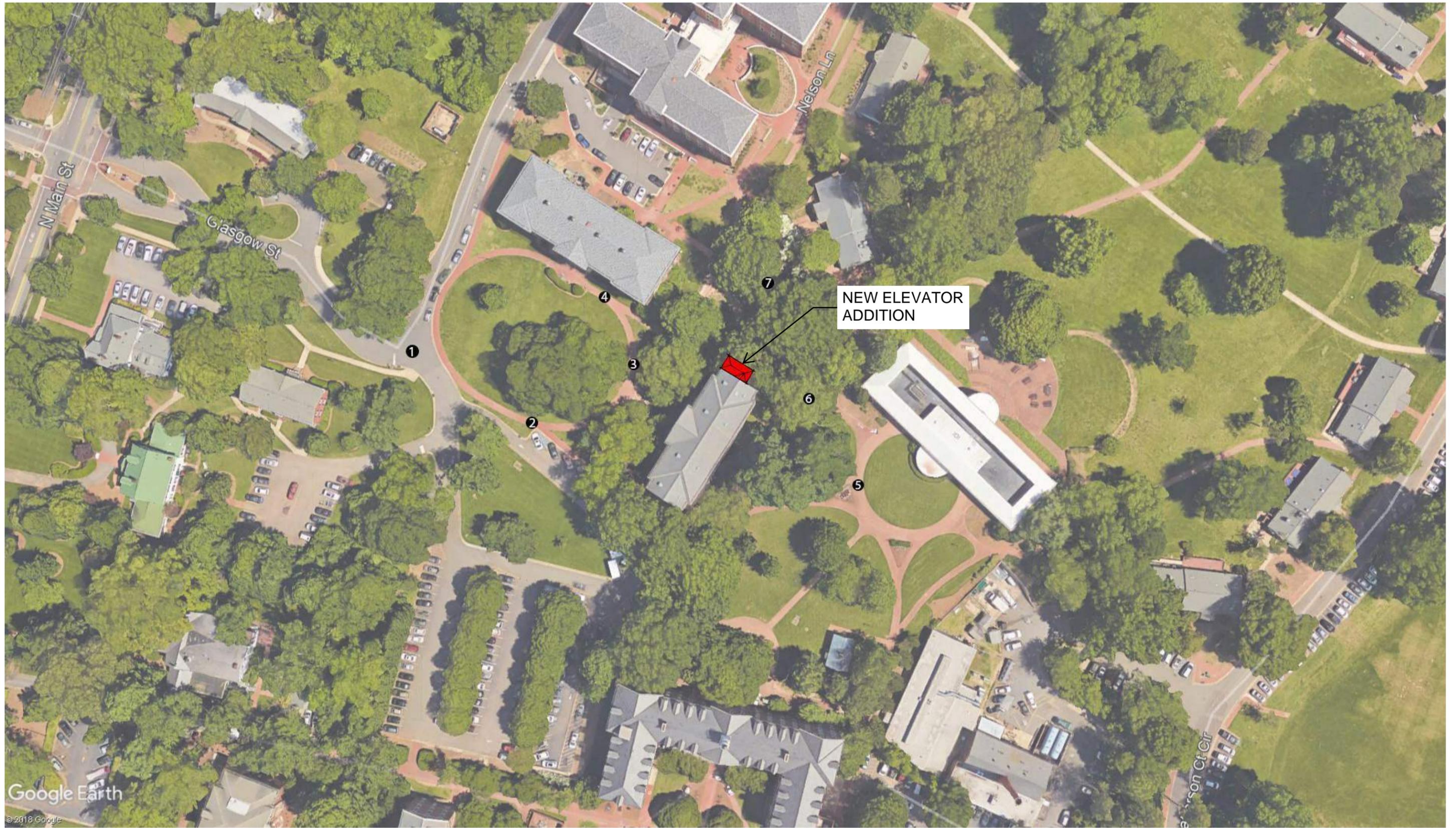
N/A

N/A

N/A

- Planning Ordinance**
<http://www.townofdavidson.org/1006/Planning-Ordinance>
 (Includes all relevant criteria such as Planning Area, Permitted Uses & Building Types)
- Section 2 Planning Areas**
 - Permitted Use/Add'l Req. Not Permitted
 - Permitted Building Type Not Permitted
 - Meets Setback Criteria Does Not Meet
 - Meets Open Space Criteria Does Not Meet
 - Meets Density Criteria Does Not Meet
- Section 4 Design Standards**
 - General Site Design Criteria (4.3)
 - General Building Design Criteria (4.4)
 - Specific Building Type Criteria (4.5)
 - Existing Industrial Campuses Criteria (4.6)
 - Renovation of Existing Structures Criteria (4.7)
- Section 8 Parking & Driveways**
- Section 9 Tree Preservation, Landscaping & Screening**
- Section 10 Lighting**
- Section 22 Local Historic District Guidelines**

RICHARDSON HALL ELEVATOR ADDITION



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(f) 704/372-0102



RICHARDSON HALL ELEVATOR ADDITION

SITE PLAN

02.26.2018



IMAGE 1



IMAGE 2



IMAGE 3



IMAGE 4

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RICHARDSON HALL ELEVATOR ADDITION

SITE IMAGES

02.26.2018



IMAGE 5



IMAGE 6



IMAGE 7

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RICHARDSON HALL ELEVATOR ADDITION

SITE IMAGES

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RICHARDSON HALL ELEVATOR ADDITION

BUILDING IMAGES

02.26.2018



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RICHARDSON HALL ELEVATOR ADDITION

PERSPECTIVE VIEW

02.26.2018



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RICHARDSON HALL ELEVATOR ADDITION

PERSPECTIVE VIEW

02.26.2018

GENERAL NOTES

- THE INFORMATION AND DATA SHOWN OR INDICATED WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS BASED ON INFORMATION AND DATA FURNISHED TO THE ENGINEER BY THE OWNER. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES SHOWN OR INDICATED PRIOR TO CONSTRUCTION. FOR COORDINATION OF THE WORK WITH THE OWNER OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF RESULTING FROM THE WORK, ALL OF WHICH WILL BE AT NO ADDITIONAL COST TO THE OWNER.
- WHEN WORKING ADJACENT TO EXISTING STRUCTURES, POLES, ETC., CONTRACTOR SHALL USE WHATEVER METHODS THAT ARE NECESSARY TO PROTECT STRUCTURES FROM DAMAGE. CONTRACTOR SHALL HAND EXCAVATE WITHIN 5' OF ALL BUILDINGS, WALLS AND STRUCTURES. REPLACEMENT OF DAMAGED STRUCTURES SHALL BE AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS TO THE ENGINEER.
- THE LOCATION OF ALL EXISTING UTILITIES ACROSS THE LINES OF THE PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY PRIOR TO CONSTRUCTION.
- ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE CONSTRUCTION DOCUMENTS.
- EXISTING CONDITIONS PROVIDED BY DEWBERRY ENGINEERS INC. SURVEY DATED JANUARY 2019.
- ANY ALTERATIONS AND CONNECTIONS TO ANY UTILITY SHALL BE COORDINATED THROUGH THE OWNER.
- CONTRACTOR WORK DAYS AND HOURS SHALL BE FROM 8 AM TO 8 PM MONDAY THROUGH FRIDAY. ANY DEVIATION FROM THIS SCHEDULE SHALL BE APPROVED BY THE OWNER. SHUTDOWNS SHALL BE PERFORMED AT NIGHT AND WEEKENDS WITH 10 DAYS WRITTEN NOTICE.
- CONTRACTOR SHALL PROTECT THE ACTIVE WORK AREA WITH 6' HIGH CHAIN LINK FENCE WITH TOP RAIL.
- CONTRACTOR SHALL PROVIDE A PEDESTRIAN AND VEHICULAR MAINTENANCE PLAN TO THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- ALL CONTRACTOR LAYDOWN AREAS SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE LINE.
- CONTRACTOR SHALL COORDINATE SITE ACTIVITY WITH ADJACENT BUILDINGS TO MINIMIZE DISRUPTION TO DAILY ACTIVITIES.
- CONTRACTOR SHALL MAINTAIN ALL INGRESS/EGRESS POINTS TO SURROUNDING BUILDINGS THROUGHOUT CONSTRUCTION UNLESS OTHERWISE NOTED ON THE PLANS.
- ANY TREES AND/OR SHRUBS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR IN COORDINATION WITH DAVIDSON COLLEGE.
- ANY CURB, GUTTER, OR SIDEWALK DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR IN COORDINATION WITH THE OWNER. ALL REPAIRS SHALL BE MADE BY REPLACING ENTIRE SECTION (JOINT TO JOINT) OF CONCRETE DAMAGED.
- CONTRACTOR SHALL CONTACT 811 PRIOR TO STARTING ANY WORK ON SITE.
- ALL PAVING AND WALKWAY SHALL BE REPAIRED TO MATCH THE EXISTING CONDITIONS AND INSTALLED IN ACCORDANCE WITH THE NCDOT ROADWAY DESIGN MANUAL AND 2010 ADA STANDARDS.
- CONTRACTOR SHALL OBTAIN COMPACTION AT 95% MAXIMUM DRY DENSITY STANDARD PROCTOR PER ASTM D-1557. CONTRACTOR SHALL PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
- CONTRACTOR SHALL EMPLOY A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM REQUIRED FIELD AND LABORATORY TESTING, AND PROVIDE RESULTS TO THE ENGINEER FOR REVIEW AND APPROVAL.

EROSION AND SEDIMENT CONTROL NARRATIVE

PROJECT DESCRIPTION

THIS CIVIL SCOPE FOR THIS PROJECT INCLUDES THE INSTALLATION OF A BRICK SIDEWALK ON THE NORTHEAST SIDE OF THE RICHARDSON HALL DORMITORY BUILDING ON THE CAMPUS OF DAVIDSON COLLEGE IN DAVIDSON, NC. EXISTING CONCRETE AND BRICK WALKWAYS WILL BE DEMOLISHED BEFORE THE INSTALLATION OF THE BRICK SIDEWALK. TOTAL AREA OF DISTURBANCE IS 0.03 ACRES (1,445 SF). THE PROJECT WILL CREATE ADDITIONAL IMPERVIOUS AREA OF 0.01 ACRES (205 SF).

ADJACENT PROPERTY

THERE ARE NO ADJACENT PROPERTIES THAT WILL BE AFFECTED BY THIS PROJECT.

CRITICAL AREAS

THERE ARE NO CRITICAL AREAS ONSITE. THE PLAN HAS BEEN DEVELOPED TO MINIMIZE LAND DISTURBANCE. WHERE GRADING IS NECESSARY, ADEQUATE PRECAUTIONS SHALL BE TAKEN TO MINIMIZE EROSION AND TO CONTAIN SILT THROUGH PROPER EROSION AND SEDIMENT CONTROL PRACTICES.

MANAGEMENT STRATEGIES

- CONSTRUCTION SHALL BE SEQUENCED SO THAT DISTURBANCE, CONSTRUCTION, AND SURFACE RESTORATION CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
- HARDSCAPE INSTALLATION SHALL BEGIN IMMEDIATELY FOLLOWING RETURN TO EXISTING SUBGRADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES.
- AFTER ACHIEVING ADEQUATE STABILIZATION, THE TEMPORARY EROSION & SEDIMENT CONTROLS SHALL BE CLEANED UP AND REMOVED IMMEDIATELY.

EROSION AND SEDIMENT CONTROL MEASURES

THE INTENT OF THE EROSION AND SEDIMENT CONTROLS SHOWN ON THESE DRAWINGS IS TO GUIDE THE CONTRACTOR IN IMPLEMENTING ACCEPTABLE MEASURES, INFRASTRUCTURE, AND MAINTENANCE PROGRAMS THAT WILL MINIMIZE THE AMOUNT OF EROSION AND RESULTING SEDIMENT THAT WILL TAKE PLACE DURING THE CONSTRUCTION OF THIS PROJECT.

EROSION AND SEDIMENT CONTROL MAINTENANCE

IN GENERAL, ALL THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL TO ENSURE THEY ARE IN WORKING ORDER. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

- INLET PROTECTION: SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE DESIGN DEPTH OF THE TRAP.
- SILT FENCE:
 - SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 - FABRIC SHALL BE REPLACED IF IT HAS DECOMPOSED OR BECOME INEFFECTIVE.

EROSION AND SEDIMENT CONTROL NOTES

- THE CONTRACTOR SHALL NOT GRADE BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN.
- SOIL STABILIZATION SHALL BE REQUIRED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE:
 - ALL OTHER DISTURBED AREAS SHALL BE PROVIDED WITH TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
- ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE OWNER.
- SLOPES SHALL BE GRADED NO STEEPER THAN 2:1.
- ALL EROSION CONTROL MEASURES SHALL CONFORM TO THOSE SET FORTH IN THE STATE OF NORTH CAROLINA EROSION CONTROL PLANNING AND DESIGN MANUAL, NCDOT DESIGN MANUAL, TOWN ORDINANCE, OR THE MOST RESTRICTIVE OF ANY STANDARDS THAT CONFLICT.
- THE ANGLE OF THE GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE WHICH CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED EVERY 7 DAYS OR AFTER EACH RAINFALL OCCURRENCE THAT EXCEEDS 1/2 INCH. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED, AS NECESSARY.
- AFTER CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES.

GENERAL DEMOLITION NOTES

- SAW CUT AND REMOVE ALL BRICK AND CONCRETE TO LIMITS REQUIRED FOR PROPOSED WORK. SAW CUTS FOR CONCRETE SHALL OCCUR AT THE NEAREST CONTROL JOINT OR EXPANSION JOINT. SAW CUTS BETWEEN CONTROL JOINTS ARE NOT ACCEPTABLE. ALL DECORATIVE SCORING PATTERNS SHALL BE REPLACED TO THE OWNER'S SATISFACTION. CONTRACTOR SHALL DOCUMENT AND PHOTOGRAPH ALL DECORATIVE SCORING PATTERNS PRIOR TO DEMOLITION.
- REMOVE VEGETATION, GRASS, & ROOTMAT IN AREAS TO RECEIVE NEW BRICK AND CONCRETE PAVEMENTS.
- ALL PRIMARY UTILITIES DISCOVERED DURING DEMOLITION OPERATIONS SHALL BE PROPERLY PRESERVED AND PROTECTED.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY UNFORESEEN OR ADVERSE CONDITIONS DISCOVERED DURING DEMOLITION OPERATIONS.
- CONTRACTOR SHALL PROTECT EXISTING PLANT MATERIAL NOT DESIGNATED FOR REMOVAL OR RELOCATION FROM DAMAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL KEEP ALL SURROUNDING PUBLIC ROADWAYS AND DRAINAGE SYSTEMS FREE FROM DIRT, MUD, AND CONSTRUCTION DEBRIS AT ALL TIMES.
- LIMITS OF DEMOLITION INDICATED ON PLAN ARE MINIMUM. CONTRACTOR SHALL REMOVE BRICK PAVEMENT, CONCRETE AND MISCELLANEOUS ITEMS AS NECESSARY TO FACILITATE CONSTRUCTION IN ACCORDANCE WITH HOSPITAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY ITEMS DAMAGED DURING THE CONSTRUCTION.

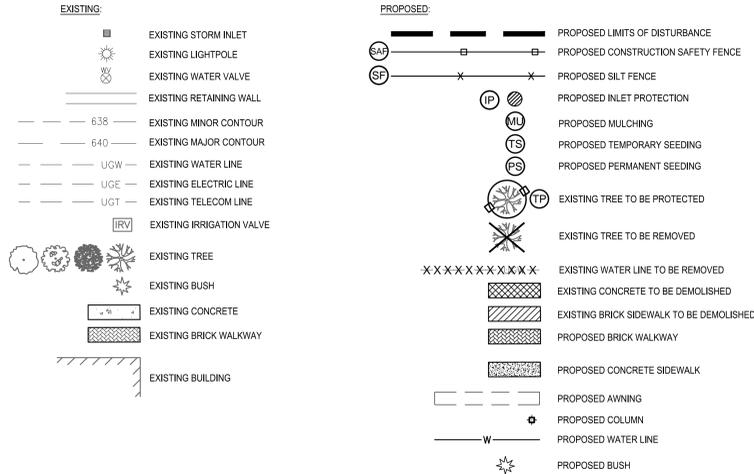
LANDSCAPING NOTES

- TREES AND VEGETATION ADJACENT TO THE ACTUAL WORK AREA OR BORROW AREA SHALL BE PROTECTED WITH TEMPORARY FENCING (CHAIN LINK FENCE FOR TREES, CONSTRUCTION SAFETY FENCE FOR VEGETATION) TO PRESERVE EXISTING ITEMS INDICATED TO REMAIN AND TO PREVENT DAMAGE TO PROPERTY.
- THE PARKING OF VEHICLES AND STORAGE OF ANY CONSTRUCTION EQUIPMENT OR MATERIALS SHALL NOT OCCUR UNDER THE DRIP LINE OF TREES.
- BACKFILL AND COMPACTION SHALL BE COMPLETED TO THE SATISFACTION OF THE OWNER.

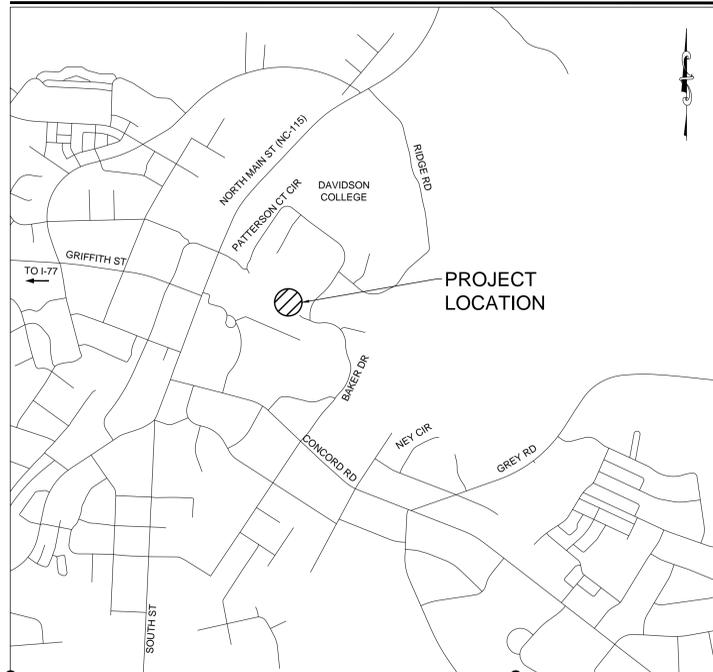
SITE INFORMATION

- PROJECT IS LOCATED ON THE CAMPUS OF DAVIDSON COLLEGE, IN THE TOWN OF DAVIDSON, MECKLENBURG COUNTY, NORTH CAROLINA.
- THE PROJECT IS LOCATED WITHIN THE COLLEGE CAMPUS PLANNING AREA AS NOTED IN THE TOWN OF DAVIDSON PLANNING AREAS MAP, DATED JULY 2017.
- THIS PROJECT INCLUDES THE RENOVATION AND AN ADDITION TO THE RICHARDSON HALL DORMITORY BUILDING AND ASSOCIATED SIDEWALK REPLACEMENT, WATER LINE RELOCATION, AND LANDSCAPING.
- PROJECT WILL INCLUDE A NET INCREASE IN IMPERVIOUS AREA OF 0.01 ACRES (205 SF). THE ADDITIONAL IMPERVIOUS AREA WILL BE INCLUDED IN THE UPDATED BUILT-UPON AREA ACCOUNTING SUBMITTED WITH THIS PROJECT.
- THE PROJECT SITE IS NOT LOCATED IN A WATER SUPPLY WATER PROTECTION AREA, A WATER QUALITY BUFFER (SWIM), OR A POST CONSTRUCTION BUFFER.

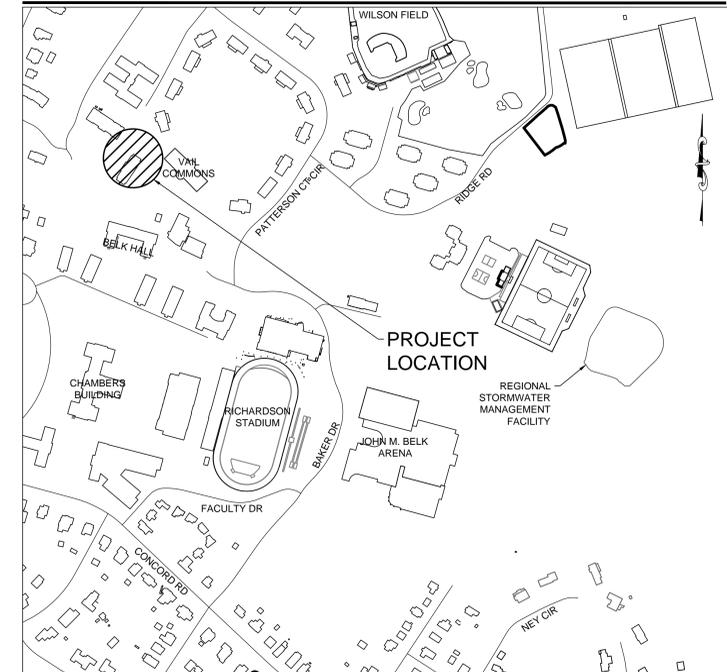
LEGEND



VICINITY MAP



PROJECT AREA



100 Nelson Lane
Richardson Hall
Interior Renovation

Code 0000 / Item 000 / File 000000

TAG	DESCRIPTION	DATE
	VE MODIFICATIONS	02.22.2019

Project: 18DAV200
Drawn By: JGL
Checked By: TRK
Date: 02/26/2019
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GENERAL NOTES



SCHEMATIC DESIGN

C-101

- NOTES:**
1. CONTRACTOR SHALL VERIFY LIMITS OF DEMOLITION AND IMPROVEMENTS WITH DAVIDSON COLLEGE PRIOR TO CONSTRUCTION.
 2. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES THROUGHOUT CONSTRUCTION.
 3. CONTRACTOR SHALL COORDINATE EXTENTS OF DEMOLITION AND EXCAVATION FOR NEW EXTERIOR WALL INFILL, AND WATER PROOFING WITH ARCHITECTURAL AND STRUCTURAL SHEETS.



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OPTIMA ENGINEERING
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 Mechanical, Electrical, Plumbing &
 Fire Protection Engineers
 1927 South Tryon Street, Suite 300
 Charlotte, NC 28203
 (t) 704/338-1292



DAVIDSON

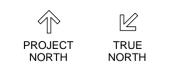
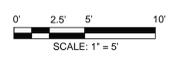
100 Nelson Lane
 Richardson Hall
 Interior Renovation

Code 0000 / Item 000 / File 000000

TAG	DESCRIPTION	DATE
	VE MODIFICATIONS	02.22.2019

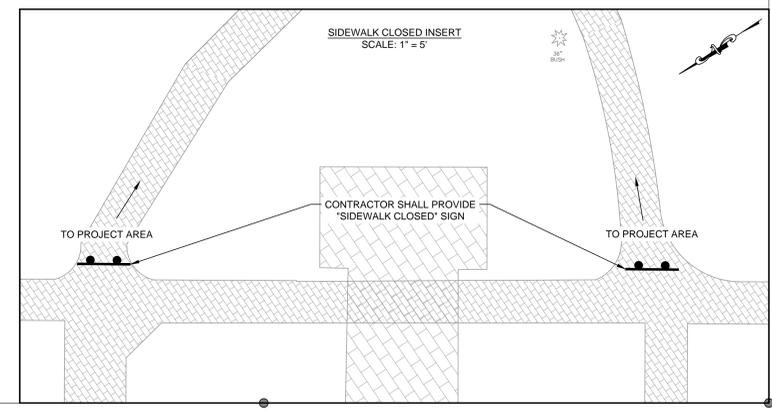
Project: 18DAV200
 Drawn By: JGL
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**DEMOLITION AND
 EROSION AND
 SEDIMENT CONTROL
 PLAN**

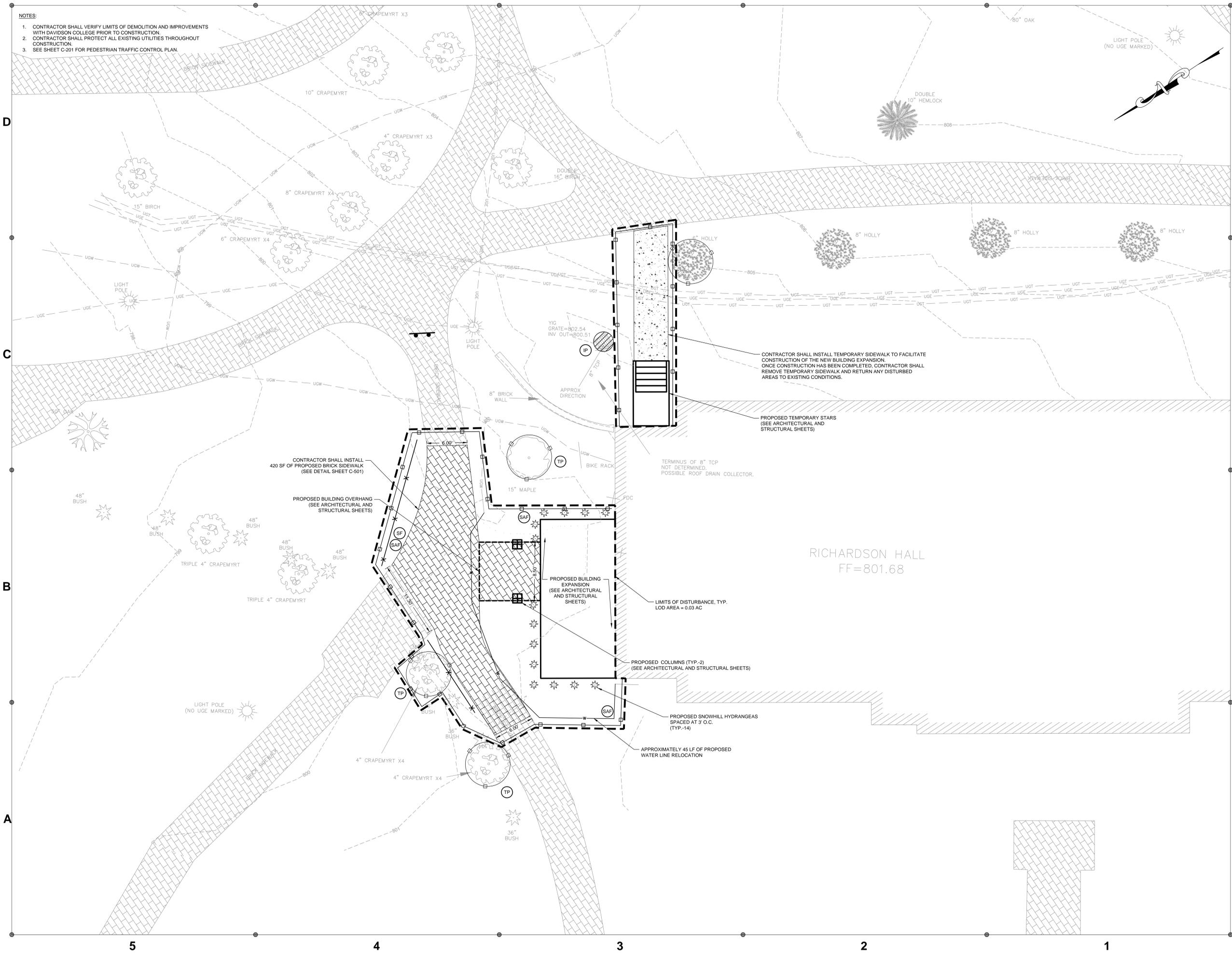


**SCHEMATIC
 DESIGN**

C-201



- NOTES:**
1. CONTRACTOR SHALL VERIFY LIMITS OF DEMOLITION AND IMPROVEMENTS WITH DAVIDSON COLLEGE PRIOR TO CONSTRUCTION.
 2. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES THROUGHOUT CONSTRUCTION.
 3. SEE SHEET C-201 FOR PEDESTRIAN TRAFFIC CONTROL PLAN.



100 Nelson Lane
Richardson Hall
Interior Renovation

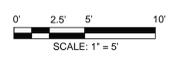
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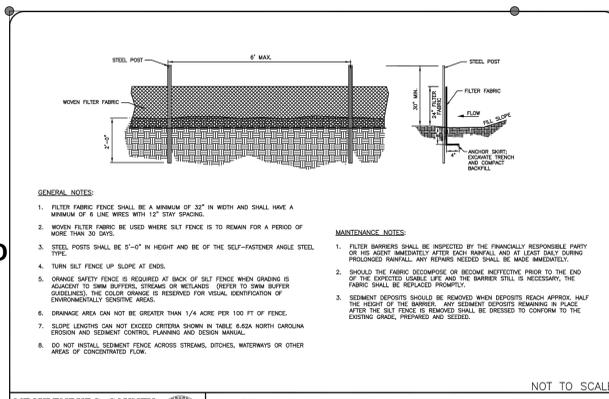
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PROPOSED IMPROVEMENTS

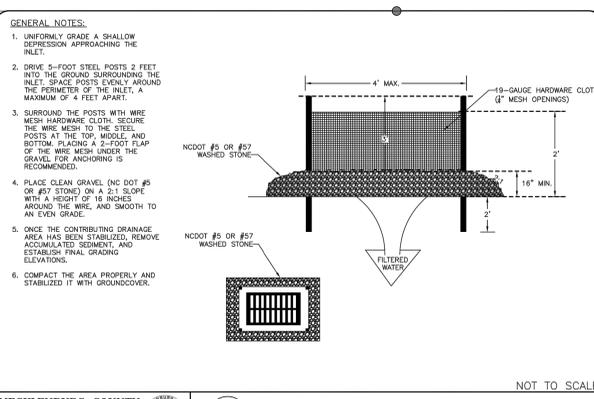


SCHEMATIC DESIGN

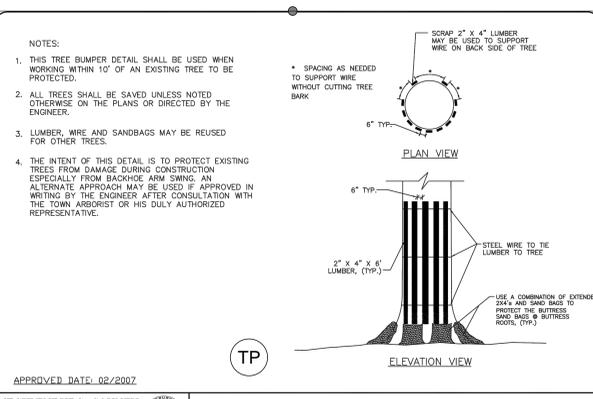
C-301



MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS (SF) TEMPORARY SILT FENCE NOT TO SCALE (REV. 30.06A)



MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS (IP) HARDWARE CLOTH AND GRAVEL INLET PROTECTION NOT TO SCALE (REV. 30.09)



MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS (TP) TEMPORARY TREE PROTECTION DETAIL NOT TO SCALE (REV. 40.12)

GENTLE SLOPES

SEEDING MIXTURE	80 lbs/acre of tall fescue
FALL: August 25 - October	
Late winter: February 15 - April 15	
SEEDING DATES	To extend spring seeding into June, add 15 lbs/acre hulled Bermudagrass. Overseeding of Kobe lespedeza over fall-seeded tall fescue is very effective.
SEEDING AMENDMENTS	Apply lime and fertilizer per soil tests, or 4000 lbs/acre limestone and 1000 lbs/acre 10-10-10 fertilizer.

STEEP SLOPES

SEEDING MIXTURE	100 lbs/acre tall fescue 30 lbs/acre Sericeo lespedeza (unscrifted after August 15) 10 lbs/acre Kobe lespedeza
FALL: August 25 - October	
Late winter: February 15 - April 15	
SEEDING DATES	To extend spring seeding into June, add 15 lbs/acre hulled Bermudagrass. Overseeding of Kobe lespedeza over fall-seeded tall fescue is very effective.
SEEDING AMENDMENTS	Apply lime and fertilizer per soil tests, or 4000 lbs/acre limestone and 1000 lbs/acre 10-10-10 fertilizer.

NOTE 1
Ground Cover-- Protective cover must be established on all disturbed areas within 21 calendar days after land disturbing activity is completed or has temporarily ceased.

NOTE 2
Graded slopes and fills-- Protective cover must be established on all graded slopes and fills within 21 calendar days after a phase of grading is completed or has temporarily ceased.

APPROVED DATE: 02/2007

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS (PS) SEEDING SCHEDULE NOT TO SCALE (REV. 30.17A)

TEMPORARY SEEDING FOR WARM AND COOL SEASON

SEEDING MIXTURE	40 lbs/acre of German millet 80 lbs/acre of tall fescue	120 lbs/acre Rye (grain) 80 lbs/acre tall fescue
SEEDING DATES	May 1 - August 15	October 25 - December 30
SEEDING AMENDMENTS	Refertilize if growth is not fully adequate. Apply 4000 lbs/acre straw or equivalent hydros seeding.	Between December 30 - February 15, add 50 lbs/acre of annual Kobe lespedeza. Apply 4000 lbs/acre straw or equivalent hydros seeding.

NOTE:

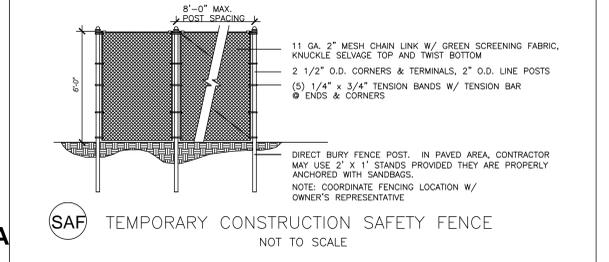
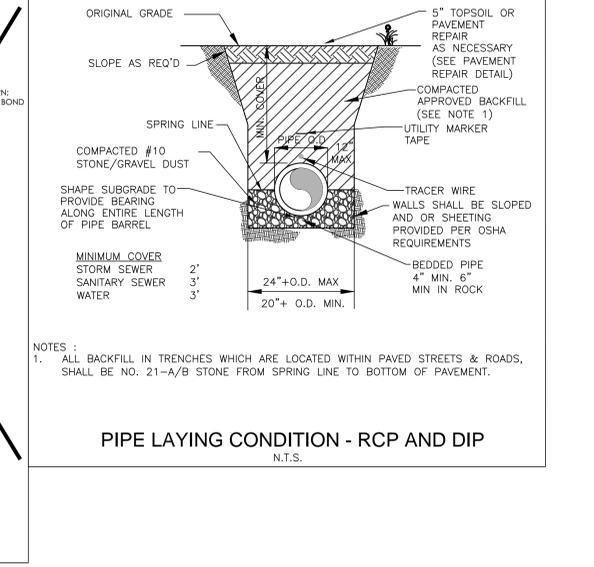
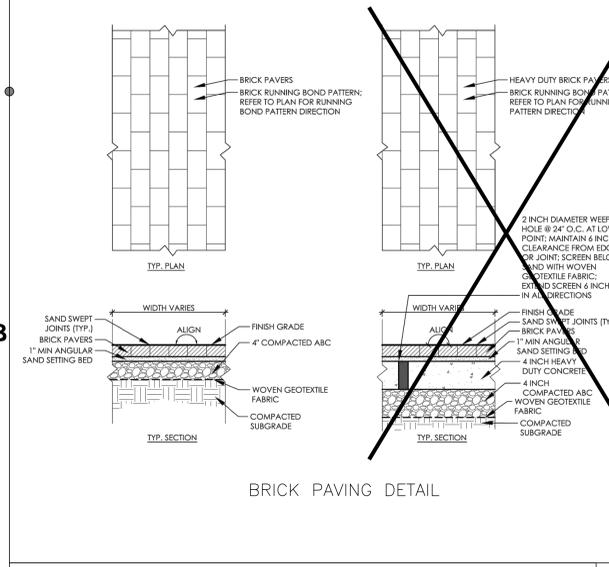
1. STRAW SHALL BE PLACED ON SEEDED AREAS WITHIN 24 HOURS OF SEEDING.
2. PLACE STRAW MULCH UNIFORMLY IN A CONTINUOUS BLANKET (CONTRACTOR WILL BE ASKED TO REMOVE ANY STRAW CLUMPS LEFT ON THE SEEDED AREA).
3. A MECHANICAL BLOWER MAY BE USED FOR STRAW MULCH APPLICATION WHEN ACCEPTABLE TO THE OWNER'S REPRESENTATIVE.
4. STRAW MULCH SHALL BE TACKED DOWN BY APPLYING A LIGHT COATING OF HYDROMULCH.

APPROVED DATE: 02/2007

MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS (TS) SEEDING SCHEDULE (SEASONAL) NOT TO SCALE (REV. 30.17B)

MULCHES	RATES		NOTES
	PER ACRE	PER 1,000 sq. ft.	
STRAW	2.5 TONS	2 BALES	<ul style="list-style-type: none"> CLEAN OAT OR WHEAT STRAW WELL SEASONED BEFORE BAILING. FREE FROM MATURE SEED-BEARING STALKS OR PROHIBITED NOXIOUS WEEDS.

ORGANIC MULCH MATERIALS AND APPLICATION RATES



MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS (SAF) TEMPORARY CONSTRUCTION SAFETY FENCE NOT TO SCALE (REV. 30.06A)



100 Nelson Lane
Richardson Hall
Interior Renovation

Code 0000 / Item 000 / File 000000

TAG	DESCRIPTION	DATE
	VE MODIFICATIONS	02.22.2019

Project: 18DAV200
Drawn By: JGL
Checked By: TRK
Date: 02/26/2019

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CIVIL DETAILS



SCHEMATIC DESIGN

C-501

FLOOR PLAN GENERAL NOTES

- REFER TO SHEET G-301 FOR THE WALL & PARTITION TYPES SCHEDULE.
- ALL EXISTING WALLS TO REMAIN ARE INDICATED IN HALFTONE. ALL OTHER WALLS SHOWN ARE NEW.
- CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT PROMPTLY OF ANY CONDITION UNCOVERED WHICH SHOWS EVIDENCE OF DETERIORATED STRUCTURE, BUILDING ENVELOPE OR LIFE SAFETY ELEMENT WHICH IS SLATED TO REMAIN.
- PATCH, REWORK, SKIM, EXISTING WALLS WHERE REQ'D FOLLOWING DEMOLITION. FINISHES TO REMAIN - TOUCH UP AS NEEDED.
- REFER TO LIFE SAFETY PLANS FOR FIRE EXTINGUISHERS AND FIRE EXTINGUISHER CABINET LOCATIONS. REFER LIFE SAFETY PLANS FOR LOCATIONS OF RATED FLOOR SLABS AND RATED STRUCTURAL COLLUMS, BEAMS, AND SUPPORTING STRUCTURE.
- DIMENSIONS ARE TAKEN TO FINISH FACE OF WALLS AND PARTITIONS UNLESS NOTED OTHERWISE.
- BLOCKING SHALL BE PROVIDED FOR ALL WALL AND CEILING MOUNTED ACCESSORIES, EQUIPMENT, HANDRAILS, FIXTURES, CABINETS, CASEWORK, SHELVING, ETC. SHOWN ON ANY DRAWING.
- ALL DIMENSIONING OF EXISTING CONDITIONS ARE TO BE FIELD VERIFIED.
- SEE EXTERIOR ELEVATIONS FOR EXTERIOR WINDOW TYPES & LOCATIONS.
- ALL MASONRY DIMENSIONS ARE NOMINAL U.N.O.
- DOOR JAMBS SET 4" FROM FACE OF ADJACENT WALL TYP. U.N.O.
- ENCLOSE ALL EXPOSED DUCTS, PIPES CONDUITS, ETC. IN FINISHED SPACE WITH CONSTRUCTION & FINISH TO MATCH ADJACENT CONSTRUCTION U.N.O.
- PROVIDE ACCESS DOORS OF APPROPRIATE SIZE, TYPE & FIRE RATING FOR ALL CONCEALED ITEMS THAT ARE REQUIRE ADJUSTMENT, MAINTENANCE, MONITORING, ETC. COORDINATE LOCATIONS WITH ARCHITECT.
- DO NOT DETERMINE DIMENSIONS AND SIZE OF THE GRAPHIC REPRESENTATIONS SHOWN ON THE DRAWINGS BY USING MEASURING DEVICE (DO NOT "SCALE"). RELY ON THE NUMERIC DIMENSIONS SHOWN ON THE DRAWINGS FOR MEASUREMENT.

FLOOR PLAN LEGEND

- | | | | |
|--|--|--|-----------------------------|
| | WALL / PARTITION - COORDINATE WITH PARTITION SCHEDULE | | MIR MIRROR |
| | NEW DOOR - SHOWN WITH DOOR TAG, LOCATE HINGE OF DOOR 6" FROM PERPENDICULAR WALL, UNO | | MB MARKER BOARD |
| | EXISTING DOOR - SHOWN WITHOUT DOOR TAG | | TB CORK TACK BOARD |
| | FIRE EXTINGUISHER CABINET | | 2 HR RATED FIRE BARRIER |
| | CG WALL CORNER GUARD | | 1 HR RATED FIRE BARRIER |
| | | | 1/2 HR RATED FIRE PARTITION |



100 Nelson Lane
Richardson Hall
Interior Renovation

Code 0000 / Item 000 / File 000000

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Project: 18DAV200
Drawn By: KMF
Checked By: JLM
Date: FEB 22, 2019
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FLOOR PLANS



SCHEMATIC DESIGN

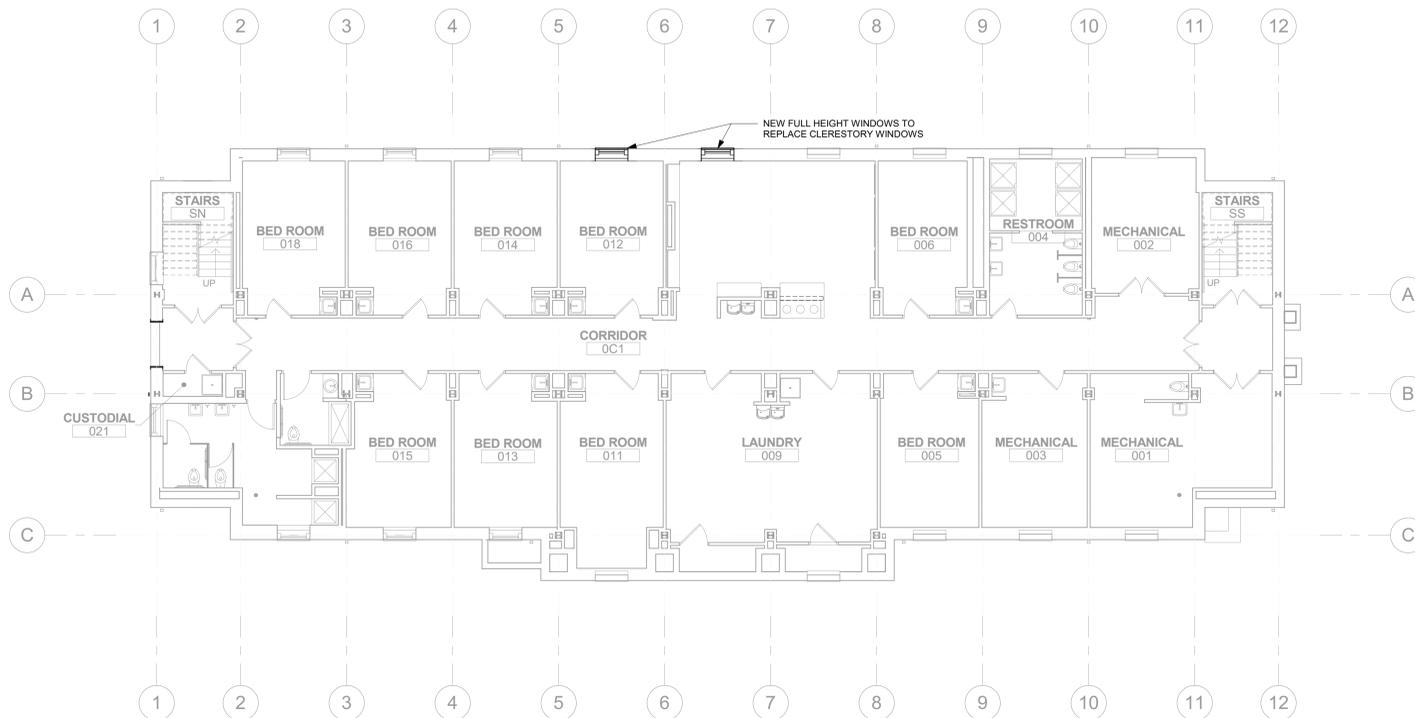
A-102

D

C

B

A



A5 BASEMENT FLOOR PLAN
1/8" = 1'-0"

5

4

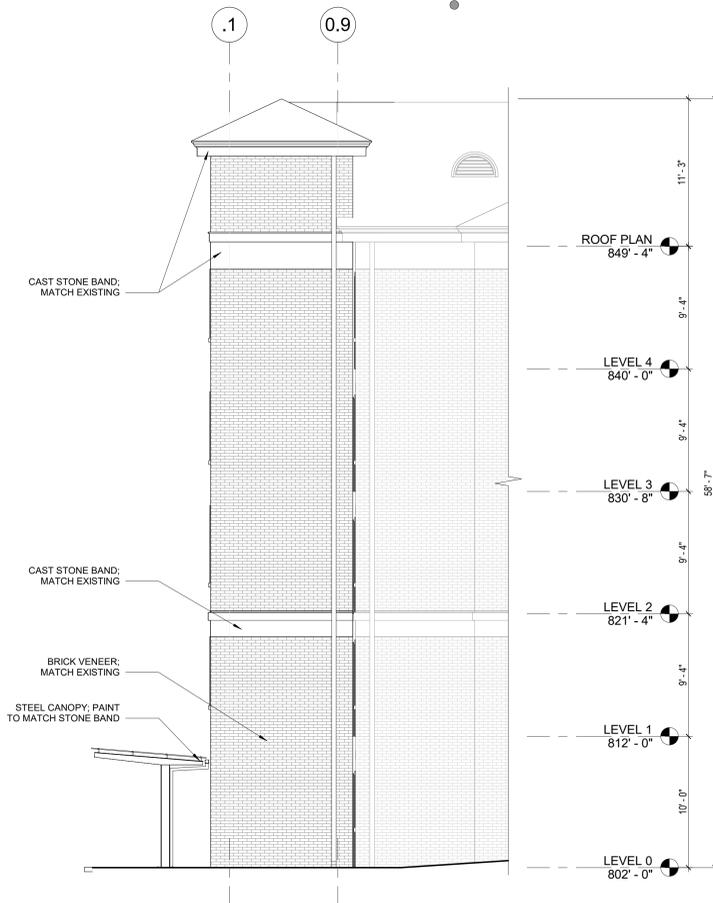
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2

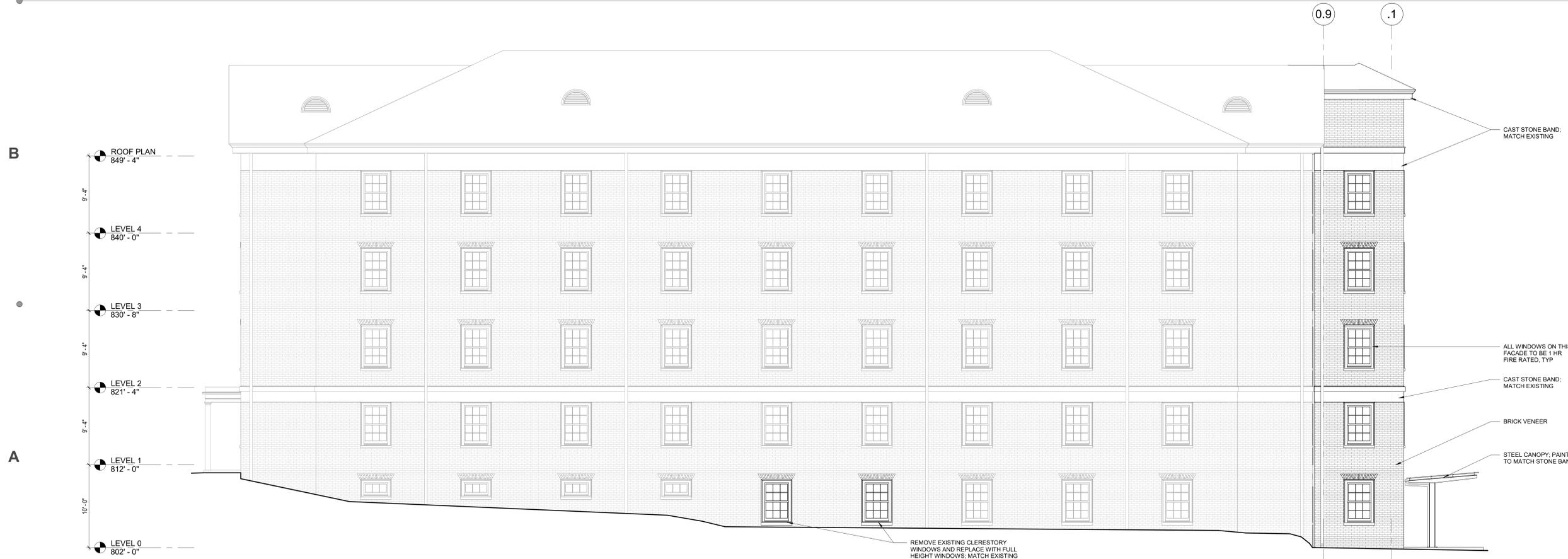
1



C5 LEFT ELEVATION
3/16" = 1'-0"



C3 FRONT ELEVATION
3/16" = 1'-0"



A5 REAR ELEVATION
3/16" = 1'-0"



405 N. Main Street
Richardson Hall
Elevator Addition

Code 0000 / Item 000 / File 000000

TAG	DESCRIPTION	DATE

Project: 18DAV200
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Date: FEB 8, 2019
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EXTERIOR ELEVATIONS

SCHEMATIC DESIGN

A-201



BEFORE WINDOW REPLACEMENT



AFTER WINDOW REPLACEMENT

RICHARDSON HALL INTERIOR RENOVATION

D

C

B

A



1 FRONT DEMOLITION ELEVATION
1/8" = 1'-0"



2 FRONT ELEVATION
1/8" = 1'-0"



DAVIDSON

100 Nelson Lane
Richardson Hall
Interior Renovation

Code 0000 / Item 000 / File 000000

TAG	DESCRIPTION	DATE
	VE MODIFICATIONS	02.22.2019

Project: 18DAV200
Drawn By: KMF
Checked By: JLM
Date: FEB 21, 2019
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EXTERIOR ELEVATIONS



SCHEMATIC DESIGN

A200

FLOOR PLAN GENERAL NOTES

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FLOOR PLAN LEGEND

- | | | | |
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| | EXISTING DOOR - SHOWN WITHOUT DOOR TAG | | TB CORK TACK BOARD |
| | FEC FIRE EXTINGUISHER CABINET | | 2 HR RATED FIRE BARRIER |
| | CG WALL CORNER GUARD | | 1 HR RATED FIRE BARRIER |
| | | | 1/2 HR RATED FIRE PARTITION |



C5 FIRST FLOOR PLAN
1/8" = 1'-0"



A5 BASEMENT FLOOR PLAN
1/8" = 1'-0"



100 Nelson Lane
Richardson Hall
Interior Renovation

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Project: 18DAV200
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FLOOR PLANS



SCHEMATIC DESIGN

A-101



BEFORE SASH REPLACEMENT



AFTER SASH REPLACEMENT

Jenkins•Peer Architects
112 South Tryon Street, Suite 1300
Charlotte, North Carolina 28284
(t) 704/372-6665
(f) 704/372-0102



RICHARDSON HALL INTERIOR RENOVATION

PERSPECTIVE VIEW

02.26.2018

D

C

B

A



1 FRONT DEMOLITION ELEVATION
1/8" = 1'-0"



2 FRONT ELEVATION
1/8" = 1'-0"



DAVIDSON

100 Nelson Lane
Richardson Hall
Interior Renovation

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EXTERIOR ELEVATIONS



SCHEMATIC DESIGN

A200