



**TOWN OF DAVIDSON
DESIGN REVIEW BOARD
7:00PM Board Room in Town Hall at 216 S Main St, Davidson, NC**

April 17, 2019

-
- I. CALL TO ORDER**
 - II. SILENT ROLL CALL**
 - III. CHANGES TO THE AGENDA**
 - IV. REVIEW/APPROVAL OF THE MINUTES**
 - (a) DRB Minutes 2019 March 27
 - V. NEW BUSINESS**
 - (a) 138 Meadowbrook Ln Garage
 - (b) Davidson Green School FYI
 - VI. ADJOURN**



Agenda Title: DRB Minutes 2019 March 27

Summary:

ATTACHMENTS:

Description	Upload Date	Type
▣ DRB Minutes 2019 March 27	4/11/2019	Exhibit

Meeting Minutes

Design Review Board

Town of Davidson, NC
March 27, 2019

A meeting of the Town of Davidson *Design Review Board* was held in the Town Hall, Administration Conference Room, 216 S. Main St.

Call to Order: 7:00 p.m.

Silent Roll Call and Determination of Quorum:

Members Present signified by :

<input checked="" type="checkbox"/> Bruce Barteldt, Chair	<input checked="" type="checkbox"/> Brian Bumann	<input type="checkbox"/> Jeff Osman
<input checked="" type="checkbox"/> Tom Goodwin	<input checked="" type="checkbox"/> Bob Sipp	
<input checked="" type="checkbox"/> Mike Kessler	<input checked="" type="checkbox"/> EB Dyer	
<input checked="" type="checkbox"/> John Burgess	<input checked="" type="checkbox"/> Lorraine Degree	

Town Staff Present: Lindsay Laird (Planner)

Changes to the Agenda: None.

Review/Approval of the Minutes

A motion was made (BS) to approve meeting the minutes of February 20, 2019 as submitted. It was seconded (JB) and the motion was approved unanimously.

Consent Item: None.

Old Business: None

New Business:

1. Homewood Suites Pergola

Located at 125 Harbour Pl Dr (Parcel ID 00322147)

Conditional Planning Area

Proposed accessory structure ancillary to a non-residential building type

Lindsay Laird gave an overview of the project, noting that the proposed pergola requires approval by the DRB because it is an accessory structure ancillary to a non-residential building type. The proposed pergola will be located on the western side of the existing hotel along Griffith Street and will be constructed of dark gray fiberglass. Lighting is shown on columns on east/west elevations, though no lighting detail was provided.

After discussion, a motion (MK) was made to approve the project as submitted with staff approval of lighting. The motion was seconded (BBumann) and approved unanimously.

2. Davidson College Richardson Hall Renovation

Located at 100 Nelson Lane (Parcel ID 00316201)
College Campus Planning Area

Lindsay Laird gave an overview of the project, noting that the project scope includes interior renovations to an existing four-story dormitory building, as well as an elevator addition. The interior renovation will result in exterior changes to existing windows. The elevator addition will be constructed with materials to match the existing building. A new aluminum canopy will be constructed at the entrance to the elevator lobby.

After discussion, a motion (EB) was made to approve the project as submitted. The motion was seconded (MK) and approved unanimously.

Other Items: None.

Adjourn: A motion was made to adjourn (MK), seconded (TG), and approved unanimously. The meeting was adjourned at 7:25 pm.

Approval of Minutes:

Date: _____ By: _____

Please note: This is a summary of the meeting and not to be considered a complete transcript.



Agenda Title: 138 Meadowbrook Ln Garage

Summary:

ATTACHMENTS:

Description	Upload Date	Type
▣ 138 Meadowbrook Ln Garage	4/11/2019	Exhibit

Town of Davidson, NC
Design Review Board: Staff Analysis
April 17, 2019

Project: Accessory Structure (over 650 square feet)
Location: 138 Meadowbrook Ln.
Applicant: Brent and Rachelle Zande
Designer: KP (Kevin Simon)
Planning Area: Village Infill

The applicant would like to construct a detached garage in the rear yard at 138 Meadowbrook Lane. There is an existing house on the property.

At 826 square feet (including the covered porch), the footprint of the proposed detached garage is in excess of 650 square feet requiring Design Review Board approval.

The proposed garage will be constructed with materials/colors to match the existing home on site, including light gray brick, hardi board and hardi plank. Trim will be a darker gray color and the roof will be charcoal gray (see color samples below). The structure will be two stories with a height of 24' from garage floor to ridge.

Lighting is not shown on the garage elevations, however the structure will have two sconce lights, one on each side of the garage door on the front elevation. Sconce lights will match lights on the home (see sconce lighting example below). Additional recessed lighting will be located on the left side of the structure in the ceiling above the covered porch. Flood lights shown on the electrical first floor plan on page four of the plans are inaccurate. There will be no flood lights on the structure.

Proposed Color Scheme for Detached Garage:

ROOF



Charcoal Gray

SAMPLE



BRICK

SW 7671
On the Rocks
Interior / Exterior
Locator Number: 255-C7

TRIM

SW 7650
Ellie Gray
Interior / Exterior
Locator Number: 239-C6

Existing Sconce Lighting on Home:



DAVIDSON PLANNING ORDINANCE:

Section 4.5.8 Accessory Structures

B. Size of Accessory Structure

1. *In the Rural Reserve and Rural Planning Areas, on lots over two acres where the proposed accessory structure is located more than 150 feet from the right-of-way or is not otherwise visible from the right-of-way, the footprint of an accessory structure shall not exceed 1,200 square feet. In all planning areas, except the Rural Reserve and Rural Planning Areas, the footprint of an accessory structure must not exceed 650 square feet or 30% of the footprint of the principal building (up to a maximum of 900 square feet), whichever is greater.*
2. *Any accessory structure over 650 square feet of first floor area and all accessory structure ancillary to non-residential building types shall be reviewed by the Design Review Board, in accordance with the procedures in Section 14.*

Section 4.4.1 General Building Design Standards

E. Materials

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*
4. *Building materials and colors shall be:*
 - a. *Complementary to the materials already being used in the neighborhood.*

F. Architectural Details

1. *Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.*
4. *Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*



Design Review

GARAGE STRUCTURE 138 MEADOWBROOK LN
 (Name of Project)

Development Process

Date Completed	Outline of Steps & Checklist
_____	<input type="checkbox"/> 1. Initial Meeting
_____	<input type="checkbox"/> 2. Application and Fee
_____	<input type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
_____	<input type="checkbox"/> 4. Planning Director Site Schematic Design Review
_____	<input type="checkbox"/> 5. Design Review Board Approval
_____	<input type="checkbox"/> 6. Building Construction Documents
_____	<input type="checkbox"/> 7. Site and Landscape Construction Documents
_____	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
_____	<input type="checkbox"/> 9. Building Permit Approval
_____	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
_____	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
_____	<input type="checkbox"/> 12. Certificate of Occupancy

** For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*



Design Review

GARAGE STRUCTURE 138 MEADOWBROOK LN
(Name of Project)

Application Requirements

Date Received

- Application Fee per Town of Davidson Fee Schedule
- Contact Information
- General Statement of Intent
(Use, building type, approx. square footage, height, design features)
- Statement of Compliance with Section 2
- Master Plan or Conditional Planning Area
(Including all documents, plans, maps, and conditions of approval)
- Environmental Inventory in accordance with Section 14.15.1
(Including adjacent properties and buildings)
- General Description
(Including a description and color photographs to existing / adjacent site)
- Site Schematic Design in accordance with Section 14.15.7
- Building Schematic Design in accordance with Section 14.15.3
(Including rendered elevations of each façade per 14.15.3 C)
- Landscape Schematic Design in accordance with Section 14.15.5
- Building Perspective
- Building Materials/Colors
(Roofing, siding, doors, windows, etc.)

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.



Applicant's Signature

3-2-2019
Date



Design Review

GARAGE STRUCTURE 138 MEADOWBROOK LN
(Name of Project)

Contact Information

Applicant's Information

Name: BRENT & RACHELLE ZANDE
E-Mail: BRENT.ZANDE@GMAIL.COM
Mailing Address: 138 MEADOWBROOK LANE
DAVIDSON, NC 28036
Business Phone: — Mobile Phone: 704.363.6390

Property Owner's Information

(If Different from Applicant)

Name: A.S ABOVE
E-Mail: _____
Mailing Address: _____
Business Phone: _____ Mobile Phone: _____

Architect's Information

Name of Firm: HOUSE PLANS BY KP
Architect's Name: KEVIN SIMON
E-Mail: KEVINPSIMON@MIS.COM
Mailing Address: _____
Business Phone: _____ Mobile Phone: 903-880-6636



Design Review

GARAGE STRUCTURE 138 MEADOWBROOK LN
 (Name of Project)

Project Description

Application Date: 3-5-19

Project Location: 138 MEADOWBROOK LN DAVIDSON NC 28036

Tax Parcel(s): 00705210

Planning Area: _____

Overlay District: _____

Master or Cond. Plan
 (Attach Conditions of Approval) _____

Gen. Statement of Intent: BUILD GARAGE STRUCTURE WITH LIVING SPACE ABOVE

Project Details:

- Project Type: Individual Bldg. Master Plan Conditional Planning Area
- Sign
- Building Type: Detached House Townhouse Attached House (Tri- or Quadplex)
- Institutional Live/Work Multi-family (Apts., Condos, Flats)
- Workplace Storefront Accessory Structure

- Use(s): PARKING AND LIVING SPACE ABOVE

- Height & Stories: 2 STORIES 24' FROM GARAGE FLOOR TO ROOF

- Square Footage: GARAGE 633 SF - LIVING 712 SF COVERED 114 SF

- Building Materials: BRICK, HARD BOARD, HARD PLANK

Architectural Features:

MATCHING RESIDENCE
COVERS PROVIDED

Existing Site Conditions:

See 14.12.2.D

2 LARGE TREES REAR OF GARAGE WHICH WE WISH TO SAVE BY ALTERED PLACEMENT OF GARAGE CLOSER TO HOME.

138 Meadowbrook Ln – Existing Conditions

- 1. Existing Site (left side of existing home)

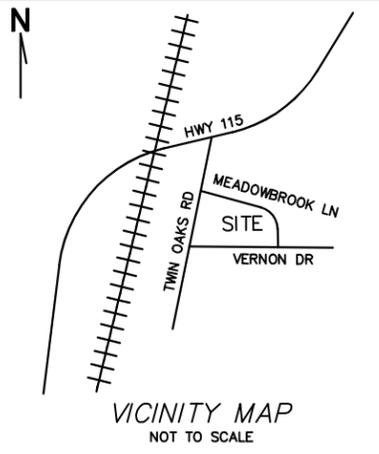


- 2. Existing Site (front of existing home)



3. Existing Site (right side of existing home)





NOTES:

- 1) Area determined by Coordinate Computation Method.
- 2) Property subject to any facts that may be disclosed by a full and accurate title search.
- 3) Property may be subject to any Restrictions, Easements, and/or Right of Ways of record and those not of record if they exist.
- 4) Subject Property is NOT located in a Special Flood Hazard Area as designated by the FEMA FLOOD INSURANCE RATE MAPS. See Map Number 3710464300J - Effective Date 3/2/2009.
- 5) No Geodetic Monument found within 2000' of Subject Property.
- 6) Subject Property Zoning = VIP (Village Infill)
- 7) Setbacks shown per Davidson Planning Ordinance Table 2-12
 Front = 30' as shown per MB 10-297
 Rear = 20'
 Side = Total of both side setbacks shall be equal or greater to 30% of lot width at front building line.
 $199.19' \times 0.30 = 60'$ TOTAL

CURVE TABLE

NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	35°24'07"	61.79'	100.00'	S59°09'56"E	60.81'

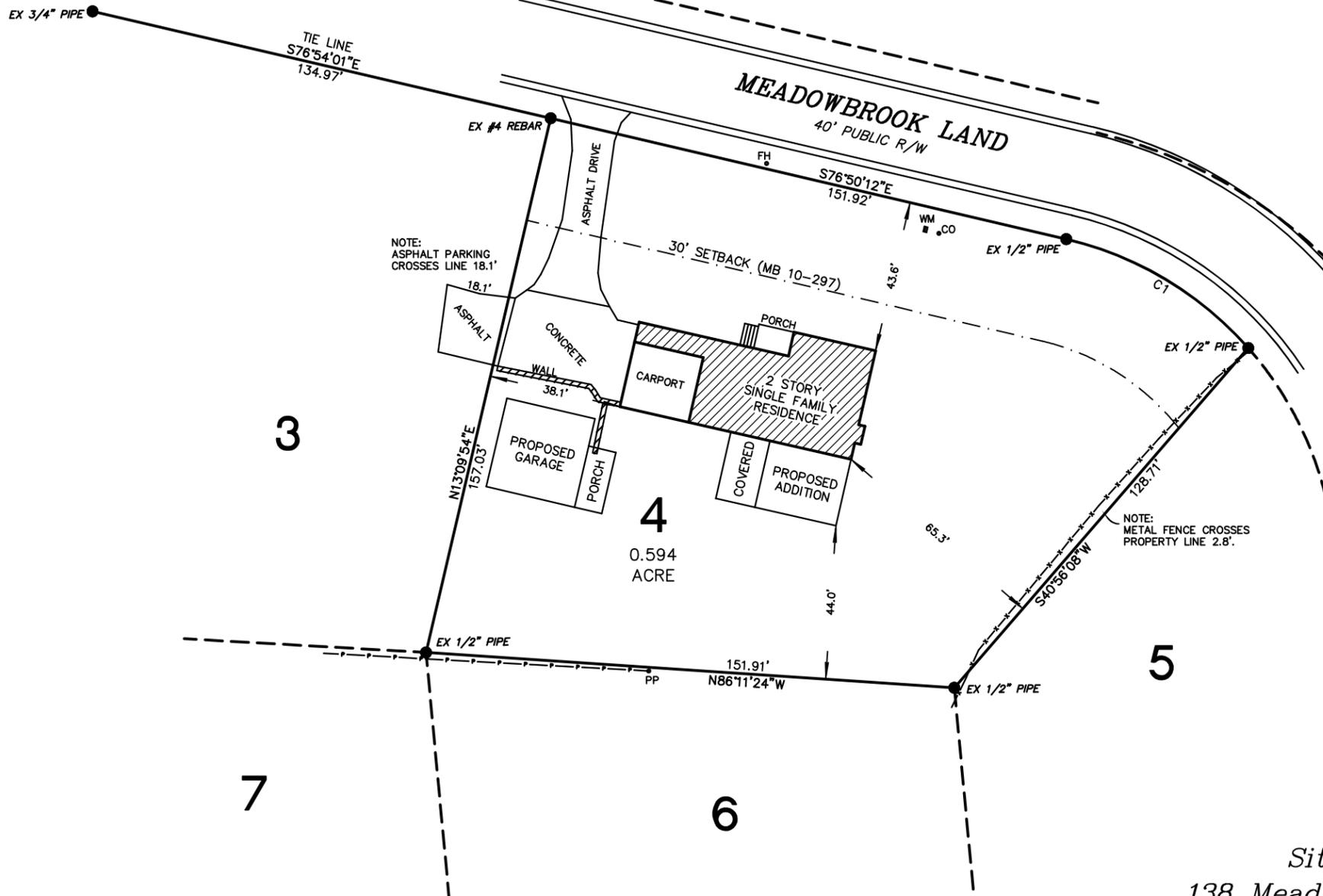
5/23/2017 - PROPOSED ADDITION
 7/31/2018 - PROPOSED GARAGE

I, Thomas E. Williams, certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed description recorded in Book 26973, Page 124, or other reference source AS NOTED); that the boundaries not surveyed are shown as broken lines drawn from information found in adjoining deeds and plats as noted; that the ratio of precision is 1 : 10,000+; and that this plat meets the requirements of The Standards of Practice for Land Surveying in North Carolina according to North Carolina Administrative Code Title 21, Chapter 56, Section 1600. This survey is of an existing parcel or parcels of land and does not create a new street or change an existing street.

This 17th day of March, 2017.

Thomas E. Williams

Thomas E. Williams, NCPLS 4718



LEGEND

- PROPERTY LINE (P/L)
- - - - - RIGHT OF WAY (R/W)
- - - - - TIE LINE
- - - - - ADJOINING PROPERTY LINE FROM DEED OR PLAT
- - - - - FENCE
- - - - - POWER LINE
- EX EXISTING
- PP POWER POLE
- WM WATER METER
- CO SEWER CLEANOUT
- CONC CONCRETE
- FH FIRE HYDRANT



SCALE: 1" = 40'

NOTE: IRON STAKES AND MONUMENTS AS SHOWN (●), ALL OTHERS CALCULATED POINTS (○)

Williams Land Surveying, Inc.

License Number C-3638

274 Baymount Drive, Statesville, NC 28625

phone:(704) 876-3996 ~ email:runningonfaith@bellsouth.net

file: 17\TERRACE4

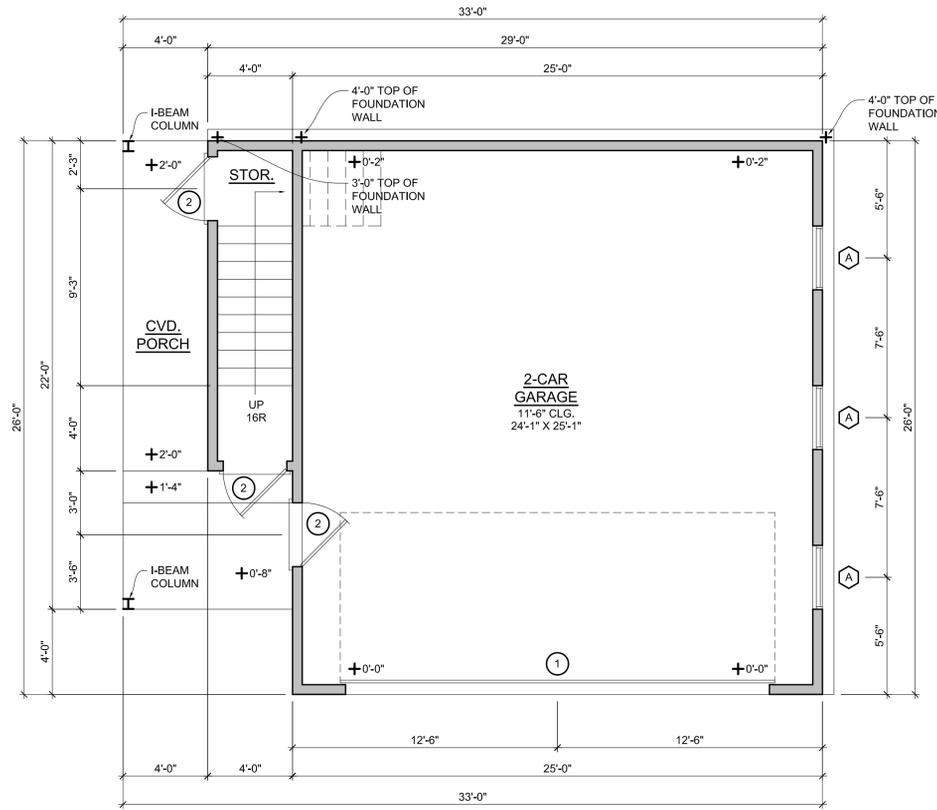
AREA SUMMARY
 LOT 4
 0.594 ACRE
 25,867 S.F.

Site Plan
 138 Meadowbrook Lane

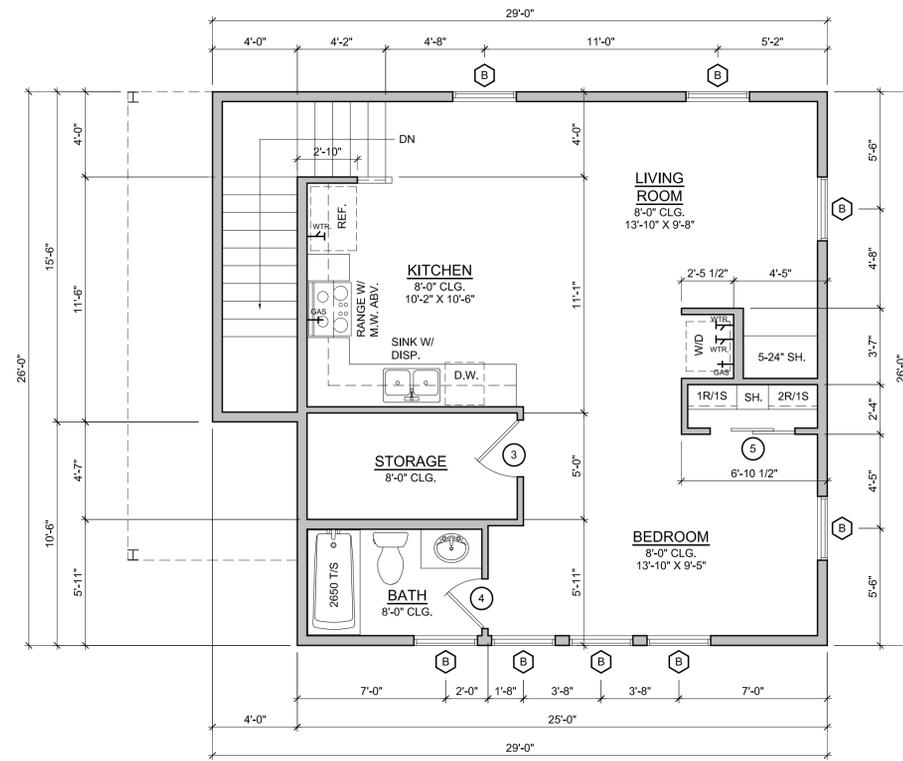
TERRACE ACRES
BLOCK A - LOT 4

Town of Davidson, Mecklenburg County, NC
 Parcel# 00705210 ~ DB 31733-604 ~ MB 10-297
 Property of: Rachelle Thompson & Brent Zande

- GENERAL NOTES:
1. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL HURRICANE STRAPPING, ANCHOR BOLTS, TIES, SHEAR WALLS, ETC., AS REQUIRED BY THE CURRENT INTERNATIONAL RESIDENTIAL BUILDING CODE (I.R.C.) AND ALL AUTHORITIES HAVING JURISDICTION.
 2. THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL PERMITS, DRAWING REVIEWS, INSPECTIONS, ETC. AS REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION PRIOR TO ANY WORK.
 3. ANY REFERENCE TO FOUNDATION WORK WITHIN THESE DRAWINGS SHALL BE USED AS A REFERENCE ONLY. ALL FOUNDATION DESIGN SHALL BE PERFORMED BY A LICENSED ENGINEER. THE OWNER SHALL OBTAIN A SOILS ANALYSIS, REPORT AND RECOMMENDATION FROM A LICENSED ENGINEER AND PROVIDE COPIES TO THE CONTRACTOR AND THE FOUNDATION ENGINEER PRIOR TO CONSTRUCTION.
 4. ALL STRUCTURE SHOWN ON THE ARCHITECTURAL SHEETS FOR THIS RESIDENTIAL PROJECT ARE FOR DESIGN INTENT ONLY. FOR ACTUAL DETAILS, SIZES AND DIMENSIONS OF STRUCTURAL ELEMENTS, SEE STRUCTURAL DRAWINGS PROVIDED BY CONTRACTOR PREPARED BY LICENSED STRUCTURAL ENGINEER. THIS INCLUDES SIZES OF INTERIOR JOISTS, BEAMS, WALL CONSTRUCTION, FOUNDATION DESIGN, PIERS, GIRDERS, AND ANY TRUSSES REQUIRED FOR THIS PROJECT. ANY ALTERATION TO JOIST SIZE, SPACING OR SPAN MUST BE APPROVED BY LICENSED STRUCTURAL ENGINEER PRIOR TO START OF CONSTRUCTION.
 5. ALL PLAN DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
 6. ALL TOILET & LAUNDRY WET WALL FRAMING SHALL BE 2X6 MIN.
 7. VERIFY FINAL APPLIANCE AND ROOM FINISH SELECTIONS WITH OWNER.
 8. VERIFY WINDOW SIZE, HEADER, AND LITE DIVISION PRIOR TO ORDERING UNITS. ALL WINDOWS SHALL BE A MINIMUM 1/2" THICK INSULATED LOW-E WINDOW UNITS WITH SGHC OF 39 OR LESS.
 9. AIR CONDITIONING UNITS LOCATED IN ATTIC SET IN A GALVANIZED IRON SAFETY PAN WITH DRAIN TO SOFFIT. VERIFY SIZE AND LOCATION WITH MECHANICAL CONTRACTOR.
 10. WATER HEATERS LOCATED IN ATTIC IN 3' X 3' X 6" GALVANIZED IRON SAFETY PAN WITH DRAIN TO EXTERIOR. VERIFY SIZE AND LOCATION WITH PLUMBING CONTRACTOR.
 11. PROVIDE 3/4" PLYWOOD FLOORING AT ATTIC. VERIFY AMOUNT AND LOCATION WITH OWNER.
 12. LAYOUT FOUNDATION FROM ARCHITECTURAL DRAWINGS ONLY!!!
 13. VERIFY FINISHED FLOOR ELEVATIONS PRIOR TO POURING SLAB.
 14. SLOPE FLOOR AT GARAGE, PORCHES, ETC. AS INDICATED ON PLANS.
 15. ANY ALTERATION OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF DESIGNER VOIDS ANY LIABILITY PERTAINING TO THESE CHANGES OR WHAT THEY MAY AFFECT.
 16. CONTRACTOR SHALL COORDINATE A/C - HEATING SYSTEM WITH MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION. VERIFY JOIST SPACING AND DIRECTION OF SPAN WITH DUCT ROUTE REQUIREMENTS PRIOR TO CONSTRUCTION.
 17. ALL PLUMBING VENTS ARE TO BE ROUTED TO THE REAR ROOFS AND SHALL NOT BE VISIBLE FROM THE STREET. PAINT EACH TO MATCH THE ROOF.



1 FIRST FLOOR PLAN
A1 SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
A1 SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

MARK	SIZE	DESCRIPTION	QTY.
1	20'-0" X 7'-0"	EXTERIOR GARAGE DOOR	1
2	3'-0" X 6'-8"	EXTERIOR RAISED PANEL DOOR	3
3	2'-8" X 6'-8"	INTERIOR RAISED PANEL DOOR	1
4	2'-4" X 6'-8"	INTERIOR RAISED PANEL DOOR	1
5	4'-0" X 6'-8"	INTERIOR RAISED PANEL SLIDING DOOR	1

- OPENING NOTES:
1. VERIFY ALL FINISHES, DOOR STYLES & MATERIALS W/ OWNER PRIOR TO BIDDING.
 2. ALL GLASS IN DOORS SHALL BE TEMPERED

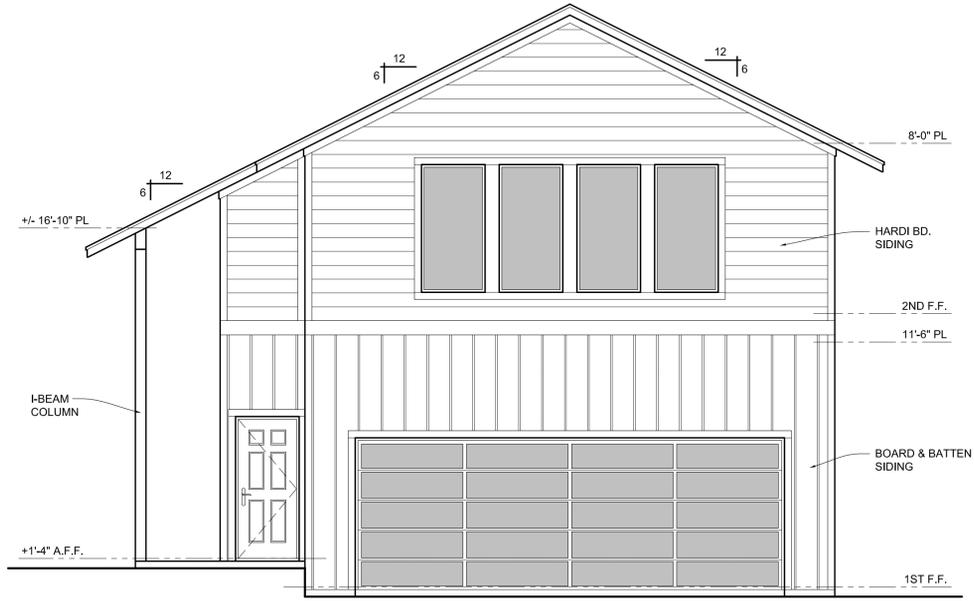
WINDOW SCHEDULE

MARK	SIZE	HDR. HT.	DESCRIPTION	QTY.
A	3'-0" X 6'-0"	9'-10" A.F.F.	VINYL 1 LITE SINGLE HUNG WINDOW, 1/2" INSULATED LOW "E"	3
B	3'-0" X 6'-0"	7'-0" A.F.F.	VINYL 1 LITE SINGLE HUNG WINDOW, 1/2" INSULATED LOW "E"	8

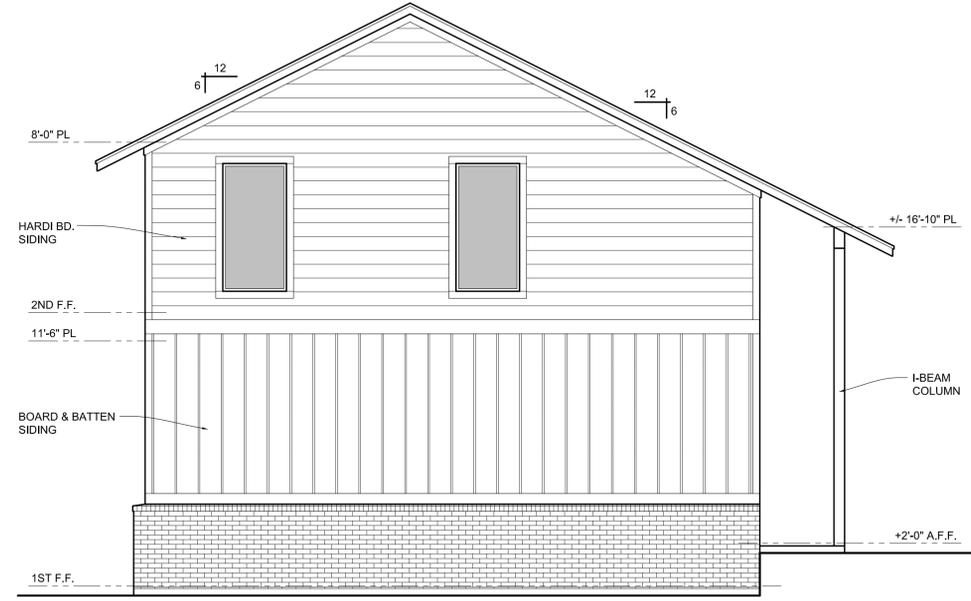
- WINDOW NOTES:
1. VERIFY ALL FINISHES & MATERIALS PRIOR TO BIDDING.
 2. ALL WINDOWS SHALL BE 1/2" LOW "E" INSULATED WINDOWS.
 3. ALL WINDOWS AT BEDROOMS SHALL MEET THE MINIMUM EGRESS OPENING REQUIREMENTS OF THE I.R.C. THE GENERAL CONTRACTOR SHALL VERIFY THE UNITS MEET THESE REQUIREMENTS PRIOR TO ORDERING. PROVIDE LARGER UNITS WHERE REQUIRED.
 4. PROVIDE TEMPERED GLASS FOR ALL GLASS UNIT LESS THAN 16" A.F.F. AND WITHIN 24" OF ANY DOOR. CONTRACTOR AND SUPPLIER SHALL VERIFY AND MEET ALL WINDOW AND GLASS REQUIREMENTS WITH THE CURRENT INTERNATIONAL RESIDENTIAL BUILDING CODE (I.R.C.) FOR ALL INSTALLED WINDOW UNIT SYSTEMS.

SQUARE FOOTAGE:

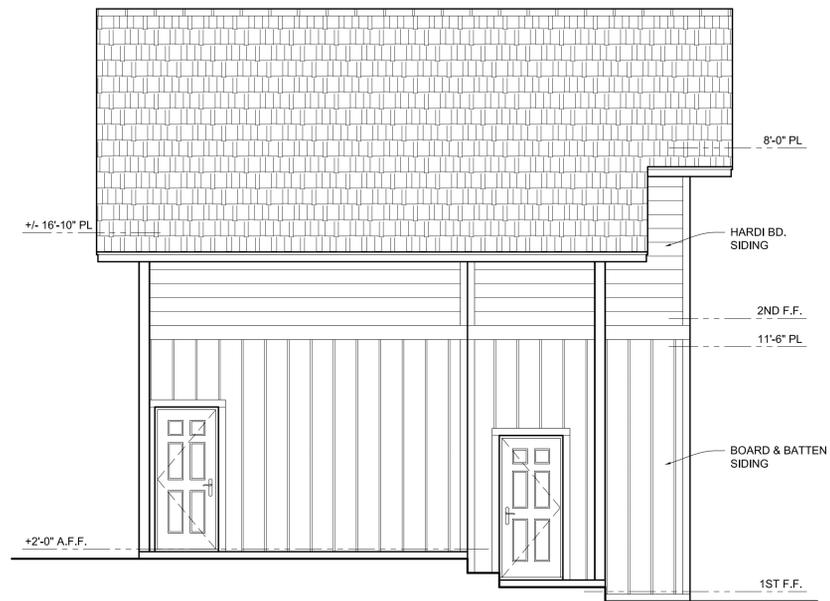
FIRST FLOOR LIVING	69 SF
SECOND FLOOR LIVING	633 SF
TOTAL LIVING:	702 SF
C.V.D. PORCH	114 SF
2-CAR GARAGE	643 SF
TOTAL AREA UNDER ROOF:	1,459 SF



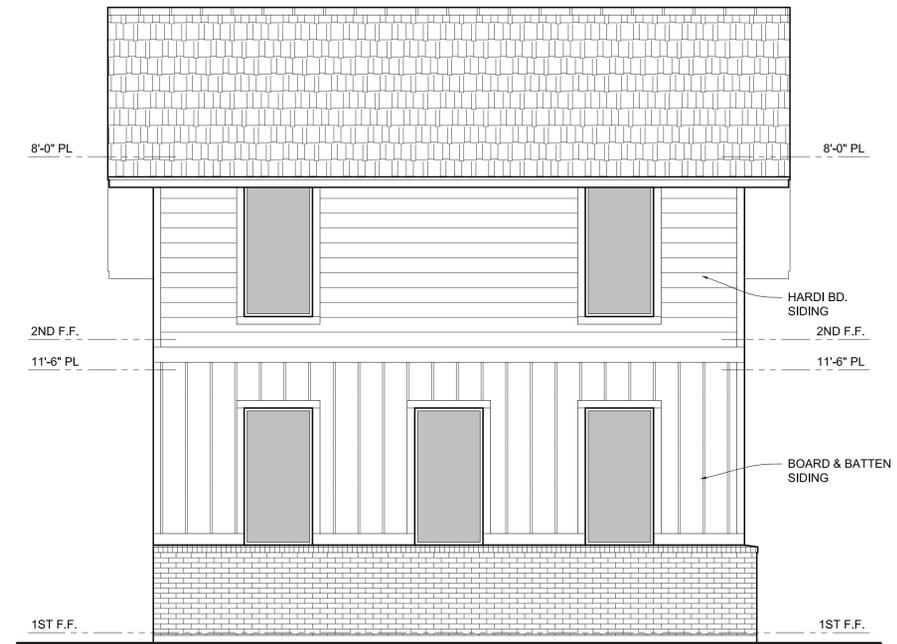
1 FRONT ELEVATION
 A2 SCALE: 1/4" = 1'-0"



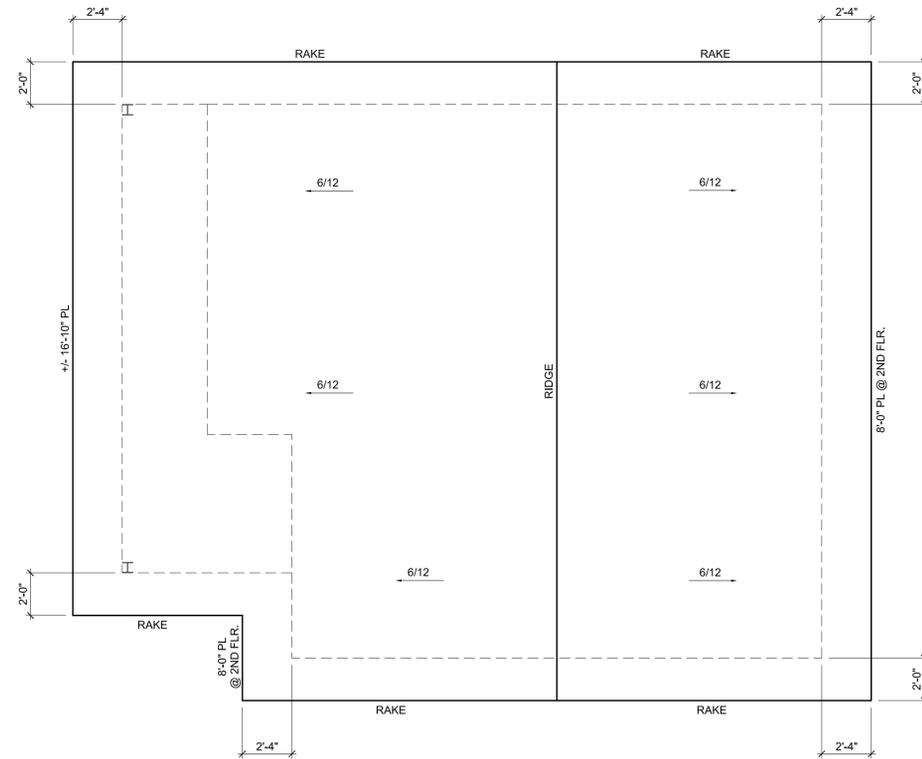
2 REAR ELEVATION
 A2 SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION
 A2 SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION
 A2 SCALE: 1/4" = 1'-0"



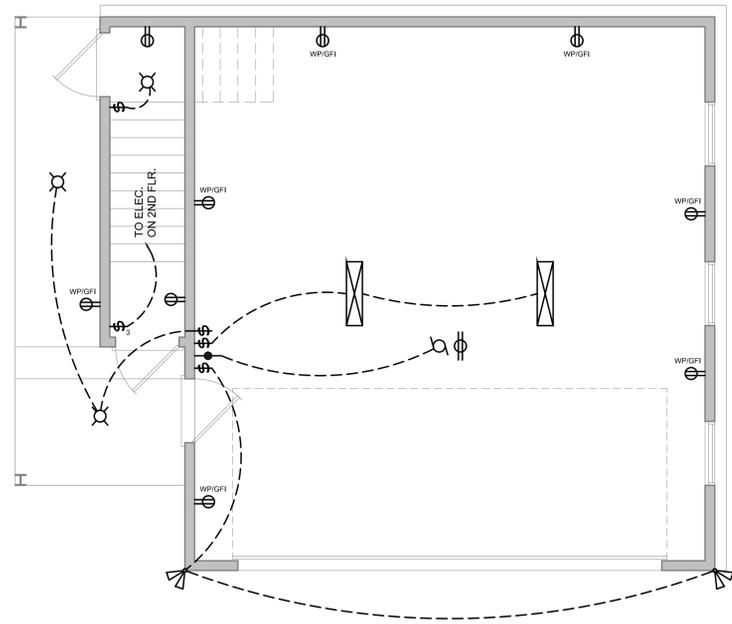
1 ROOF PLAN
 A3 SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL 1-HR. FIRE RATE ALL SOFFITS WHICH EXTEND BEYOND THE BUILDING SETBACKS. VERIFY ON JOB.

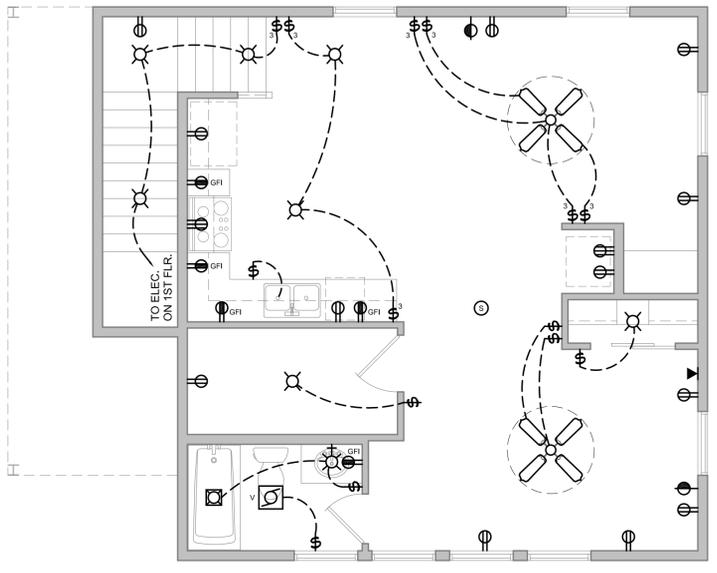
A NEW GARAGE ADDITION FOR:
138 MEADOWBROOK LANE
 TERRACE ACRES - LOT 4 BLOCK A
 DAVIDSON, NC 28036

DATE
 11/07/18
 SCALE
 AS NOTED
 SHEET

A3



1 ELECTRICAL FIRST FLOOR PLAN
 A4 SCALE: 1/4" = 1'-0"



2 ELECTRICAL SECOND FLOOR PLAN
 A4 SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS	
	CEILING FAN W/ LIGHT FIXTURE
	110V DBL. RECEPTACLE
	GROUND FAULT INTERRUPT RECEPTACLE
	GROUND FAULT INTERRUPT RECEPTACLE @ COUNTERTOP HEIGHT
	WATERPROOF OUTLET
	220V RECEPTACLE
	110V CEILING RECEPTACLE
	110V FLOOR RECEPTACLE (VERIFY IN FIELD)
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	DIMMER SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE (EYEBALL)
	ELECTRIC MOTOR
	VENT / LIGHT
	HEAT / VENT / LIGHT
	FLUORESCENT LIGHT FIXTURE
	FLOOD LIGHT
	C.A.T.V. OUTLET
	TELEPHONE OUTLET
	DOOR CHIMES
	PUSH BUTTON
	THERMOSTAT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	UNDER CABINET LIGHT FIXTURE

- ELECTRICAL NOTES:**
1. ALL ELECTRICAL INSTALLATION SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND ALL STATE AND LOCAL CODES. ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OR APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
 2. GROUND FAULT INTERRUPT SHALL BE PROVIDED AT ALL RECEPTACLES LOCATED IN BATHROOMS, EXTERIOR, GARAGE, OR WITHIN 5'-0" OF ANY SINK OR TUB.
 3. VERIFY WITH OWNER AS TO LOCATIONS OF EXTERIOR LIGHTING AND SWITCHING LOCATIONS.
 4. PROVIDE AT LEAST ONE SMOKE DETECTOR ON EVERY LEVEL, IN EACH SLEEPING AREA, AND OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM, MAXIMUM 12 FEET. SMOKE DETECTORS SHALL BE HARD WIRED, INTER-CONNECTED AND WITH BATTERY BACKUP AS PER IRC R317.1.

A NEW GARAGE ADDITION FOR:
138 MEADOWBROOK LANE
 TERRACE ACRES - LOT 4 BLOCK A
 DAVIDSON, NC 28036

DATE
 11/07/18
 SCALE
 AS NOTED
 SHEET

A4



Agenda Title: Davidson Green School FYI

Summary:

ATTACHMENTS:

	Description	Upload Date	Type
▢	Davidson Green School FYI Accessory Structure	4/11/2019	Exhibit

Town of Davidson, NC
Design Review Board: Staff Analysis
March 27, 2019

Project: Davidson Green School Accessory Building FYI
Location: 511 South Main Street (Parcel ID 00705101)
Applicant: Jennifer Jakubecy
Designer: NA – FYI Review
Planning Area: Village Infill (Purple Overlay)

This is an FYI review. The applicant would like to hear feedback regarding a proposed accessory structure at the Davidson Green School. An existing accessory structure on site will be replaced with a new accessory structure to the rear of the principal structure. The structure will include a basement, first floor, and attic space. The proposed accessory structure will have a first floor footprint of 650 square feet. The basement footprint is shown at approximately 1,024 square feet (32' x 32'). The height of the proposed structure will not exceed the height of the primary structure.

Design and colors of the proposed accessory structure will mimic the principal structure as much as possible, including white clapboard siding, khaki trim around windows and along the roofline, a green front door, and a green half-moon accent window above the front door. The roof will be dark grey architectural shingles.

The applicant is open to design feedback and alternative ideas from the DRB.

DAVIDSON PLANNING ORDINANCE:

Section 4.4.1 Standards

E. Materials

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*
3. *All sides of the building should use materials consistent with those on the front if visible from public streets or neighboring properties, and should be carefully designed with similar detailing, comparable quality, and compatible materials.*
4. *Building materials and colors shall be:*
 - a. *Complementary to the materials already being used in the neighborhood, or*
 - b. *If dissimilar materials are being proposed, other characteristics such as scale, proportion, form, architectural detailing, color, and texture shall be used to ensure that the building relates to the rest of the neighborhood.*

F. Architectural Details

1. *Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows*

shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.

- 4. Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*

Section 4.5.8 Accessory Structures

B. Size of Accessory Structure

- 1. Materials shall be selected for suitability to the type of building and design for which they are used.*
- 2. Any accessory structure over 650 square feet of first floor area and all accessory structures ancillary to non-residential building types shall be reviewed by the Design Review Board, in accordance with the procedures in Section 14.*
- 3. The height (elevation above mean sea level) of an accessory structure shall not exceed the height of the principal structure or may not exceed two stories, whichever is less.*

Section 16 Definitions

Basement:

Area of house under roof, under the finished floor elevation. Basement floor will not be included in FAR Calculations.

Finished Floor Elevation:

The elevation of the floor of the first floor of a building (excluding basements) above mean sea level.

T:\Planning_Shared_(Common)\04.BOARDS COMMISSIONS\Design Review\Agenda Packets\2019 DRB Agendas\20190417_DRB-Agenda\2. 20190417 Davidson Green School FYI - Staff Analysis

Submitted
as FYI



Design Review

DGS Accessory Building
(Name of Project)

Contact Information

Applicant's Information

Name: Jennifer Jakubecy
E-Mail: Jennifer@DavidsonGreenSchool.org
Mailing Address: 511 S. Main Street
Davidson, NC 28036
Business Phone: _____ Mobile Phone: 540-273-1000

Property Owner's Information

(If Different from Applicant)

Name: Jennifer Jakubecy + Jill Jacobson
E-Mail: Jennifer@DavidsonGreenSchool.org
Mailing Address: 310 South Street
Davidson, NC 28036
Business Phone: _____ Mobile Phone: 540-273-1000

Architect's Information

Name of Firm: _____
Architect's Name: _____
E-Mail: _____
Mailing Address: _____

Business Phone: _____ Mobile Phone: _____



Design Review

DGS Accessory Building
(Name of Project)

Project Description

Application Date: March 25, 2019

Project Location: 511 S. Main St., Davidson

Tax Parcel(s): 00705101

Planning Area: Village Infill

Overlay District: Purple Overlay

Master or Cond. Plan
(Attach Conditions of Approval)

Gen. Statement of Intent: See attached.

Project Details:

- Project Type:
 - Individual Bldg.
 - Master Plan
 - Conditional Planning Area
 - Sign
- Building Type:
 - Detached House
 - Townhouse
 - Attached House (Tri- or Quadplex)
 - Institutional
 - Live/Work
 - Multi-family (Apts., Condos, Flats)
 - Workplace
 - Storefront
 - Accessory Structure
- Use(s): Education
- Height & Stories: 1 story
- Square Footage: 1st: 1033.75 Basement: 1040
- Building Materials: Wood

Architectural

Features: _____

Existing Site

Conditions: _____

See 14.12.2.D



Design Review

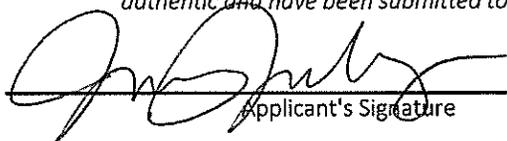
DGS Accessory Building
(Name of Project)

Application Requirements

Date Received

- Application Fee per Town of Davidson Fee Schedule
- Contact Information
- General Statement of Intent
(Use, building type, approx. square footage, height, design features)
- Statement of Compliance with Section 2
- Master Plan or Conditional Planning Area
(Including all documents, plans, maps, and conditions of approval)
- Environmental Inventory in accordance with Section 14.15.1
(Including adjacent properties and buildings)
- General Description
(Including a description and color photographs to existing / adjacent site)
- Site Schematic Design in accordance with Section 14.15.7
- Building Schematic Design in accordance with Section 14.15.3
(Including rendered elevations of each façade per 14.15.3 C)
- Landscape Schematic Design in accordance with Section 14.15.5
- Building Perspective
- Building Materials/Colors
(Roofing, siding, doors, windows, etc.)

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.



Applicant's Signature

3/25/19
Date



Design Review

DGS Accessory Building

(Name of Project)

Development Process

Date Completed	Outline of Steps & Checklist
_____	<input type="checkbox"/> 1. Initial Meeting
_____	<input type="checkbox"/> 2. Application and Fee
_____	<input type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
_____	<input type="checkbox"/> 4. Planning Director Site Schematic Design Review
_____	<input type="checkbox"/> 5. Design Review Board Approval
_____	<input type="checkbox"/> 6. Building Construction Documents
_____	<input type="checkbox"/> 7. Site and Landscape Construction Documents
_____	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
_____	<input type="checkbox"/> 9. Building Permit Approval
_____	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
_____	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
_____	<input type="checkbox"/> 12. Certificate of Occupancy

** For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*

DRB Application Narrative

Project name: DGS Accessory Building

Project location: 511 S. Main Street, Davidson

Thank you for allowing me to submit this application and packet of materials to the Design Review Board as an "FYI". The purpose of this FYI is to gather information and feedback on direction and feasibility. As such, this project has not gone to an architect yet. The information we obtain through the FYI will inform the next steps of this project. The drawings submitted are not meant to take the place of architectural drawings. My hope is they are sufficient at this stage to give you enough information to guide us on the next steps of the project.

General Statement of Intent:

The proposed project is to make improvements to an existing accessory structure. The existing structure would be replaced by a new structure to provide adequate space for the existing activities. In keeping with the Town Ordinance of 4.5.8, the proposed accessory structure will have a first floor footprint of less than 650 square feet, and the height shall not exceed the height of the principle structure. The accessory building will include a basement, a first floor, and attic space. The building will be used for classrooms and storage.

The project will provide space for our current activities and current number of students. We will not grow in student body. Because of our pedagogical approaches, we must maintain the small number of students and low student to teacher ratio. For example, we average 4 field trips per month, and upward of 7 overnight student trips per year. We also do the majority of our learning activities through hands-on projects. Growing in numbers would be detrimental to our mission as a school. The new structure would provide space for two of our current classes, and open up other space for a library, an art room, and makers'/engineering space.

General Description:

The proposed structure is behind the principle structure and cannot be seen from the public right of way (see photos taken from right of way). It will be in character with the principle structure as the design and colors mimics the principle structure as much as possible.

Just like the principle structure, the proposed structure will use white clapboard siding, khaki trim around the windows and roof line, a spring green front door, and a green half-moon accent window above the front door (see picture of principle building). The roof will be dark gray architectural shingles. The first floor of the proposed building will be 633.75 square feet and the basement will be 1040 square feet. Because of the slope of the property, the overall height of the building will be substantially below the height of the principle structure.

We hope to start this project as soon as possible and finish before August 2020.

Statement of Compliance:

To the best of our knowledge, this project complies with the Town Ordinance in all applicable ways.

Alternative ideas:

As this is an FYI, we are open to considering other ways of achieving our goal.

In discussions with members of the Planning Department, we were advised that an option would be to add onto the principle building. While this approach would give us the potential for overall more space compared to the limited space of the accessory building (the floor-area ratio is calculated upward of 18,000 square feet for the principle building), this would be seen by the public right of way, significantly change the character of the historic principle building, and change the visual entrance of Davidson. However, if this is a recommendation of the DRB, we can revisit this idea.

We have also discussed the possibility of changing locations. For multiple reasons, we would love to stay in Davidson, but also, if sold, this historic home would be a tear down, and most likely replaced by high density housing in keeping with new development near by. This would significantly change the character of this property and the entrance of Davidson.

We feel that the accessory building we have proposed is in-line with the values and spirit of Davidson and complies with the Town Ordinance.

Thank you for your consideration and we look forward to your feedback.



Principle Building

The proposed accessory building will use the same materials and colors as the principle building.



View from the driveway entrance off of Twin Oaks Road. The proposed building site cannot be seen from the public right of way.



View from the driveway exit off of S. Main Street. The proposed building site cannot be seen from the public right of way.

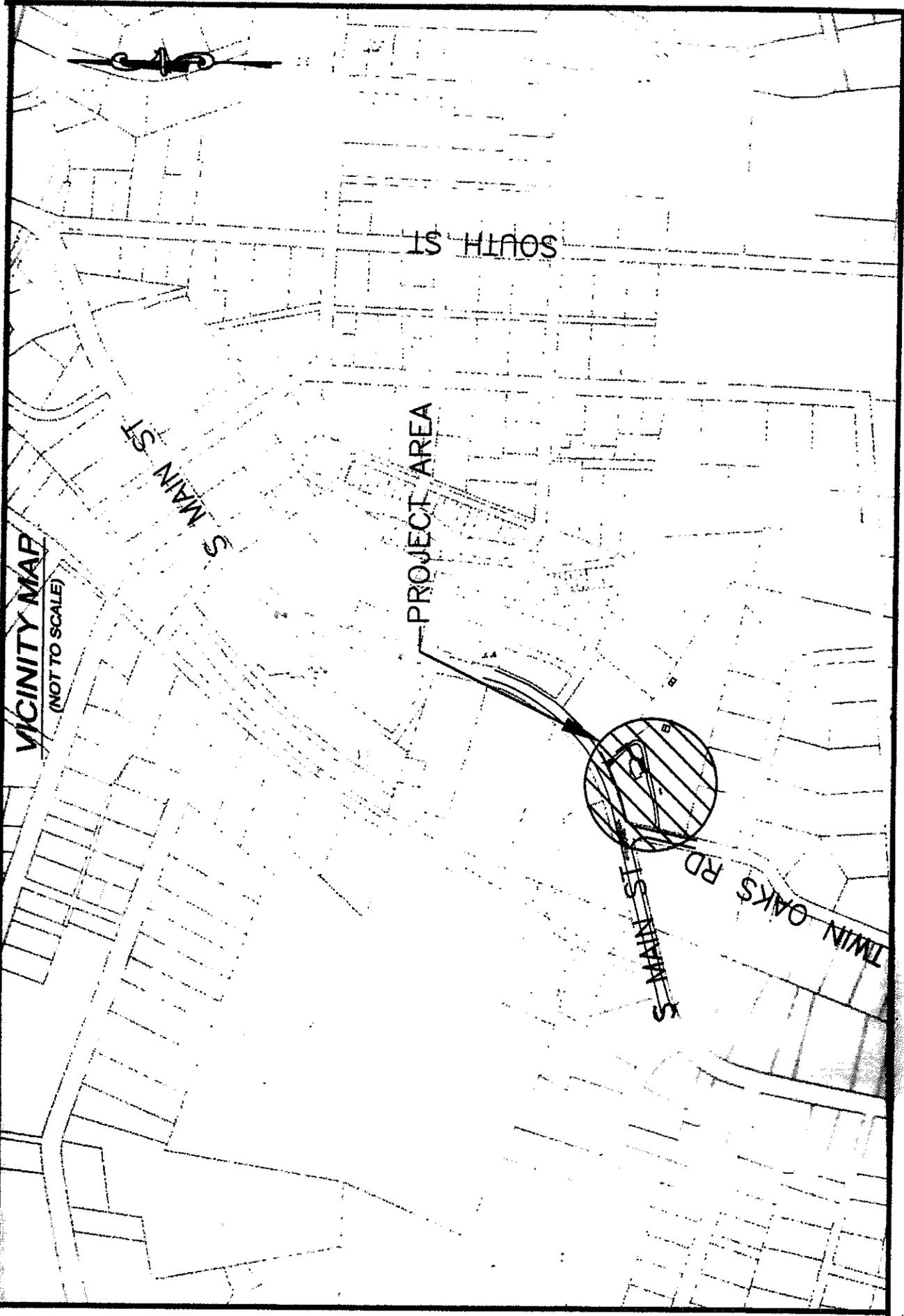


Current accessory building

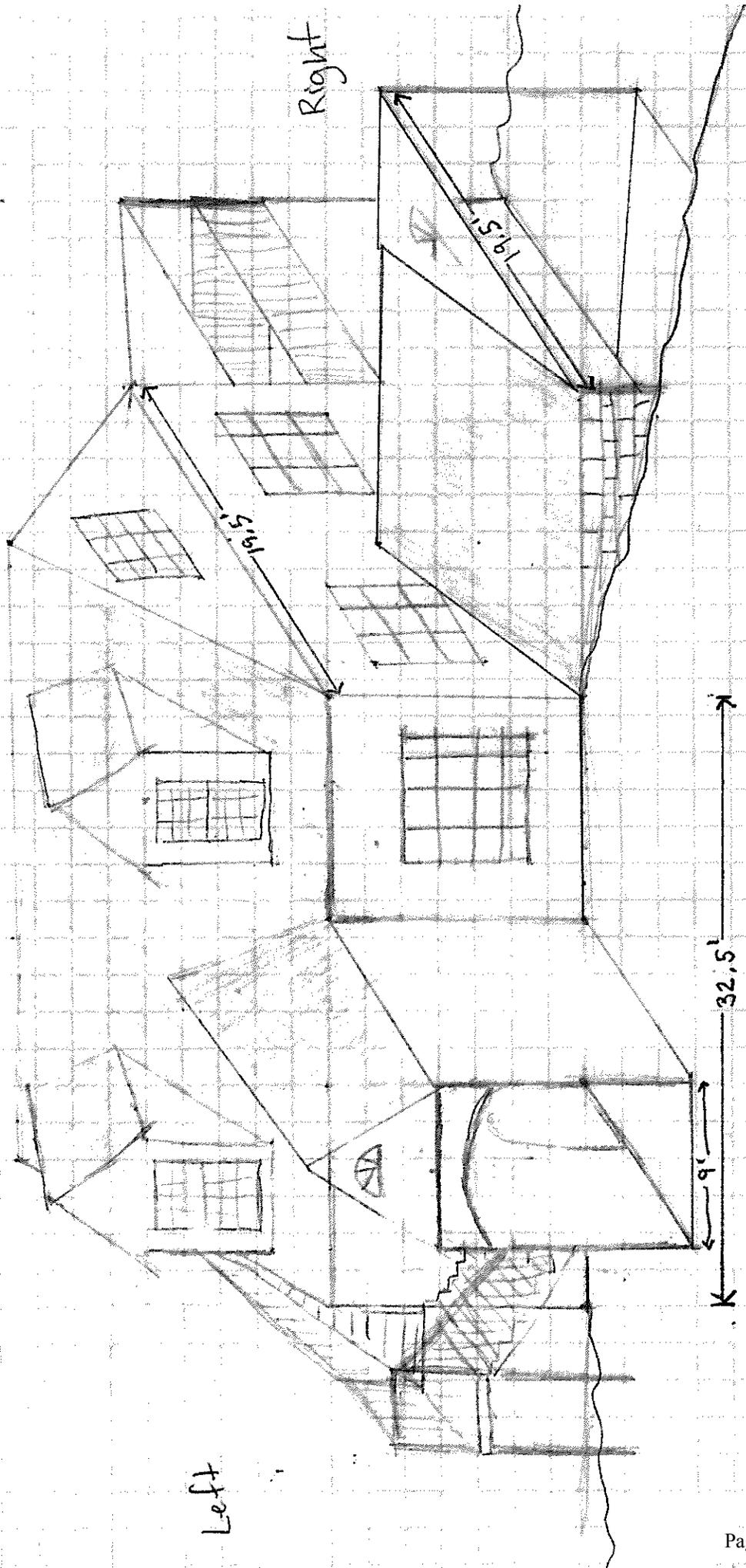


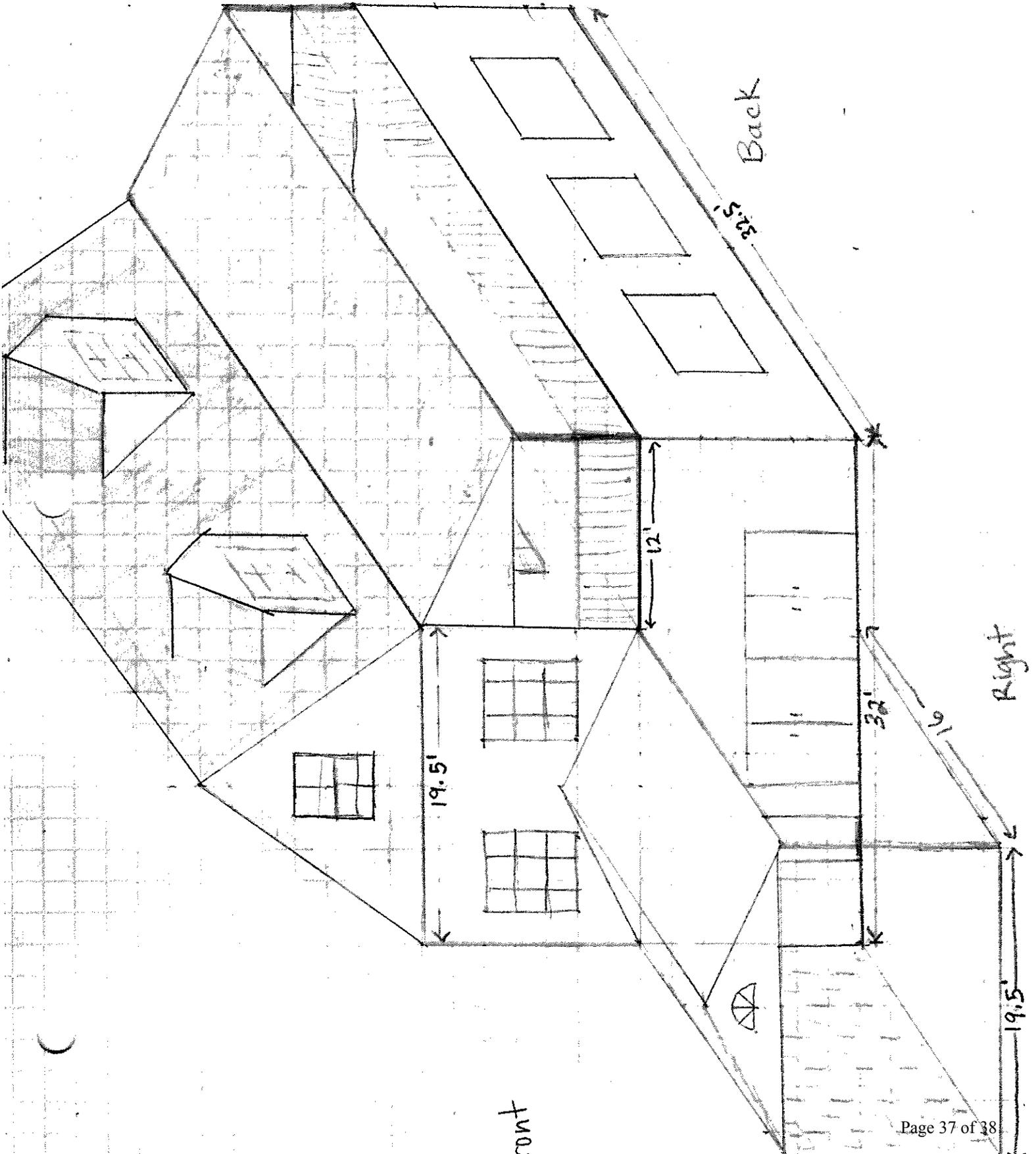
Approximate location of proposed accessory building in relation to existing building.

VICINITY MAP
(NOT TO SCALE)

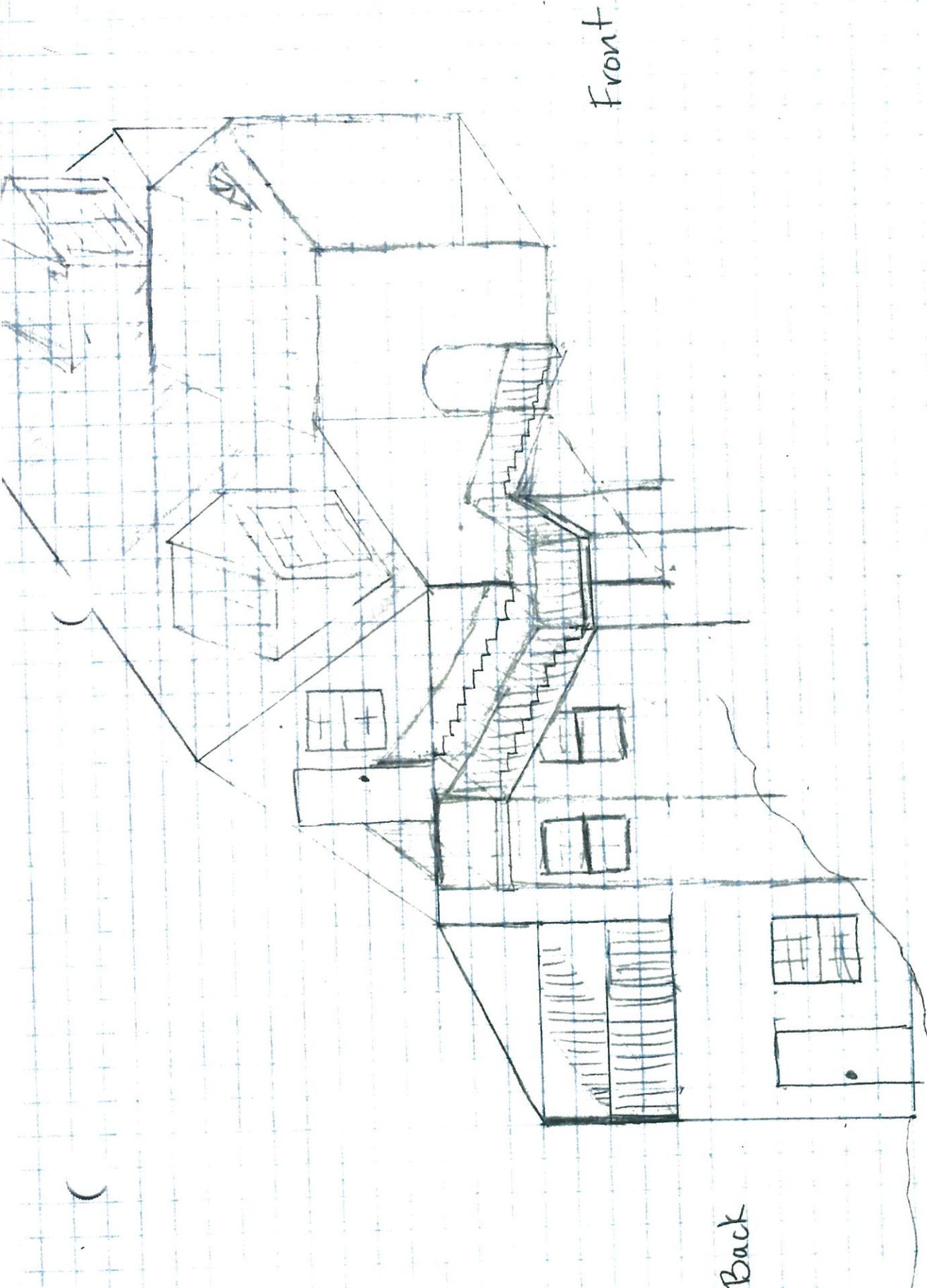








cont



Front

Left

Back