



**TOWN OF DAVIDSON  
DESIGN REVIEW BOARD  
7:00PM Board Room in Town Hall a 216 S Main St, Davidson, NC**

**August 21, 2019**

- 
- I. CALL TO ORDER**
  - II. SILENT ROLL CALL**
  - III. CHANGES TO THE AGENDA**
  - IV. REVIEW/APPROVAL OF THE MINUTES**
    - (a) Minutes 2019 July 17
  - V. OLD BUSINESS**
  - VI. NEW BUSINESS**
    - (a) Davidson Gateway Building FYI
  - VII. OTHER ITEMS**
  - VIII. ADJOURN**



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**Agenda Title:** Minutes 2019 July 17

**Summary:**

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**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
☐ Minutes 2019 July 17	8/12/2019	Exhibit

# Meeting Minutes

## Design Review Board

Town of Davidson, NC  
July 17, 2019

A meeting of the Town of Davidson *Design Review Board* was held in the Town Hall, Board Room, 216 S. Main St.

**Call to Order:** 7:01 p.m.

### Silent Roll Call and Determination of Quorum:

Members Present signified by :

Bruce Barteldt, Chair

Tom Goodwin, Vice

Chair

Mike Kessler

John Burgess

Brian Bumann

Bob Sipp

EB Dyer

Lorraine Degree

Jeff Osman

Town Staff Present: Lindsay Laird (Planner)

**Changes to the Agenda:** None.

### Review/Approval of the Minutes

A motion was made (BSipp) to approve the meeting minutes of June 19, 2019 as submitted. It was seconded (BBumann) and the motion was approved unanimously.

**Consent Item:** None.

### Old Business:

#### 1. Wells Fargo ATM (Continued)

Located at 601 Griffith St (Parcel ID 00321403)

Special Use Planning Area

Proposed ATM; approved under 1997 SUP

Lindsay Laird gave an overview of the project, noting that there is a Special Use Permit associated with the property which allows for a standalone ATM on site. The proposed ATM will be located on the existing cement pad at the corner of the parking lot, near the Griffith Street and Jetton Street roundabout. The DRB discussed the following conditions, which the applicant addressed with updated renderings of the proposed ATM:

1) the ATM enclosure shall be clad in brick to match adjacent buildings, 2) the electrical meter shall be reoriented so that it faces away from the side of the ATM structure and does not face the parking lot or the street, 3) the color of the light pole base and clearance bar shall be painted to match the meter pedestal (bronze), and 4) the signage on top of the ATM canopy shall not be internally illuminated.

After additional discussion, a motion was made (BBumann) to approve the proposed project with a fifth condition: that the new cut off light shall not exceed 1-2' in height above the existing light pole (to be removed) and the new light shall be shielded from Griffith and Jetton Streets. The motion was seconded (MKessler) and approved unanimously.

**New Business:** None.

**Other Items:** None.

**Adjourn:** A motion was made to adjourn (BSipp), seconded (LDegree), and approved unanimously. The meeting was adjourned at 7:10 pm.

**Approval of Minutes:**

Date: \_\_\_\_\_ By: \_\_\_\_\_

**Please note: This is a summary of the meeting and not to be considered a complete transcript.**



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**Agenda Title:** Davidson Gateway Building FYI

**Summary:**

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**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>
▣ Davidson Gateway Building FYI	8/15/2019	Cover Memo

**Town of Davidson, NC**  
**Design Review Board: Staff Analysis for FYI Review**  
**August 21, 2019**

**Project:** Davidson Gateway Building FYI  
**Location:** 635 Davidson Gateway Drive (Parcel ID 00321117)  
**Applicant:** David Martini-Plank  
**Designer:** David Martini-Plank, Architect  
**Planning Area:** Central Business District

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This is an FYI review. The applicant proposes a new four-story commercial/office building at 635 Davidson Gateway Drive, which is part of the 1998 Southeast Quadrant Master Plan. The proposed building will be +/- 34,264 square feet total, with restaurant space on the first floor, office space on the second and third floors, and roof top event space on the fourth floor. The first floor will also have a large +/- 2,049 square foot patio off the south side of the building. The exterior building materials will primarily be brick, glass, and stucco (less than 25% per façade).

**DAVIDSON PLANNING ORDINANCE:**  
**4.4 GENERAL BUILDING DESIGN REQUIREMENTS**  
**Section 4.4.1 Standards**

**B. Form and Massing**

2. *For large scale buildings, the front façade shall create repetitive bays, or the façade shall be divided into an asymmetrical, yet balance composition.*

**C. Facade Articulation**

*All building facades visible from a public street or park/open space shall have:*

1. *A recognizable base, distinguished from the body of the building by features such as, but not limited to:*
  - a. *Thicker walls, ledges or sills;*
  - b. *Visually heavier materials (such as brick, stone, tile or other masonry) than those used on the body of the building; and/or*
  - c. *Lighter or darker colored materials, mullions, panels or planters.*
2. *A recognizable top, occupying the highest portion of the building and distinguished from the body of the building by features such as, but not limited to:*
  - a. *A dimensional cornice capping the top of a building wall;*
  - b. *Different materials or differently colored materials;*
  - c. *A roof overhang with brackets; and/or*
  - d. *Stepped parapets.*
3. *Large building facades shall be modulated through the use of repetitive bays separated by piers or columns, the use of reveals or recesses in the surface of the wall itself, the placement of window and door openings, or the placement of balconies, awnings, canopies, and sunshades.*

## **E. Materials**

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*
2. *Piecemeal embellishment and frequent changes in material should be avoided.*
3. *All sides of the building should use materials consistent with those on the front if visible from public streets or neighboring properties, and should be carefully designed with similar detailing, comparable quality, and compatible materials.*
4. *Building materials and colors shall be:*
  - a. *Complementary to the materials already being used in the neighborhood, or*
  - b. *If dissimilar materials are being proposed, other characteristics such as scale, proportion, form, architectural detailing, color, and texture shall be used to ensure that the building relates to the rest of the neighborhood.*
5. *All facades visible from a public street or park/open space shall utilize high-quality finish materials including, but not limited to:*
  - a. *Brick, masonry, or stone*
  - b. *Integrally tinted, textured masonry block*
  - c. *Stucco*
  - d. *Wood or cementitious siding*
  - e. *Glass*

*Stucco or EIFC system finished may be used as secondary materials and should not be greater than 25 percent of a façade.*

## **F. Architectural Details**

1. *Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.*
2. *Architectural treatments which create the appearance of false entrances facing the street are prohibited. Faux windows and doors are prohibited. Visible false fronts are prohibited.*
3. *Architectural elements like openings, sills, bulkheads, columns, and other architectural features shall be used to establish human scale at the street level.*
4. *Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*
6. *The main entry to a building should be emphasized at the street level. Appropriate methods include, but are not limited to:*
  - a. *Recessing the door within a larger cased opening.*
  - b. *Flanking the door with columns, decorative fixtures or other details.*
  - c. *An awning or canopy, providing a sheltered transition to the interior.*

### **4.5 SPECIFIC BUILDING TYPE REQUIREMENTS**

#### **Section 4.5.6 Storefront Building Type**

*Storefront buildings may accommodate either single or multiple uses or tenants in a single building. A group of storefront buildings may be combined to form a mixed-use neighborhood center. Individual storefront buildings shall be designed to accommodate commercial/retail uses on the first floor, though office or residential uses are permitted. Upper Floors are appropriate for office or residential use. They are a minimum of two stories, typically are aligned adjacent to the public sidewalk and include a high percentage of transparency in the ground level façade to*

*encourage pedestrian activity. All storefront buildings are subject to the Individual Building process and Design Review Board approval.*

- A. The first floor facing the primary streets shall be designed to accommodate retail uses.*
- B. At least 65% of the first floor façade between 2'-0" and 10'-0" above grade facing the primary streets must be transparent. At least 30% of the upper floors facades between 3'-0" and 120'-0" above finished floor must be transparent.*
- C. The first floor shall be taller than upper floors and lower floors should be differentiated architecturally to create a sense of human scale.*
- D. Building elements shall have a dominant vertical proportion.*
- E. All buildings shall provide street level, pedestrian-oriented, active uses on principal street fronts.*
- F. Large buildings fronting multiple streets should provide entrances from each street.*
- G. Major building entrances that provide access to the primary use of the building or a central lobby shall be distinguished from the entrances used for secondary uses.*
- H. The principal entrance to a building, and any ground-floor tenant space entrance, both functionally and architecturally, shall front the primary public street or a public open space such as a square, plaza, courtyard, or sidewalk.*



## Design Review Application Packet Table of Contents

### Introduction

1. Design Review Welcome Letter
2. Table of Contents

### Forms, Process, & Requirements

3. Overview: Design Review / Development Process
4. Application Requirements
5. Contact Information
6. Project Description
7. Statement of Compliance
8. Planning Ordinance Excerpt: Design Review Process & Documentation Requirements
9. Verification Process
10. Verification Letter – Construction Documents
11. Verification Letter – Construction / As-Built

### Mecklenburg County Requirements

12. Address Requirements
13. Air Quality Zoning Instructions

### Additional Information & Instructions

14. Planning Ordinance Excerpt: Termination of Applications & Approvals
15. Town of Davidson Fee Schedule



# Design Review

DAVIDSON GATEWAY CENTER

(Name of Project)

## Contact Information

### Applicant's Information

Name: DAVID MARTINI-PLANK, AIA.  
E-Mail: dmartiniplank@gmail.com  
Mailing Address: 143 VILLAGE VIEW DR.  
SUITE 203  
Business Phone: 704.777.4447 Mobile Phone: 704.777.4447.

### Property Owner's Information

(If Different from Applicant)

Name: NICK LYSSIKATOS  
E-Mail: NICK LYSSIKATOS@gmail.com.  
Mailing Address: 18665 HARBORSIDE DR.  
CORNELIUS, NC 28031.  
Business Phone: 704.987.2022 Mobile Phone: 704.301.9311.

### Architect's Information

Name of Firm: DAVID MARTINI-PLANK, ARCHITECT.  
Architect's Name: DAVID MARTINI-PLANK  
E-Mail: dmartiniplank@gmail.com  
Mailing Address: 143 VILLAGE VIEW DR.  
SUITE 203 MOORESVILLE, NC 28117  
Business Phone: 704.777.4447 Mobile Phone: 704.777.4447



# Design Review

DAVIDSON GATEWAY CENTER  
(Name of Project)

## Project Description

Application Date: 7.31.2019.

Project Location: 635 DAVIDSON GATEWAY DRIVE.  
DAVIDSON NC 28036

Tax Parcel(s): TAX PARCEL: 00321117

Planning Area: 1.227 ACRES

Overlay District: \_\_\_\_\_

Master or Cond. Plan  
*(Attach Conditions of Approval)* \_\_\_\_\_

Gen. Statement of Intent: DEVELOP 4 STORY MIXED USE  
OFFICE / RESTAURANT BUILDING  
WITH ROOF TOP EVENT PAVILION.

### Project Details:

• Project Type:  Individual Bldg.  Master Plan  Conditional Planning Area

Sign

• Building Type:  Detached House  Townhouse  Attached House (Tri- or Quadplex)

Institutional  Live/Work  Multi-family (Apts., Condos, Flats)

Workplace  Storefront  Accessory Structure

• Use(s): MIXED USE: OFFICE / RESTAURANT / EVENT

• Height & Stories: 4 STORIES 59'-2"

• Square Footage: 34,264 SF

• Building Materials: BRICK, GLASS, STUCCO, METALS

Architectural Features: BRICK ARCHES, EXPOSED STEEL  
ROOF TOP PAVILION & LARGE PATIOS

Existing Site Conditions: SLOPING 6'-7' GRASS LOT, SOFT SOIL  
W/ WATER TABLE ~ 15' BELOW GRADE

See 14.12.2.D





# Design Review

DAVIDSON GATEWAY CENTER  
(Name of Project)

## Application Requirements

Date Received

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

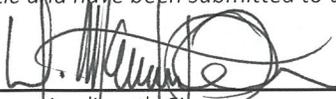
\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

- Application Fee per Town of Davidson Fee Schedule
- Contact Information
- General Statement of Intent  
*(Use, building type, approx. square footage, height, design features)*
- Statement of Compliance with Section 2
- Master Plan or Conditional Planning Area  
*(Including all documents, plans, maps, and conditions of approval)*
- Environmental Inventory in accordance with Section 14.15.1  
*(Including adjacent properties and buildings)*
- General Description  
*(Including a description and color photographs to existing / adjacent site)*
- Site Schematic Design in accordance with Section 14.15.7
- Building Schematic Design in accordance with Section 14.15.3  
*(Including rendered elevations of each façade per 14.15.3 C)*
- Landscape Schematic Design in accordance with Section 14.15.5
- Building Perspective
- Building Materials/Colors  
*(Roofing, siding, doors, windows, etc.)*

*As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.*

  
\_\_\_\_\_  
Applicant's Signature

7.31.2019.  
Date



# Design Review

DAVIDSON GATEWAY CENTER

(Name of Project)

## Development Process

Date Completed	Outline of Steps & Checklist
_____	<input checked="" type="checkbox"/> 1. Initial Meeting
_____	<input checked="" type="checkbox"/> 2. Application and Fee
_____	<input checked="" type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
_____	<input checked="" type="checkbox"/> 4. Planning Director Site Schematic Design Review
_____	<input type="checkbox"/> 5. Design Review Board Approval
_____	<input type="checkbox"/> 6. Building Construction Documents
_____	<input type="checkbox"/> 7. Site and Landscape Construction Documents
_____	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
_____	<input type="checkbox"/> 9. Building Permit Approval
_____	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
_____	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
_____	<input type="checkbox"/> 12. Certificate of Occupancy

*\* For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*

# Davidson Gateway Preconstruction

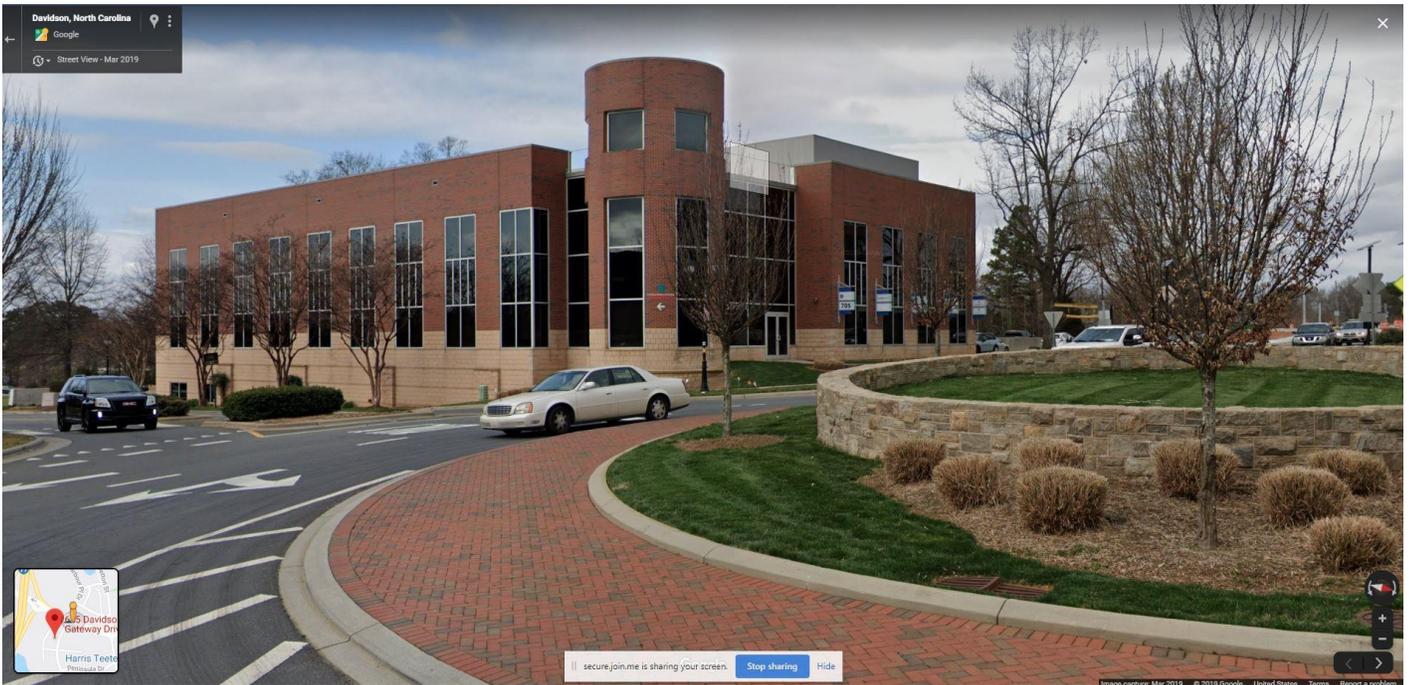
Task Name	Duration	Start	Finish	Predecessors	% Complete	Status
1 EPM APPROVAL	18d	06/21/19	07/16/19		100%	Submitted - waiting on redlines
2 KESSEL - REPORT	18d	06/20/19	07/15/19		100%	Waiting on report to Structures
3 FND DESIGNED	14d	07/16/19	08/02/19	2	0%	
4 FND PRICED	10d	08/05/19	08/16/19	3	0%	
5 COORDINATE ARCH W/STRUC	10d	08/05/19	08/16/19	3	0%	
6 STRUCTURAL DRAWINGS FINALIZED					0%	
7 COST FINALIZED	5d	08/19/19	08/23/19	4	0%	
8 FYI	2d	08/21/19	08/22/19		0%	
9 SUBMIT TO BANK	2d	08/27/19	08/28/19	7, 8FS +2d	0%	
10 DRB	2d	09/18/19	09/19/19		0%	
11 SUBMIT FOR SITE PERMIT	1d	09/03/19	09/03/19	7FS +6d	0%	
12 SUBMIT FOR STEEL PERMIT	1d	09/03/19	09/03/19	7FS +6d	0%	
13 SUBMIT FOR BUILDING PERMIT	1d	09/27/19	09/27/19	10FS +5d	0%	
14 PULL BLDG PERMIT	18d	09/30/19	10/23/19	13	0%	

# Davidson Gateway Building – Existing Conditions

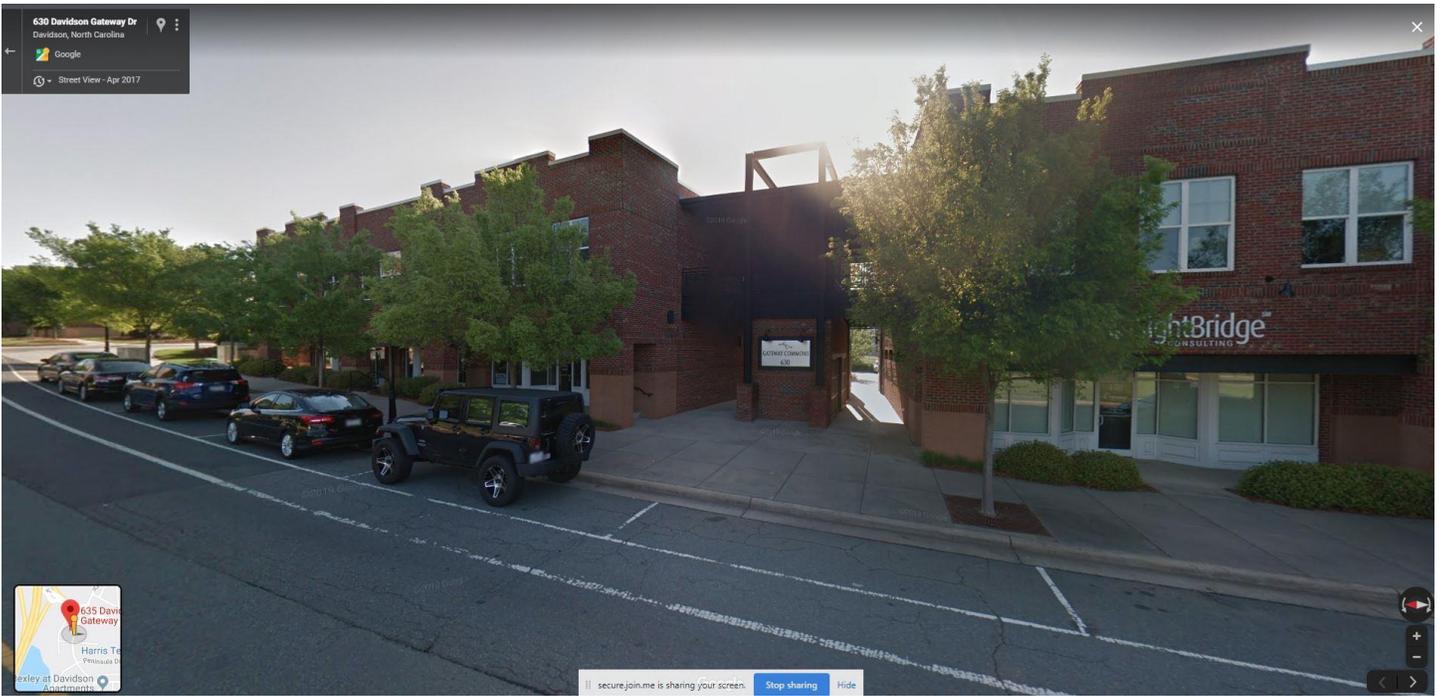
1. Existing Site (view from Davidson Gateway Drive towards the existing medical office building)



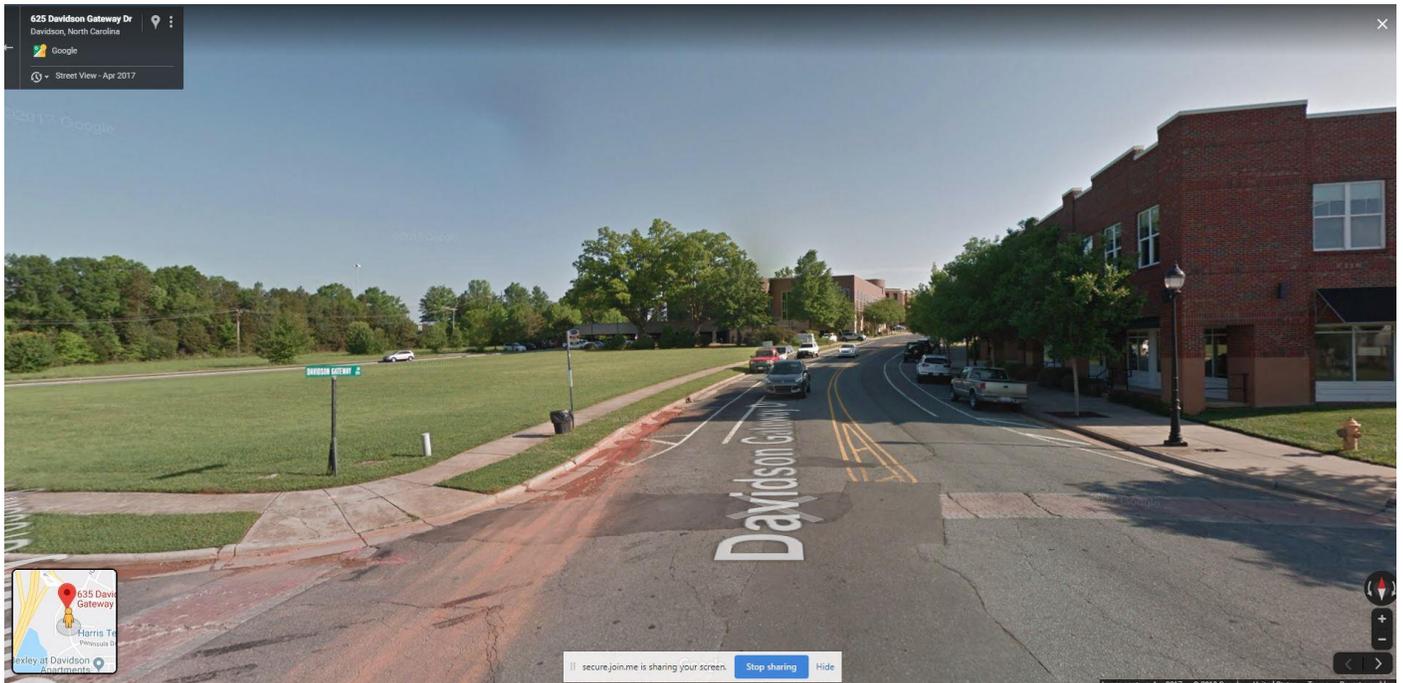
2. Existing Medical Office Building, (adjacent to subject site)



3. Existing Buildings (across Davidson Gateway Drive from subject site)



4. Existing Site (view from intersection of Davidson Gateway Drive and Gateway Crossing Drive)



# DAVIDSON GATEWAY CENTER

635 DAVIDSON GATEWAY DRIVE  
DAVIDSON NC 28036



## PROJECT CONTACTS

### OWNER:

NICK LYSSIKATOS

### ARCHITECT:

DAVID MARTINI-PLANK  
143 VILLAGE VIEW DRIVE SUITE 203  
MOORESVILLE, NC 28117  
704-777-4447  
DMARTINIPLANK@GMAIL.COM

### STRUCTURAL ENGINEER

JIM KUNKLE  
STRUCTURES INC  
344 ROLLING HILL RD.  
MOORESVILLE, NC 28117  
704-664-9824  
JIM@STRUCTURESINC.COM

### MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

TODD CAREY AND ASSOC.  
423 CANVASBACK RD.  
MOORESVILLE, NC 28117  
704-664-9824  
TODDCAREY@TODDCAREY.COM

### CIVIL ENGINEER:

PAUL CARTER  
EASTLAKE ENGINEERING, PLLC  
470 N BROAD STREET SUITE A  
MOORESVILLE, NC 28115  
865-816-4557  
PCARTERTN@GMAIL.COM

David Martini - Plank

ARCHITECT

### PROJECT TEAM:

#### ARCHITECT OF RECORD

David Martini - Plank, AIA  
NC Registration : 5453  
143 Village View Drive - Suite 203  
Mooreville, NC 28117  
704-777-4447  
dmartiniplank@gmail.com

Architecture  
Interiors  
Master Planning  
Development

#### GENERAL CONTRACTOR

Kearney Builders  
Ryan Kearney  
2915 Charlotte Highway  
Mooreville, NC 28117  
980-444-6510



#### PROJECT

DAVIDSON GATEWAY CENTER  
635 DAVIDSON GATEWAY DRIVE  
DAVIDSON NC 28036

Seal:

Issue Date:

07/31/19

TITLE SHEET

CS-100-00

SHEET:

**DAVIDSON GATEWAY CENTER PROJECT DATA:**

VICINITY MAP 635 DAVIDSON GATEWAY DRIVE  
DAVIDSON NC 28036



**GENERAL CONSTRUCTION REQUIREMENTS**

1. ALL WORK SHALL BE IN ACCORDANCE WITH 2012 NORTH CAROLINA STATE BUILDING CODE & AIA A201 GENERAL CONDITIONS (LATEST EDITION)
2. PRIOR TO PROJECT COMMENCEMENT, PROVIDE TO OWNERS SATISFACTION
  - A. APPROVED ACCESS FOR CONSTRUCTION PERSONNEL, EQUIPMENT AND MATERIALS PRIOR TO CONSTRUCTION.
  - B. APPROVED MEANS AND PATH FOR REMOVAL AND DISPOSAL OF DEBRIS OR MATERIAL FROM PROJECT SITE.
  - C. APPROVED SECURE LOCATION(S) FOR NEW MATERIALS, MATERIALS REMOVED DURING DEMOLITION FOR REUSE IN THE NEW CONSTRUCTION AND MATERIALS TO BE RETURNED TO BUILDING STOCK.
  - D. A VERIFIED LIST OF EXISTING MATERIAL QUALIFIED FOR REUSE IN NEW CONSTRUCTION OR RETURN TO BUILDING STOCK.
  - E. LIST OF REQUIRED SIGNAGE, COMPLIANT WITH MUNICIPAL CODES, ACCESSIBILITY GUIDELINES AND OWNER'S APPROVED PROPERTY STANDARDS SPECIFICATIONS
3. THE DOCUMENTS REFLECT CONDITIONS REASONABLY INTERPRETED FROM THE EXISTING VISIBLE CONDITIONS, OR FROM DRAWINGS OR INFORMATION FURNISHED BY THE OWNER. THE CONTRACTOR SHALL VISIT THE SITE AND BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND THEIR IMPACT ON THE SCOPE OF THE WORK. ANY DISCREPANCIES BETWEEN EXISTING AND INDICATED CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. WORK SHALL PROCEED ONLY WITH THE ARCHITECT'S APPROVAL.
4. SHOULD THE CONTRACTOR REQUIRE ANY ADDITIONAL DETAILS OR VERBAL CLARIFICATION NECESSARY FOR THE PROPER EXECUTION OF THE WORK, A WRITTEN REQUEST FOR INFORMATION SHALL BE SUBMITTED TO THE ARCHITECT IN A TIMELY MANNER SO AS NOT TO IMPEDE THE PROJECT SCHEDULE.
5. THE CONTRACTOR SHALL PAY FOR AND SECURE PERMITS, FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK UNLESS OTHERWISE INSTRUCTED BY THE ARCHITECT.
6. THE CONTRACTOR SHALL CARRY ALL INSURANCE IN ARTICLE II OF AIA A201, MOST RECENT EDITION. THE CONTRACTOR SHALL FILE CERTIFICATE OF INSURANCE ACCEPTABLE TO THE OWNER PRIOR TO THE COMMENCEMENT OF THE WORK.
7. THE CONTRACTOR SHALL BE AFFORDED ACCESS TO THE BUILDING IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BUILDING MANAGEMENT. THE REASONABLE USE OF THE BUILDING WATER, ELECTRICITY AND HVAC AS REQUIRED FOR THE EXECUTION OF THE WORK IS AVAILABLE TO THE CONTRACTOR AT NO CHARGE TO THE CONTRACTOR. THE CONTRACTOR MAY USE THE TOILET ROOMS AS DIRECTED BY THE BUILDING MANAGEMENT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WORK. ANY DAMAGE TO EXISTING WORK CAUSED AS A RESULT OF THE EXECUTION OF THIS PROJECT SHALL BE REPAIRED BY THE GENERAL CONTRACTOR, AS REQUIRED AT THE SOLE EXPENSE OF THE GENERAL CONTRACTOR.
9. UNLESS INSTRUCTED OTHERWISE BY THE OWNER'S AGENT, THE REMOVAL AND DISPOSAL OF DEMOLITION AND/OR CONSTRUCTION MATERIAL SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE FREE AND CLEAR OF ALL DEBRIS THROUGHOUT THE COURSE OF THE PROJECT. UPON COMPLETION OF THE WORK, THE ENTIRE CONSTRUCTION AREA, INCLUDING THE INTERIOR FACE OF GLAZING IS TO BE THOROUGHLY CLEANED.
10. THE MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL AND FIRE ALARM WORK PRESENTED IN THESE DOCUMENTS IS INTENDED TO SHOW THE GENERAL ARRANGEMENT AND LOCATION OF EXISTING AND PROPOSED FIXTURES AND ACCESSORIES. THE CONTRACTOR SHALL MODIFY EXISTING ELECTRICAL, PLUMBING, MECHANICAL AND FIRE PROTECTION SYSTEMS AS REQUIRED TO ACCOMMODATE THE NEW LAYOUT AND AS REQUIRED TO MEET ALL APPLICABLE BUILDING CODES.
11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL ENGINEERS PROVIDING DESIGN AND SPECIFICATION INFORMATION FOR THE MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL SYSTEMS.
12. ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION OF THE WORK. THIS GUARANTEE SHALL COVER ALL WORK BY THE GENERAL CONTRACTOR AND SUB-CONTRACTORS. ANY DEFECTS IDENTIFIED DURING THE GUARANTEE PERIOD SHALL BE REPAIRED, AS REQUIRED, AT NO ADDITIONAL COST TO THE OWNERS.
13. CONSTRUCTION DOCUMENTS HAVE BEEN DEVELOPED TO ACHIEVE GENERAL COMPLIANCE WITH CURRENTLY APPLIED ACCESSIBILITY GUIDELINES. THE OWNERS AND ITS RETAINED CONSULTANTS DO NOT ASSUME ANY LIABILITY REGARDING DECISIONS, AGREEMENTS, WARRANTIES, GUARANTEES AND INTERPRETATIONS MADE IN THE FIELD, THAT RESULT IN DEVIATION FROM THE EXISTING ACCESSIBILITY GUIDELINES AS THEY APPLY TO THESE CONTRACT DOCUMENTS.
14. ALL TRADE SHALL REVIEW ALL SHEETS IN THE CONSTRUCTION DOCUMENT SET FOR COORDINATION PURPOSES.
15. THE GENERAL CONTRACTOR SHALL PROVIDE WRITTEN NOTICE FOR CLAIMS OF ADDITIONAL OWNER COST DUE TO REVISIONS TO THE CONSTRUCTION DOCUMENTS IN A TIMELY MANNER TO THE ARCHITECT FOR REVIEW PRIOR TO EXECUTING THE WORK.
16. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY EXPENSE INCURRED (INCLUDING CONSTRUCTION SCHEDULE DELAYS) DUE TO NON DISCLOSURE OF DISCOVERED DISCREPANCIES OR CONFLICTS WITHIN CONSTRUCTION DOCUMENTS OR RELATED TO EXISTING CONDITIONS IN A TIMELY MANNER.
17. A QUALIFIED SUPERINTENDENT SHALL SUPERVISE THE PROJECT SITE, COORDINATE AND ATTEND GOVERNMENT INSPECTIONS, COORDINATE WORK AMONG TRADES AND MAINTAIN QUALITY OF MATERIAL AND CRAFTSMANSHIP.
18. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY EXPENSE INCURRED (INCLUDING CONSTRUCTION SCHEDULE DELAYS) DUE TO CONSTRUCTION PERSONNEL SCALING DRAWINGS FOR DIMENSIONAL INFORMATION AS IT PERTAINS TO THEIR WORK. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM THE ARCHITECT
19. THE CONTRACTOR SHALL NOT BE ENTITLED TO ADDITIONAL FEES FOR PROVIDING OPENINGS IN PARTITIONS FOR TELEPHONE, DATA, SECURITY CABLEING OR OTHER EQUIPMENT.
20. CONTRACTOR SHALL SECURE & PROTECT THE AREA RESTRICTING UNAUTHORIZED ACCESS AND SHALL SUFFICIENTLY ENCLOSE IT TO CONTAIN DIRT, DUST, DEBRIS AND NOISE.
21. ALL STUDS, CEILING FURRING AND FRAMING MEMBERS SHALL BE PLACED AS TO AVOID INTERFERENCE WITH LOCATIONS OF CASEWORK, RECESSED LIGHTING FIXTURES, PIPING, DUCT WORK AND THE LIKE.
22. ALL PENETRATIONS THROUGH FLOOR SLAB S SUCH AS PIPING, CONDUITS, DUCTS, PNEUMATIC TUBES, ETC. SHALL BE PACKED AND SEALED WITH APPROPRIATE FIRE-RATED MATERIAL IN COMPLIANCE WITH APPLICABLE BUILDING CODES. PENETRATIONS SHALL BE SEALED TIGHT.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ADEQUATE SHORING AND BRACING REQUIRED FOR THE PROPER EXECUTING OF ALL WORK.
24. THE CONTRACTOR SHALL PERFORM A STRUCTURAL SURVEY, INCLUDING X-RAYS OR GROUND PENETRATING RADAR (GPR) OF ALL FLOOR SLABS ON GRADE AND SUPPORTING WALLS TO LOCATE EXISTING STRUCTURAL BARS, CABLES, IN-SLAB CONDUITS, UTILITIES AND OTHER INTERFERENCE THAT MAY BE IN CONFLICT WITH PROPOSED SLEEVE/PENETRATION LOCATIONS. THE X-RAY OR GPR SHALL BE PERFORMED PRIOR TO ANY CUTTING OR CHIPPING. IN THE EVENT OF CONFLICT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER FOR FURTHER DIRECTION.
25. NOISE PRODUCING WORK SHALL BE SCHEDULED WITH MANAGEMENT BEFORE 8 AM OR AFTER 6 PM. OIL, PAINT, CARPET GLUE AND OTHER ODOR PRODUCING WORK MUST BE SCHEDULED WITH MANAGEMENT FOR AFTER HOURS. BUILDING ENGINEERING MUST BE ON SITE FOR ALL AFTER HOURS WORK AT THE EXPENSE OF THE CLIENT
26. SYSTEMS BEING DEMOLISHED SHALL BE REMOVED BACK TO THE SOURCE. IE ELECTRICAL, TELEPHONE, DATA, PLUMBING AND HVAC. NO ABANDONED EQUIPMENT SHALL BE LEFT IN PLACE.
27. NEW WORK EXTENDING EXISTING CONDITIONS SHALL ALIGN WITH AND MATCH WORK EXCEPT WHERE OTHERWISE DIMENSIONED OR DETAILED.
28. PUBLIC AREA CORRIDORS AND CARPET MUST BE PROTECTED BY PLASTIC OR WALK OFF MASONITE MATS FROM THE ELEVATORS TO CONSTRUCTION SPACE ( IF APPLICABLE).
29. MASONITE MUST BE USED AT ALL LOCATIONS WHERE ROLLING TRAFFIC WILL BE ROUTED.
30. DIMENSIONS ARE FROM THE FACE OF EXISTING FINISHED SURFACE OR NEW PARTITION SURFACE UNLESS OTHERWISE NOTED.
31. MANAGEMENT SHALL RECEIVE A MINIMUM OF 3 DAYS NOTICE OF BUILDING SYSTEMS SHUT DOWN AND WILL BE DEPENDENT ON OWNER/AGENT APPROVAL.
32. ALIGNMENT INDICATION SHALL BE FINISHED SURFACE TO FINISHED SURFACE.
33. CENTERLINE DIMENSIONS SHALL BE MEASURED FROM CENTERLINE OF ASSEMBLY, FIXTURE OR DEVICE.
34. PARTITION ANGLES ARE PARALLEL, PERPENDICULAR OR 45 DEGREE ANGLES TO BUILDING PERIMETER UNLESS NOTED OTHERWISE.
35. ALL DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED.
36. CENTERLINE INDICATION AT PARTITIONS ABUTTING BUILDING ELEMENTS (MULLIONS, COLUMNS OR PIASTERS), SHALL ALIGN CENTER OF PARTITION ASSEMBLY WITH CENTER OF THE ELEMENT.
37. CONTRACTOR SHALL COORDINATE AND PROVIDE FIRE RETARDANT TREATED WOOD BLOCKING IN WALLS FOR MOUNTING ALL CABINETS, ALL TOILET ACCESSORIES AND ALL OTHER WALL MOUNTED ITEMS.
38. FIRE STOP ALL PENETRATIONS IN UL RATED PARTITIONS TO MAINTAIN/ACHIEVE LEVEL OF FIRE PROTECTION REQUIRED FOR PARTITION TYPE. FIRE STOP ALONG PERIMETER OF RATED PARTITIONS WHERE VOIDS OCCUR, SUCH AS FLOOR OR ROOF DECKING.
39. WHERE FACE OF A NEW PARTITION ALIGNS WITH THE FACE OF EXISTING FURRED COLUMNS OR PARTITIONS, REMOVE EXISTING CORNER BEAD, TAPE AND MUD NEW PARTITION TO EXISTING GYPSUM BOARD FOR A SMOOTH TRANSITION.
40. CONTRACTOR SHALL FURNISH AND INSTALL BUILDING STANDARD FIRE EXTINGUISHER CABINETS AND DEVICES PER BUILDING CODE.
41. ALL ASPECTS OF THIS UPFIT AND SCOPE OF WORK TO MEET CURRENT ACCESSIBILITY CODES.

**FIRE & EMERGENCY NOTES:**

1. ALL DOORS IN EXIT PATH AND ALL EXTERIOR DOORS SHALL BE EQUIPPED WITH AUTOMATIC DOOR CLOSERS.
2. ALL INTERIOR DOORS SHALL BE EQUIPPED WITH ADA APPROVED LEVER HANDLE HARDWARE.
3. ALL EXIT DOORS SHALL HAVE FREE EXITING HARDWARE OR BREAKER BARS.
4. RESTROOMS SHALL HAVE AUTOMATIC DOOR CLOSERS.
5. RESTROOMS TO BE EQUIPPED WITH STROBE AND ENUNCIATOR TIED DIRECTLY TO FIRE ALARM PULL STATIONS LOCATED AT EACH DOOR ( IF APPLICABLE).
6. EACH EXIT DOOR SHALL HAVE ITS OWN STROBE AND HORN MOUNTED ABOVE THE PULL STATION (PER CODE)

**INDEX OF DRAWINGS**

CIVIL	STRUCTURAL
<p><b>ARCHITECTURAL</b></p> <p>CS-100-00 TITLE SHEET                      C-101-00 PROJECT DATE AND SHEET INDEX                      C-102-00 ARCHITECTURAL SITE PLAN                      LS-100-00 APPENDIX B                      OC-100-00 OCCUPANCY PLANS                      A-100-00 FIRST FLOOR CONSTRUCTION PLAN                      A-101-00 SECOND FLOOR PLAN                      A-102-00 THIRD FLOOR PLAN                      A-103-00 FOURTH FLOOR CONSTRUCTION PLAN                      A-104-00 ROOF CONSTRUCTION PLAN                      A-160-00 FIRST FLOOR FURNITURE PLAN                      A-161-00 FOURTH FLOOR FURNITURE PLAN                      A-200-00 ELEVATIONS                      A-201-00 ELEVATIONS                      A-300-00 BUILDING SECTION                      A-350-00 WALL SECTIONS</p>	
MECHANICAL	
ELECTRICAL	
PLUMBING	

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ARCHITECT

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Architecture  
Interiors  
Master Planning  
Development

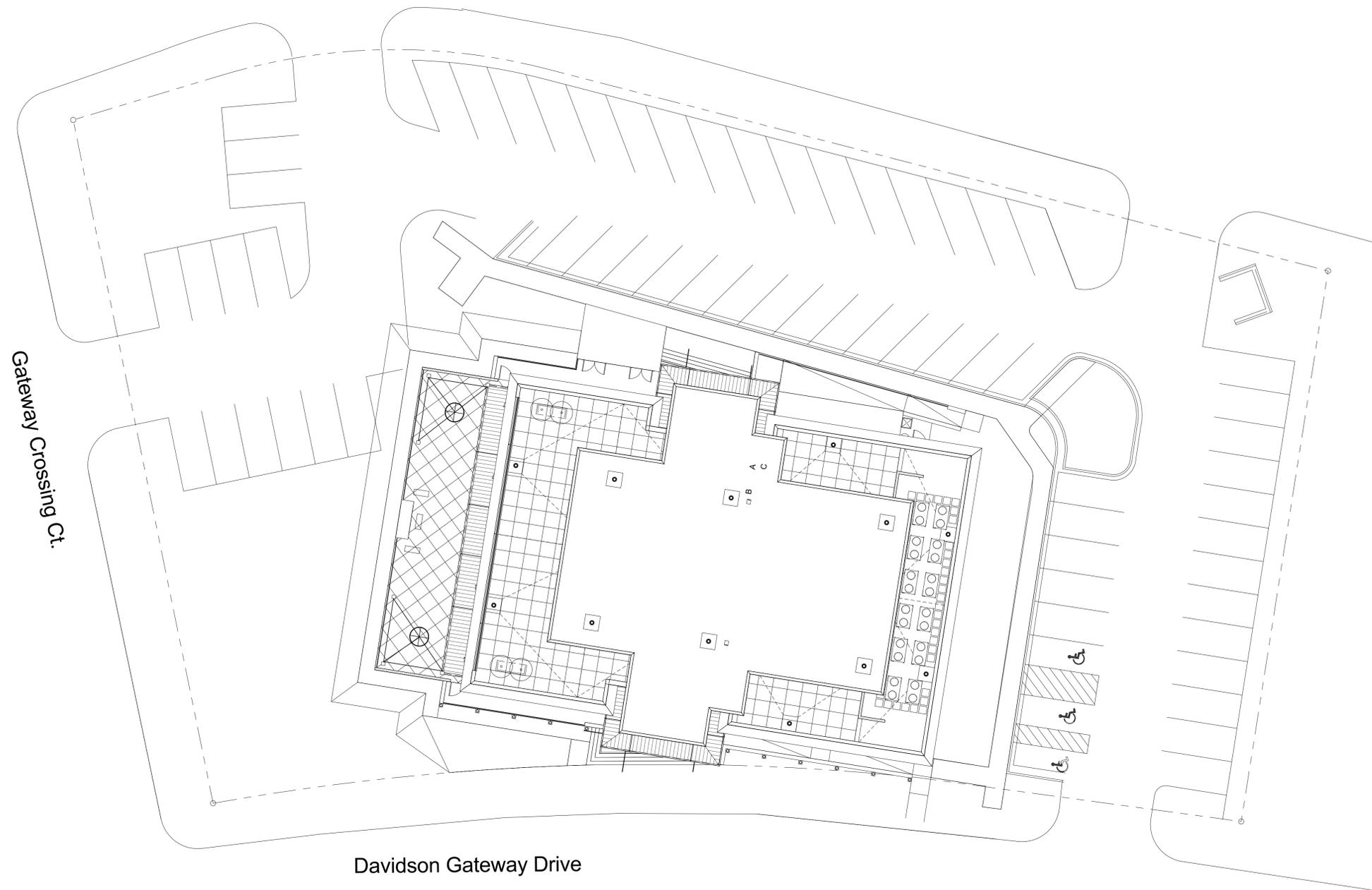
GENERAL CONTRACTOR  
Kearey Builders  
Ryan Kearey  
2915 Charlotte Highway  
Mooresville, NC 28117  
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PROJECT  
DAVIDSON GATEWAY CENTER  
635 DAVIDSON GATEWAY DRIVE  
DAVIDSON NC 28036

Seal:  
Issue Date: 07/31/19

PROJECT DATE AND SHEET  
INDEX  
C-101-00  
SHEET:



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**PROJECT**  
**DAVIDSON GATEWAY CENTER**  
 635 DAVIDSON GATEWAY DRIVE  
 DAVIDSON NC 28036

Seal: \_\_\_\_\_  
 Issue Date: \_\_\_\_\_ 07/31/19

② ARCHITECTURAL SITE PLAN  
 1/16" = 1'-0"

**ARCHITECTURAL SITE PLAN**  
**C-102-00**  
 SHEET:

**2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)  
(Reproduce the following data on the building plans sheet 1 or 2)**

Name of Project: Davidson Gateway Center  
 Address: 635 Davidson Gateway Drive Zip Code 28036  
 Owner/Authorized Agent: David Martini-Plank Phone # (704) 777-4447 E-Mail dmartiniplank@gmail.com  
 Owned By: Private Nick Lyssikatos  
 Code Enforcement Jurisdiction: County Mecklenburg

**CONTACT:**

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	David Martini-Plank Arch	David Martini-Plank	5453	(704) 777-4447	dmartiniplank@gmail.com
Civil	Eastlake PLLC	Paul Carter	1317	(865) 816-4557	pcarter@yahoo.com
Electrical	Todd Carey and Assoc.	Todd Carey	09079	(704) 664-9824	toddcarey@toddcarey.com
Fire Alarm	Todd Carey and Assoc.	Todd Carey	09079	(704) 664-9824	toddcarey@toddcarey.com
Plumbing	Todd Carey and Assoc.	Todd Carey	09079	(704) 664-9824	toddcarey@toddcarey.com
Mechanical	Todd Carey and Assoc.	Todd Carey	09079	(704) 664-9824	toddcarey@toddcarey.com
Sprinkler-Standpipe	Todd Carey and Assoc.	Todd Carey	09079	(704) 664-9824	toddcarey@toddcarey.com
Structural	Structures Inc	Jim Kunkle	14663	704.662.6844	jim@structuresinc.com
Retaining Walls >5' High					
Other					

(\*Other\* should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

**2018 NC BUILDING CODE:** New Building  
**2018 NC EXISTING BUILDING CODE:** N/A N/A N/A  
**CONSTRUCTED:** (date) \_\_\_\_\_ **CURRENT OCCUPANCY(S)** (Ch. 3): \_\_\_\_\_  
**RENOVATED:** (date) \_\_\_\_\_ **PROPOSED OCCUPANCY(S)** (Ch. 3): \_\_\_\_\_  
**OCCUPANCY CATEGORY** (Table 1604.5): **Current:** N/A **Proposed:** II

**BASIC BUILDING DATA**  
**Construction Type:** II-A  
**Sprinklers:** Yes NFPA 13  
**Standpipes:** Class II - Wet  
**Primary Fire District:** No **Flood Hazard Area:** No  
**Special Inspections Required:** Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

Gross Building Area Table			
FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
4 <sup>th</sup> Floor		9933	
3 <sup>rd</sup> Floor		9934	
2 <sup>nd</sup> Floor		9931	
1 <sup>st</sup> Floor		10373	
<b>TOTAL</b>		<b>40171</b>	

**ALLOWABLE AREA**  
**Primary Occupancy Classification(s):** Business Assembly - A-2 N/A N/A N/A N/A  
**2018 NC Administrative Code and Policies**

**Accessory Occupancy Classification(s):** A-2 Kitchen  
**Incidental Uses** (Table 509): N/A  
**Special Uses** (Chapter 4 - List Code Sections): N/A  
**Special Provisions** (Chapter 5 - List Code Sections): N/A  
**Mixed Occupancy:** Yes Separation: 1 Hr. Exception: \_\_\_\_\_  
**Separated Use** (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.  

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

$$\frac{\quad}{\quad} + \frac{\quad}{\quad} + \dots = \quad \leq 1.00$$

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 <sup>4</sup> AREA	(C) AREA FOR FRONTAGE INCREASE <sup>1,2</sup>	(D) ALLOWABLE AREA PER STORY OR UNLIMITED <sup>3,5</sup>
1	Restaurant A-2	10373 SF	46,500	N/A	11,625 SF
2	Business B (tenant)	9931 SF	46,500	N/A	11,625 SF
3	Business B (tenant)	9934 SF	46,500	N/A	11,625 SF
4	Event Space A-2	9933 SF	46,500	N/A	11,625 SF

<sup>1</sup> Frontage area increases from Section 506.2 are computed thus:  
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = \_\_\_\_\_ (F)  
 b. Total Building Perimeter = \_\_\_\_\_ (P)  
 c. Ratio (F/P) = \_\_\_\_\_ (F/P)  
 d. W = Minimum width of public way = \_\_\_\_\_ (W)  
 e. Percent of frontage increase  $I_f = 100 [(F/P - 0.25) \times W/30] = \text{_____} (\%)$   
<sup>2</sup> Unlimited area applicable under conditions of Section 507.  
<sup>3</sup> Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).  
<sup>4</sup> The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.  
<sup>5</sup> Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT			
	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	85 Feet	57'-6"	
Building Height in Stories (Table 504.4)	4	4	

Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS							
BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REU'D	RATING PROVIDED * REDUCTION	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses		1	1				
Bearing Walls							
Exterior							
North							
East							
West							
South							
Interior							

2018 NC Administrative Code and Policies

Nonbearing Walls and Partitions					
Exterior walls					
North	> 30'-0"	0	0		
East	> 30'-0"	0	0		
West	> 30'-0"	0	0		
South	> 30'-0"	0	0		
Interior walls and partitions		0			
Floor Construction Including supporting beams and joists	1	1			
Floor Ceiling Assembly					
Columns Supporting Floors	1	1			
Roof Construction, including supporting beams and joists	1	1			
Roof Ceiling Assembly					
Column Supporting Roof					
Shaft Enclosures - Elev	2	2		UL937	
Shaft Enclosures - Other	2	2		UL937	
Corridor Separation					
Occupancy/Fire Barrier Separation	1	1			
Part/Fire Wall Separation					
Smoke Barrier Separation					
Smoke Partition					
Tenant Dwelling Unit Sleeping Unit Separation					
Incidental Use Separation					

\* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS			
FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

LIFE SAFETY SYSTEM REQUIREMENTS	
Emergency Lighting:	Yes
Exit Signs:	Yes
Fire Alarm:	Yes
Smoke Detection Systems:	Yes
Carbon Monoxide Detection:	Yes

**LIFE SAFETY PLAN REQUIREMENTS**  
 Life Safety Plan Sheet #: LS-100.00  
 Fire and/or smoke rated wall locations (Chapter 7)  
 Assumed and real property line locations (if not on the site plan)

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- Exterior wall opening area with respect to distance to assumed property lines (705.8)
- Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
- Occupant loads for each area
- Exit access travel distances (1017)
- Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
- Dead end lengths (1020.4)
- Clear exit widths for each exit door
- Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
- Actual occupant load for each exit door
- A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
- Location of doors with panic hardware (1010.1.10)
- Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
- Location of doors with electromagnetic egress locks (1010.1.9.9)
- Location of doors equipped with hold-open devices
- Location of emergency escape windows (1030)
- The square footage of each fire area (202)
- The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
- Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)							
TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)						
LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH 132" ACCESS AISLE	8' ACCESS AISLE	
TOTAL						

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)										
USE	WATERCLOSETS			URINALS			LAVATORIES		SHOWERS /TUBS	DRINKING FOUNTAINS
	MALE	FEMALE	UNSEX	MALE	FEMALE	UNSEX	MALE	FEMALE		
BUS.	4	6		2	4	4				
A-2	3	6		4	5	5				
REQ'D	9	9		3	3	3				

**SPECIAL APPROVALS**  
**Special approval:** (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)  
 2018 NC Administrative Code and Policies

**ENERGY SUMMARY**

**ENERGY REQUIREMENTS:**  
 The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

**Existing building envelope complies with code:** Select one  
**Exempt Building:** Select one Provide code or statutory reference:

**Climate Zone:** Select one  
**Method of Compliance:** Select one (If "Other" specify source here)

**THERMAL ENVELOPE** (Prescriptive method only)

**Roof/Ceiling Assembly** (each assembly)  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_  
 Skylights in each assembly: \_\_\_\_\_  
 U-Value of skylight: \_\_\_\_\_  
 total square footage of skylights in each assembly: \_\_\_\_\_

**Exterior Walls** (each assembly)  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_  
 Openings (windows or doors with glazing)  
 U-Value of assembly: \_\_\_\_\_  
 Solar heat gain coefficient: \_\_\_\_\_  
 projection factor: \_\_\_\_\_  
 Door R-Values: \_\_\_\_\_

**Walls below grade** (each assembly)  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_

**Floors over unconditioned space** (each assembly)  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_

**Floors slab on grade**  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_  
 Horizontal/vertical requirement: \_\_\_\_\_  
 slab heated: \_\_\_\_\_

2018 NC Administrative Code and Policies

**2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
STRUCTURAL DESIGN  
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)**

**DESIGN LOADS:**

**Importance Factors:** Wind (Iw) Select one  
 Snow (Is) Select one  
 Seismic (Ie) Select one

**Live Loads:** Roof \_\_\_\_\_ psf  
 Mezzanine \_\_\_\_\_ psf  
 Floor \_\_\_\_\_ psf

**Ground Snow Load:** \_\_\_\_\_ psf

**Wind Load:** Basic Wind Speed \_\_\_\_\_ mph (ASCE-7)  
 Exposure Category Select one

**SEISMIC DESIGN CATEGORY:** Select one  
 Provide the following Seismic Design Parameters:  
**Occupancy Category** (Table 1604.5) Select one  
**Spectral Response Acceleration**  $S_u$  \_\_\_\_\_ %g  $S_1$  \_\_\_\_\_ %g  
**Site Classification** (ASCE 7) Select one  
 Data Source: Select one  
**Basic structural system** Select one  
**Analysis Procedure:** Select one  
**Architectural, Mechanical, Components anchored?** Select one

**LATERAL DESIGN CONTROL:** Select one

**SOIL BEARING CAPACITIES:**  
 Select one \_\_\_\_\_ psf  
 File size, type, and capacity \_\_\_\_\_

2018 NC Administrative Code and Policies

**2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
MECHANICAL DESIGN  
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)**

**MECHANICAL SUMMARY  
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT**

**Thermal Zone**  
 winter dry bulb: \_\_\_\_\_  
 summer dry bulb: \_\_\_\_\_

**Interior design conditions**  
 winter dry bulb: \_\_\_\_\_  
 summer dry bulb: \_\_\_\_\_  
 relative humidity: \_\_\_\_\_

**Building heating load:** \_\_\_\_\_

**Building cooling load:** \_\_\_\_\_

**Mechanical Spacing Conditioning System**  
 Unitary description of unit: \_\_\_\_\_  
 heating efficiency: \_\_\_\_\_  
 cooling efficiency: \_\_\_\_\_  
 size category of unit: \_\_\_\_\_  
 Boiler Size category. If oversized, state reason: \_\_\_\_\_  
 Chiller Size category. If oversized, state reason: \_\_\_\_\_

**List equipment efficiencies:** \_\_\_\_\_

**2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
ELECTRICAL DESIGN  
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)**

**ELECTRICAL SUMMARY  
ELECTRICAL SYSTEM AND EQUIPMENT**

**Method of Compliance:** Select one  
**Lighting schedule** (each fixture type)  
 lamp type required in fixture \_\_\_\_\_  
 number of lamps in fixture \_\_\_\_\_  
 ballast type used in the fixture \_\_\_\_\_  
 number of ballasts in fixture \_\_\_\_\_  
 total wattage per fixture \_\_\_\_\_  
 total interior wattage specified vs. allowed (whole building or space by space) \_\_\_\_\_  
 total exterior wattage specified vs. allowed \_\_\_\_\_

**Additional Efficiency Package Options**  
 (When using the 2018 NCECC; not required for ASHRAE 90.1)  
 C406.2 More Efficient HVAC Equipment Performance  
 C406.3 Reduced Lighting Power Density  
 C406.4 Enhanced Digital Lighting Controls  
 C406.5 On-Site Renewable Energy  
 C406.6 Dedicated Outdoor Air System  
 C406.7 Reduced Energy Use in Service Water Heating

2018 NC Administrative Code and Policies

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**PROJECT**  
**DAVIDSON GATEWAY CENTER**  
**635 DAVIDSON GATEWAY DRIVE**  
**DAVIDSON NC 28036**

Seal:

Issue Date:

07/31/19

**APPENDIX B**

**LS-100-00**

SHEET:

**OCCUPANCY CALCULATIONS**

**FIRST FLOOR**

ASSEMBLY A-2	197 S.F. / 15 = 14 PERSONS
WAITING 2	588 S.F. / 15 = 40 PERSONS
BAR AREA 1	311 S.F. / 15 = 21 PERSONS
PRV. DIN 2	640 S.F. / 15 = 42 PERSONS
BAR AREA 2	2049 S.F. / 15 = 136 PERSONS
PATIO	311 S.F. / 15 = 21 PERSONS
PRV. DIN 1	556 S.F. / 15 = 37 PERSONS
WAITING 1	262 S.F. / 15 = 8 PERSONS
BOOTH	FIXED SEATING 24 PERSONS
MAIN DINING	1658 S.F. / 15 = 110 PERSONS
DINING 2	640 S.F. / 15 = 42 PERSONS
KITCHEN	1427 S.F. / 200 = 7 PERSONS

TOTAL FIRST FLOOR = 502 PERSONS

**SECOND FLOOR**

BUSINESS	WARM SHELL TENANT SPACE 8067 S.F. / 100 = 81 PERSONS
----------	--

**THIRD FLOOR**

BUSINESS	WARM SHELL TENANT SPACE 8408 S.F. / 100 = 84 PERSONS
----------	--

**FOURTH FLOOR**

ASSEMBLY A-2	1602 S.F. / 15 = 107 PERSONS
FIXED SEATING EVENT	636 S.F. / 15 = 42 PERSONS
OUTDOOR EVENT 2	637 S.F. / 15 = 42 PERSONS
OUTDOOR EVENT 3	1298 S.F. / 7 = 185 PERSONS
OUTDOOR EVENT 4	2017 S.F. / 15 = 134 PERSONS
INDOOR EVENT	275 S.F. / 200 = 2 PERSONS
BAR	308 S.F. / 200 = 2 PERSONS
PREP	

TOTAL FOURTH FLOOR = 514 PERSONS

TOTAL OCCUPANT LOAD = 1,181 PERSONS

**TRAVELS DISTANCES**

MAXIMUM TRAVEL DISTANCE BETWEEN EXITS

FIRST FLOOR =  
SECOND FLOOR =  
THIRD FLOOR =  
FOURTH FLOOR =  
CLEAR EXIT PATH MINIMUM 42" ALL ISLES

- ALL EXIT DOORS SHALL BE EQUIPPED WITH CODE APPROVED PUSH BAR TYPE QUICK RELEASE PANIC HARDWARE ADA COMPLIANT.
- ALL INTERIOR DOORS SHALL BE EQUIPPED WITH CODE APPROVED ADA LEVER TYPE DOOR HANDLES AND PUSH PLATES.
- DEAD END DISTANCE 20'-0" MAX.
- 2 EXITS MUST BE VISIBLE FROM ANY POINT.
- ALL RESTROOMS ENTRY DOORS SHALL HAVE AUTOMATIC DOOR CLOSERS.

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ARCHITECT

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PROJECT

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DAVIDSON NC 28036

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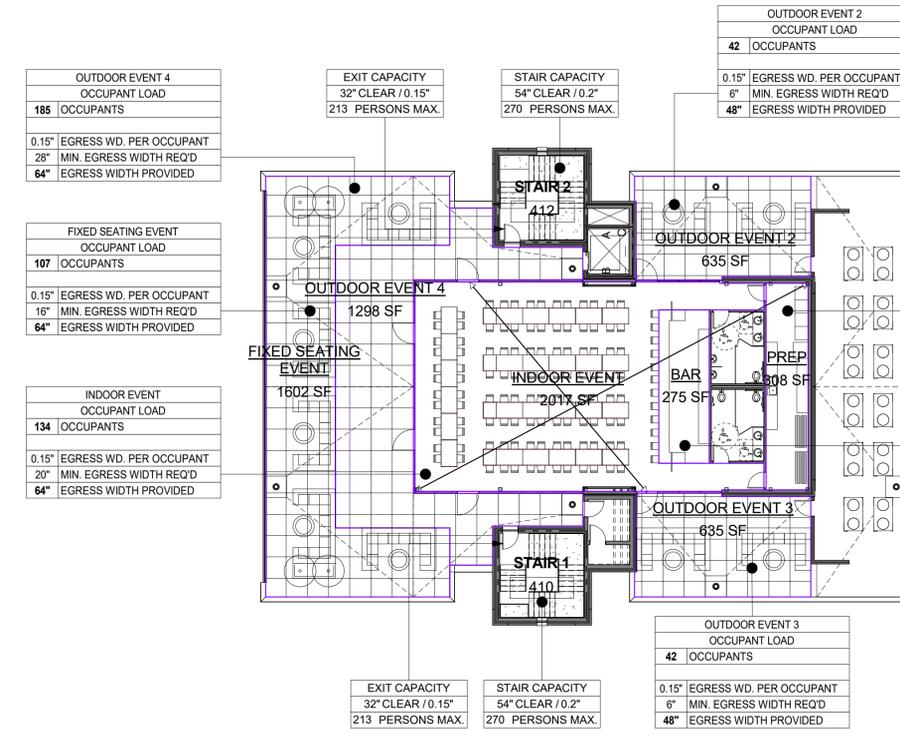
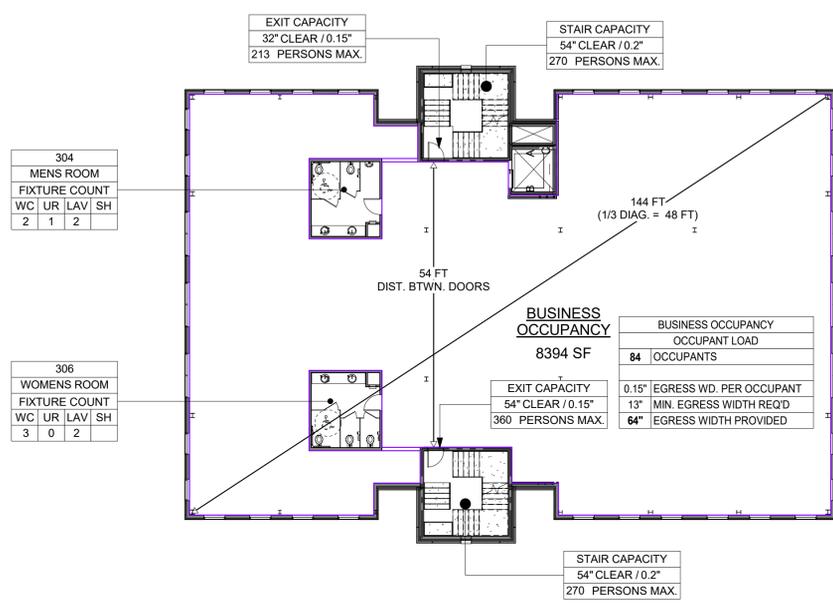
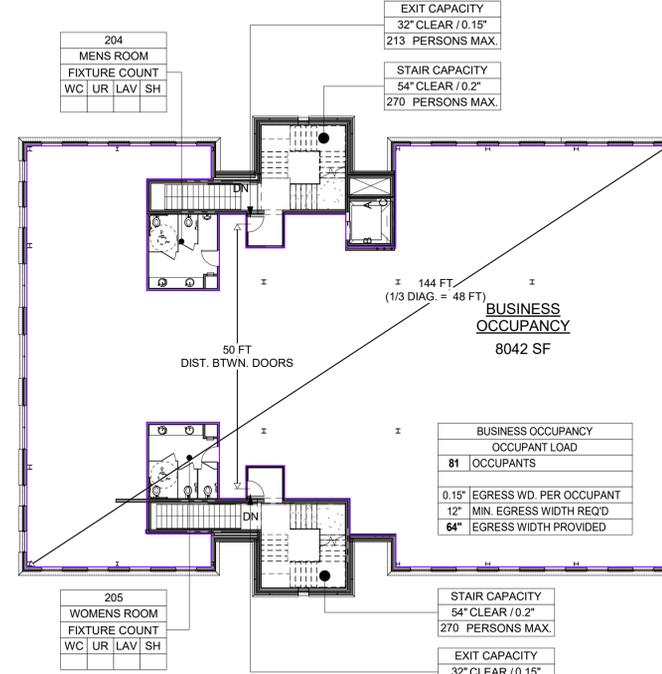
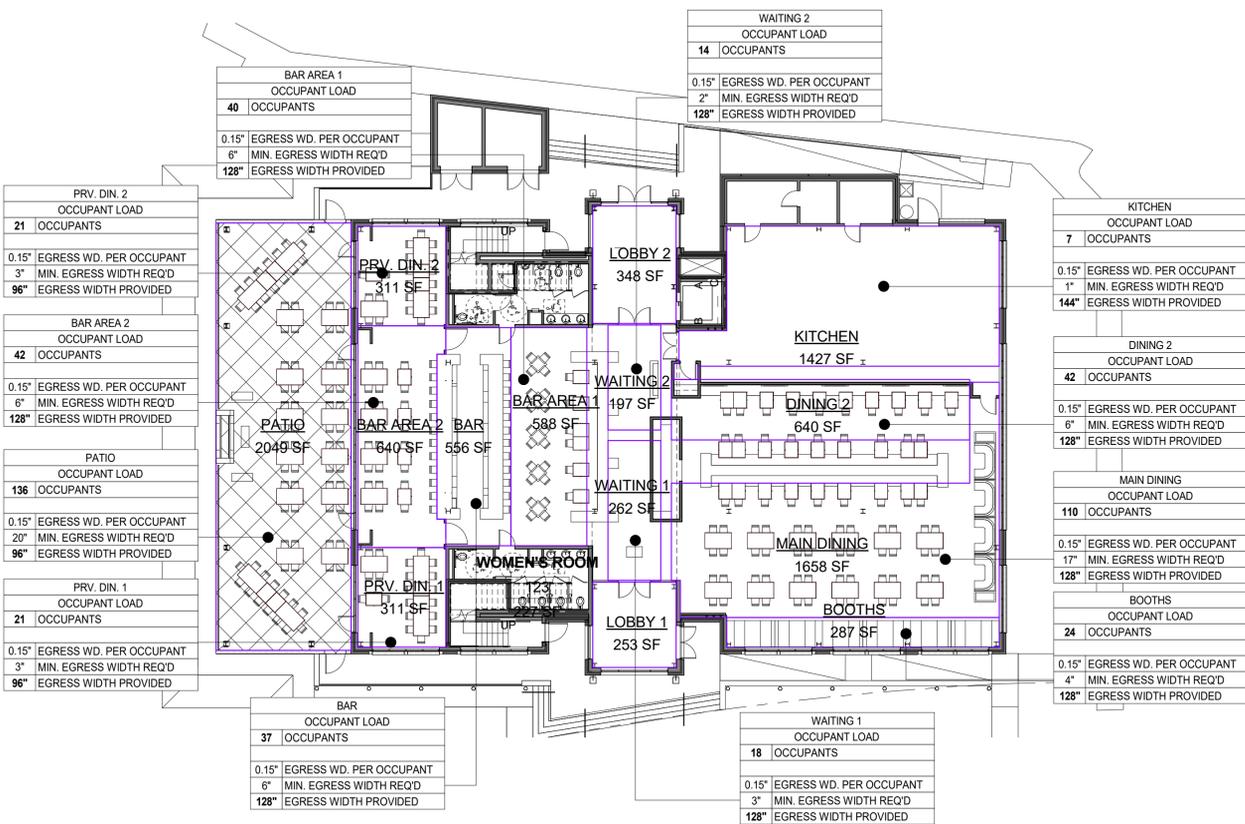
Issue Date:

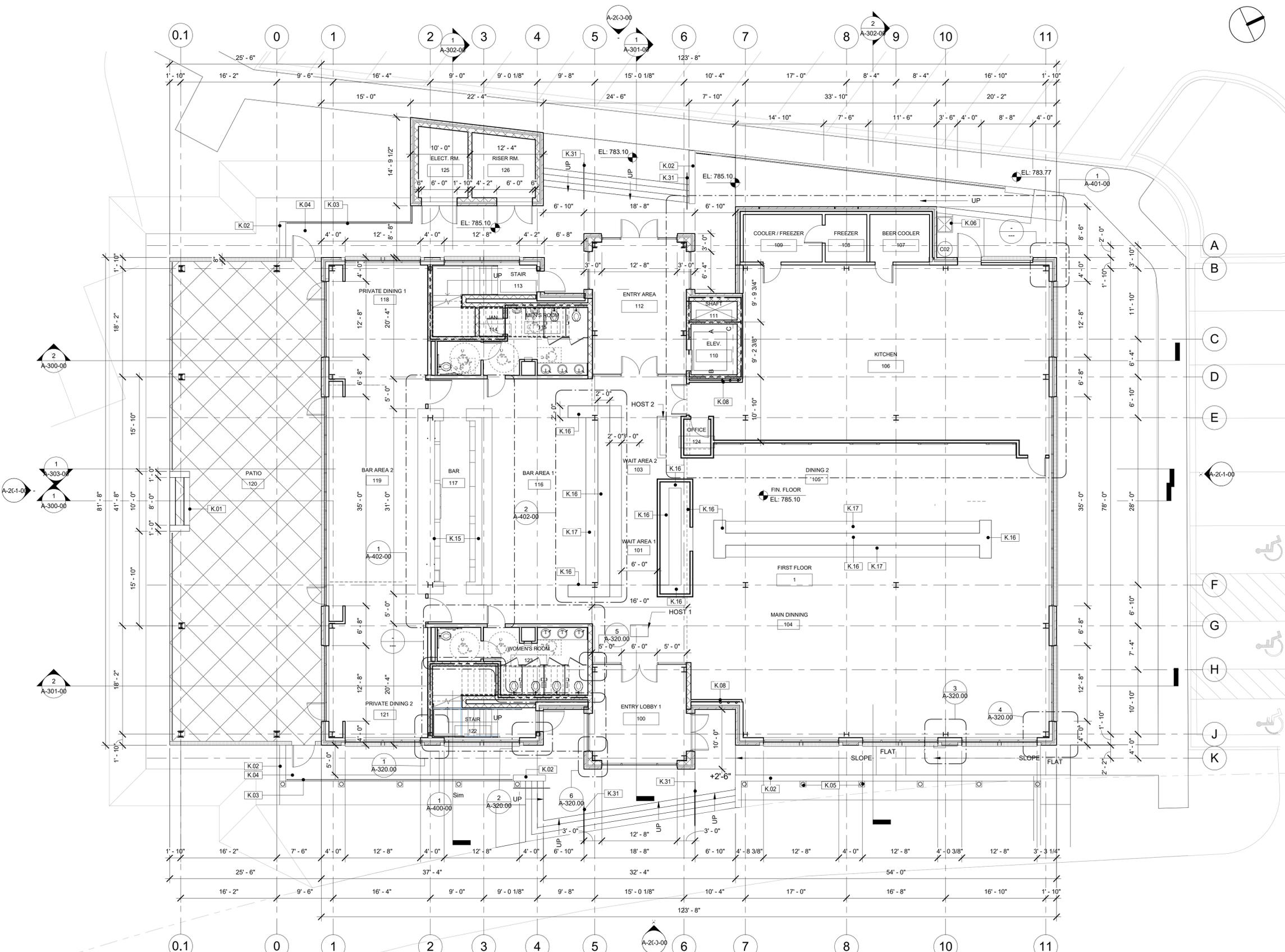
07/31/19

**OCCUPANCY PLANS**

OC-100-00

SHEET:





1 FIRST FLOOR PLAN  
1/8" = 1'-0"

Davidson Gateway Drive

**WALL TYPES**

- W1 - SHAFT WALL  
2 HOUR FIRE WALL UL#938  
5/8" DRYWALL - 7/8" METAL FURRING - 8" MASONRY  
WALL HEIGHT (SEE ELEVATOR DRAWINGS)  
AS PER 2018 NCSBC SECTION 708
- W2 - SHAFT WALL  
2 HOUR FIRE WALL UL#938  
8" MASONRY 2 HR RATED  
WALL HEIGHT (SEE ELEVATOR DRAWINGS)  
AS PER 2018 NCSBC SECTION 708

**GENERAL NOTES**

A. DO NOT SCALE DRAWING. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS SHOWN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR AND COORDINATED WITH ALL OF THE OF ALL TRADES. IF DISCREPANCIES ARE FOUND THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE STARTING THE WORK.

**KEYNOTE LEGEND**

K.01	FIRE PLACE CLAD WITH DARK GRAY BRICK
K.02	CAST IN PLACE CONCRETE WALL
K.03	1 1/2" DIA. PIPE GUARD RAIL
K.04	CONC. WALKWAY
K.05	EXTERIOR LIGHT BOLLARDS
K.06	32" X 32" CAN WASH
K.08	IN ALL VERT. PIPE CHASES FOR ROOF LEADERS, METAL STUDS SHALL HAVE METAL STUDS EACH SIDE WITH FRONT SCREW SHIELDS CONT.
K.15	BLACK GRANITE COUNTER TOP 1 1/2"
K.16	BIRCH PLYWOOD CASEWORK W/ NATURAL MAHONAGY STAIN AND CLEAR PROTECTIVE COAT.
K.17	BANQUET WITH BLACK VINYL LEATHER SEAT AND BUTTON AND PLEATED BACK
K.31	1 1/2" DIA PIPE HANDRAIL

**SYMBOL LEGEND**

DRAWING NUMBER	
	DRAWING NUMBER
	SHEET NUMBER
SECTION TAG	
	DRAWING NUMBER
	SHEET NUMBER
DETAIL TAG	
	DRAWING NUMBER
	SHEET NUMBER
PARTITION TAG	
	PARTITION TYPE
	DOOR TAG
	WINDOW TAG
	2 HOUR RATED BARRIER

David Martini - Plank

ARCHITECT

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Interiors  
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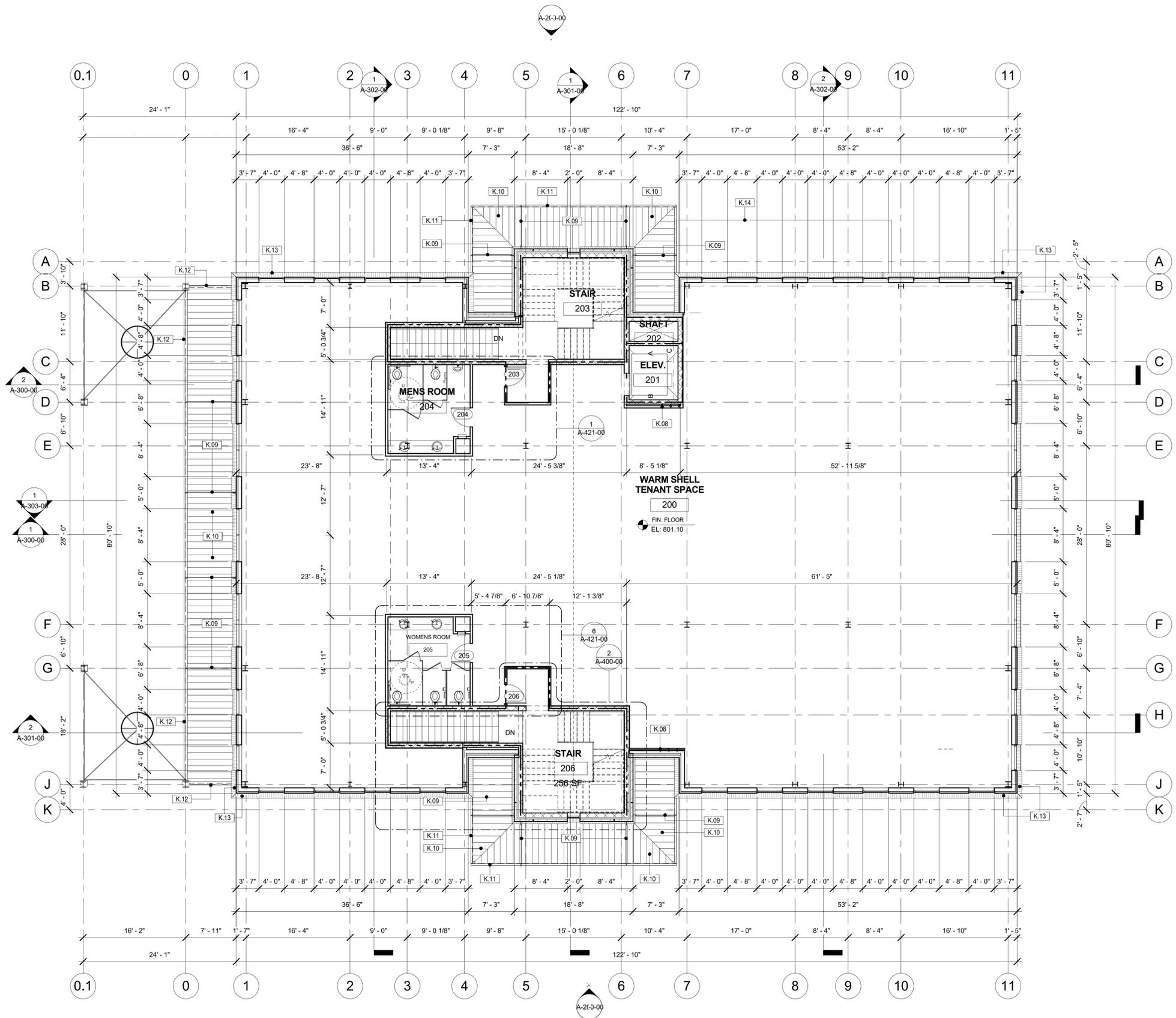
GENERAL CONTRACTOR  
Kearey Builders  
Ryan Kearey  
2915 Charlotte Highway  
Mooresville, NC 28117  
980-444-6510



PROJECT  
DAVIDSON GATEWAY CENTER  
635 DAVIDSON GATEWAY DRIVE  
DAVIDSON NC 28036

Seal:  
Issue Date: 07/31/19

FIRST FLOOR CONSTRUCTION  
PLAN  
A-100-00  
SHEET:



1 SECOND FLOOR CONSTRUCTION PLAN  
1/8" = 1'-0"

**WALL TYPES**

W1 - SHAFT WALL  
2 HOUR FIRE WALL UL#938  
5/8" DRYWALL - 7/8" METAL FURRING - 8" MASONRY  
WALL HEIGHT (SEE ELEVATOR DRAWINGS)  
AS PER 2018 NCSBC SECTION 708

W2 - SHAFT WALL  
2 HOUR FIRE WALL UL#938  
8" MASONRY 2 HR RATED  
WALL HEIGHT (SEE ELEVATOR DRAWINGS)  
AS PER 2018 NCSBC SECTION 708

**GENERAL NOTES**

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**KEYNOTE LEGEND**

K.08	IN ALL VERT. PIPE CHASES FOR ROOF LEADERS, METAL STUDS SHALL HAVE METAL STUDS EACH SIDE WITH FRONT SCREW SHIELDS CONT.
K.09	ANCHOR FLANGES AND SOLID STEEL ROD
K.10	PRE-FAB METAL CANOPY W/ FACTORY KYNAR ANTI-FADE PAINT COLOR WITH PROTECTIVE FINISH
K.11	CANOPY STEEL CHANNEL W/ KYNAR ANTI-FADE PAINT COLOR WITH PROTECTIVE FINISH. SEE STRUCT. DWGS. SEE ARCHITECTURAL DWGS FOR VERT. WEB FINS AND DETAIL DIMENSIONS. SUBMIT SHOP DWGS FOR ARCHITECTURAL AND STRUCTURAL APPROVAL.
K.12	STEEL BEAM SEE STRUCT. DWGS.
K.13	STEPPED BRICK CORBEL
K.14	OUTLINE OF FREEZER / COOLER ROOF BELOW

**SYMBOL LEGEND**

DRAWING NUMBER	
	DRAWING NUMBER
	SHEET NUMBER
SECTION TAG	
	DRAWING NUMBER
	SHEET NUMBER
DETAIL TAG	
	DRAWING NUMBER
	SHEET NUMBER
PARTITION TAG	
	PARTITION TYPE
	DOOR TAG
	WINDOW TAG
	2 HOUR RATED BARRIER

David Martini - Plank

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Ryan Kearey  
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**PROJECT**

DAVIDSON GATEWAY CENTER  
635 DAVIDSON GATEWAY DRIVE  
DAVIDSON NC 28036

Seal:

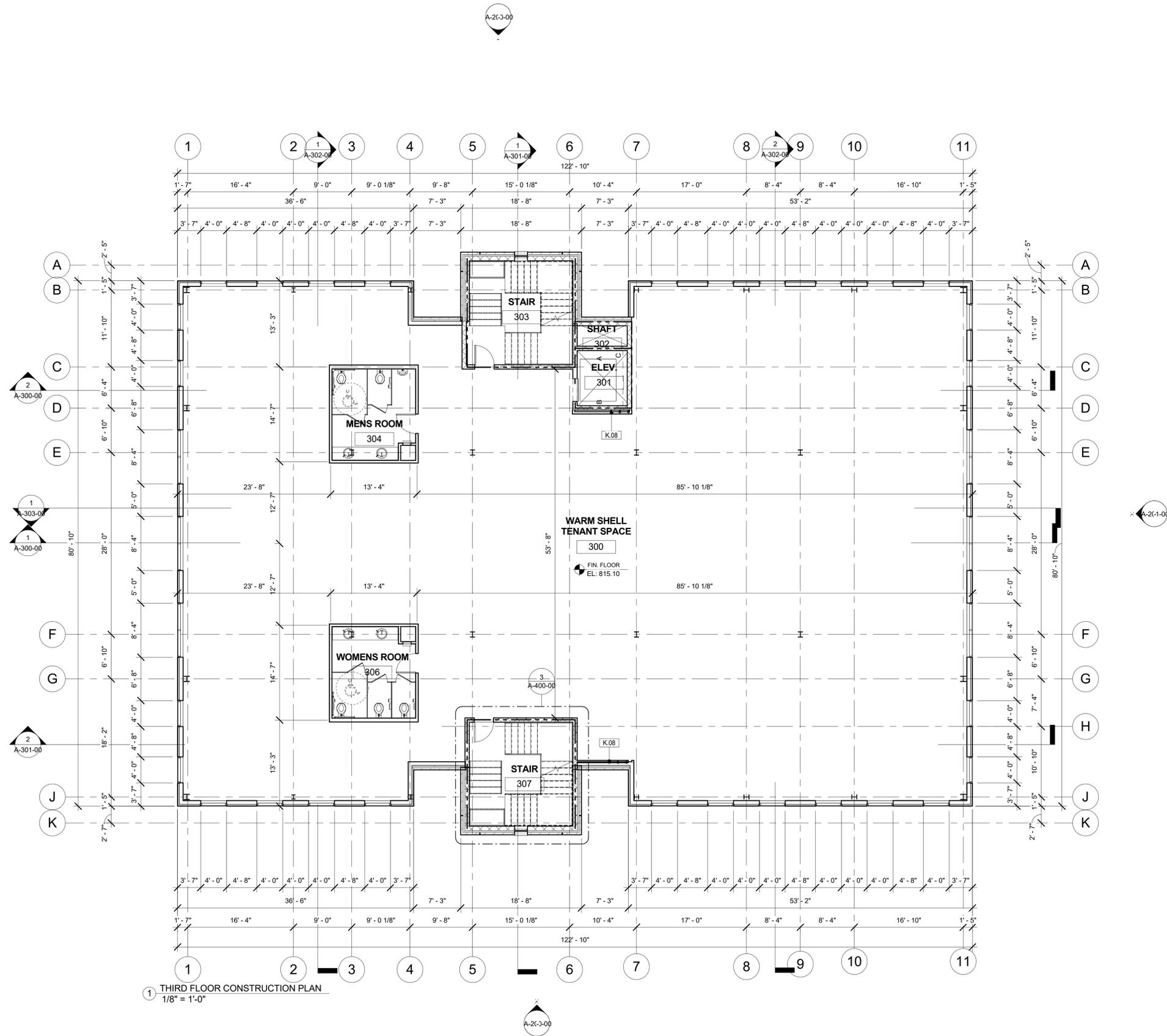
Issue Date:

07/31/19

**SECOND FLOOR PLAN**

A-101-00

SHEET:



1 THIRD FLOOR CONSTRUCTION PLAN  
1/8" = 1'-0"

### GENERAL NOTES

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### KEYNOTE LEGEND

K.08 IN ALL VERT. PIPE CHASES FOR ROOF LEADERS, METAL STUDS SHALL HAVE METAL STUDS EACH SIDE WITH FRONT SCREW SHIELDS CONT.

### SYMBOL LEGEND

- |                |                         |
|----------------|-------------------------|
| DRAWING NUMBER |                         |
|                | DRAWING NUMBER<br>A0500 |
|                | SHEET NUMBER<br>1       |
| SECTION TAG    |                         |
|                | DRAWING NUMBER<br>1     |
|                | SHEET NUMBER<br>A101    |
| DETAIL TAG     |                         |
|                | DRAWING NUMBER<br>1     |
|                | SHEET NUMBER<br>A101    |
| PARTITION TAG  |                         |
|                | PARTITION TYPE<br>?     |
|                | DOOR TAG<br>XXX         |
|                | WINDOW TAG<br>B         |
|                | 2 HOUR RATED BARRIER    |

### WALL TYPES

W1 - SHAFT WALL  
2 HOUR FIRE WALL UL#938  
5/8" DRYWALL - 7/8" METAL FURRING - 8" MASONRY  
WALL HEIGHT (SEE ELEVATOR DRAWINGS)  
AS PER 2018 NCSBC SECTION 708

W2 - SHAFT WALL  
2 HOUR FIRE WALL UL#938  
8" MASONRY 2 HR RATED  
WALL HEIGHT (SEE ELEVATOR DRAWINGS)  
AS PER 2018 NCSBC SECTION 708

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### PROJECT

DAVIDSON GATEWAY CENTER  
635 DAVIDSON GATEWAY DRIVE  
DAVIDSON NC 28036

Seal:

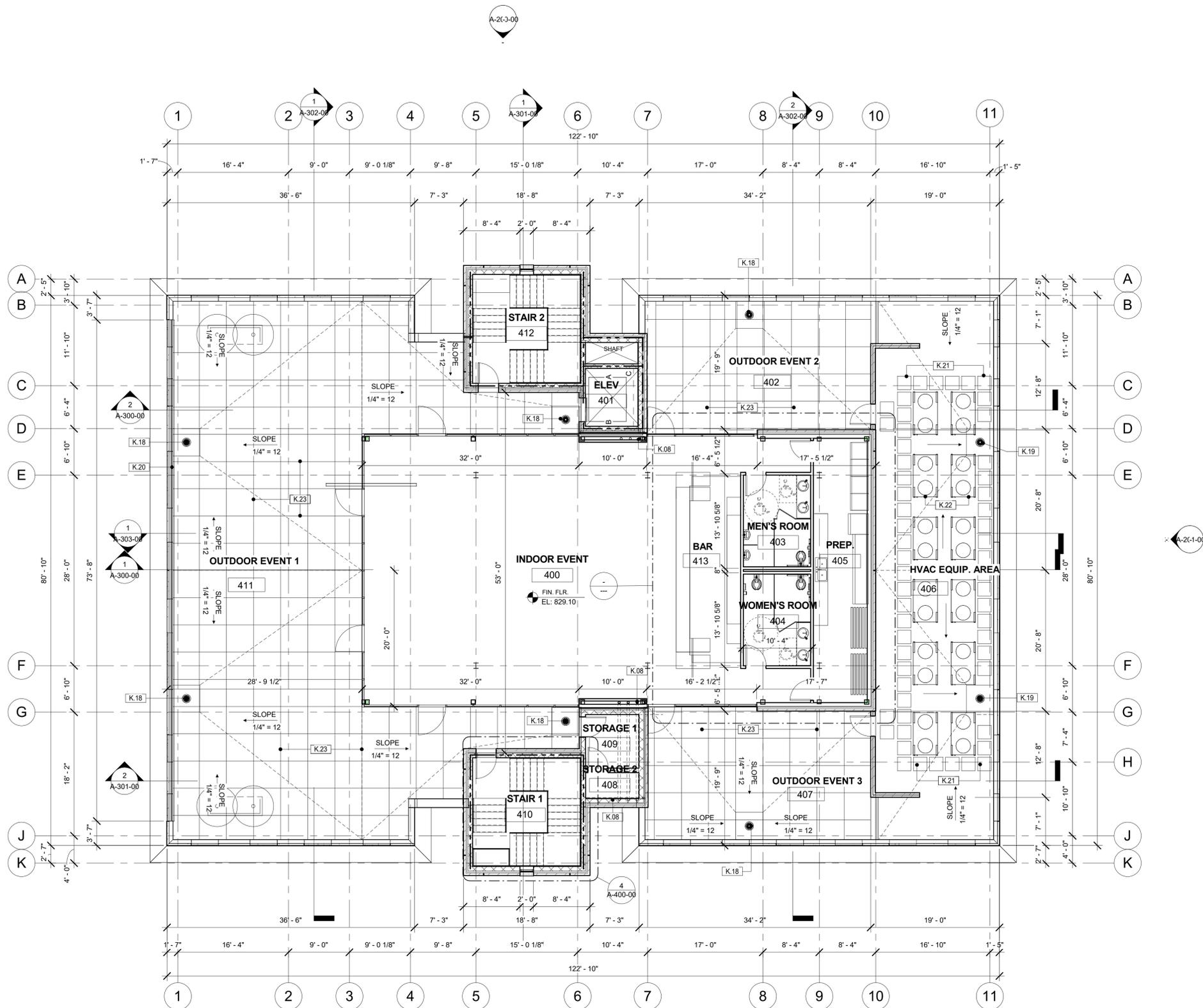
Issue Date:

07/31/19

### THIRD FLOOR PLAN

A-102-00

SHEET:



1 FOURTH FLOOR CONSTRUCTION PLAN  
1/8" = 1'-0"

### GENERAL NOTES

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### KEYNOTE LEGEND

K.08	IN ALL VERT. PIPE CHASES FOR ROOF LEADERS, METAL STUDS SHALL HAVE METAL STUDS EACH SIDE WITH FRONT SCREW SHIELDS CONT.
K.18	ROOF DRAIN BELOW RAISED FLOOR
K.19	ROOF DRAIN
K.20	TEMPERED GLASS RAILING
K.21	ROOF WALKWAY PADS
K.22	MECHANICAL EQUIPMENT. SEE MECH. DWGS.
K.23	RAISED FLOOR ON ADJUSTABLE PEDESTAL SYSTEM

### SYMBOL LEGEND

	DRAWING NUMBER
	SHEET NUMBER
	SECTION TAG
	DRAWING NUMBER
	SHEET NUMBER
	DETAIL TAG
	DRAWING NUMBER
	SHEET NUMBER
	PARTITION TAG
	PARTITION TYPE
	DOOR TAG
	WINDOW TAG
	2 HOUR RATED BARRIER

### WALL TYPES

W1 - SHAFT WALL  
2 HOUR FIRE WALL UL#938  
5/8" DRYWALL - 7/8" METAL FURRING - 8" MASONRY WALL HEIGHT (SEE ELEVATOR DRAWINGS)  
AS PER 2018 NCSBC SECTION 708

W2 - SHAFT WALL  
2 HOUR FIRE WALL UL#938  
8" MASONRY 2 HR RATED WALL HEIGHT (SEE ELEVATOR DRAWINGS)  
AS PER 2018 NCSBC SECTION 708

David Martini - Plank

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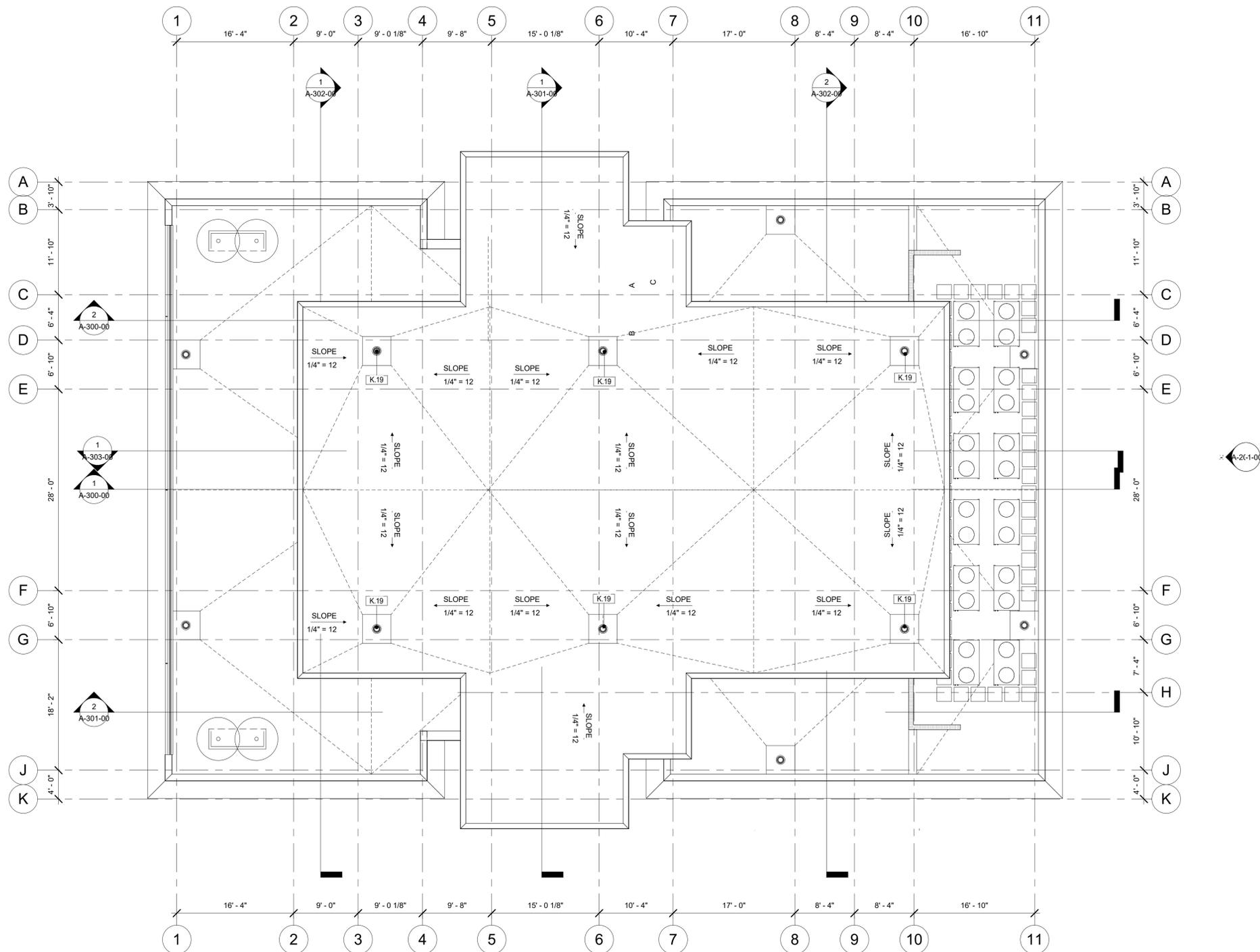
GENERAL CONTRACTOR  
Kearey Builders  
Ryan Kearey  
2915 Charlotte Highway  
Mooresville, NC 28117  
980-444-6510



PROJECT  
DAVIDSON GATEWAY CENTER  
635 DAVIDSON GATEWAY DRIVE  
DAVIDSON NC 28036

Seal:  
Issue Date: 07/31/19

FOURTH FLOOR  
CONSTRUCTION PLAN  
A-103-00  
SHEET:



1 ROOF CONSTRUCTION PLAN  
1/8" = 1'-0"

**GENERAL NOTES**

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**KEYNOTE LEGEND**

K.19 ROOF DRAIN

**SYMBOL LEGEND**

- DRAWING NUMBER
  - A0500 DRAWING NUMBER
  - A0500 SHEET NUMBER
- SECTION TAG
  - 1 SIM DRAWING NUMBER
  - A101 SHEET NUMBER
- DETAIL TAG
  - 1 SIM DRAWING NUMBER
  - A101 SHEET NUMBER
- PARTITION TAG
  - ? PARTITION TYPE
- DOOR TAG
  - XXX DOOR TAG
- WINDOW TAG
  - B WINDOW TAG
- 2 HOUR RATED BARRIER
  - 2 HOUR RATED BARRIER

David Martini - Plank

ARCHITECT

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 980-444-6510



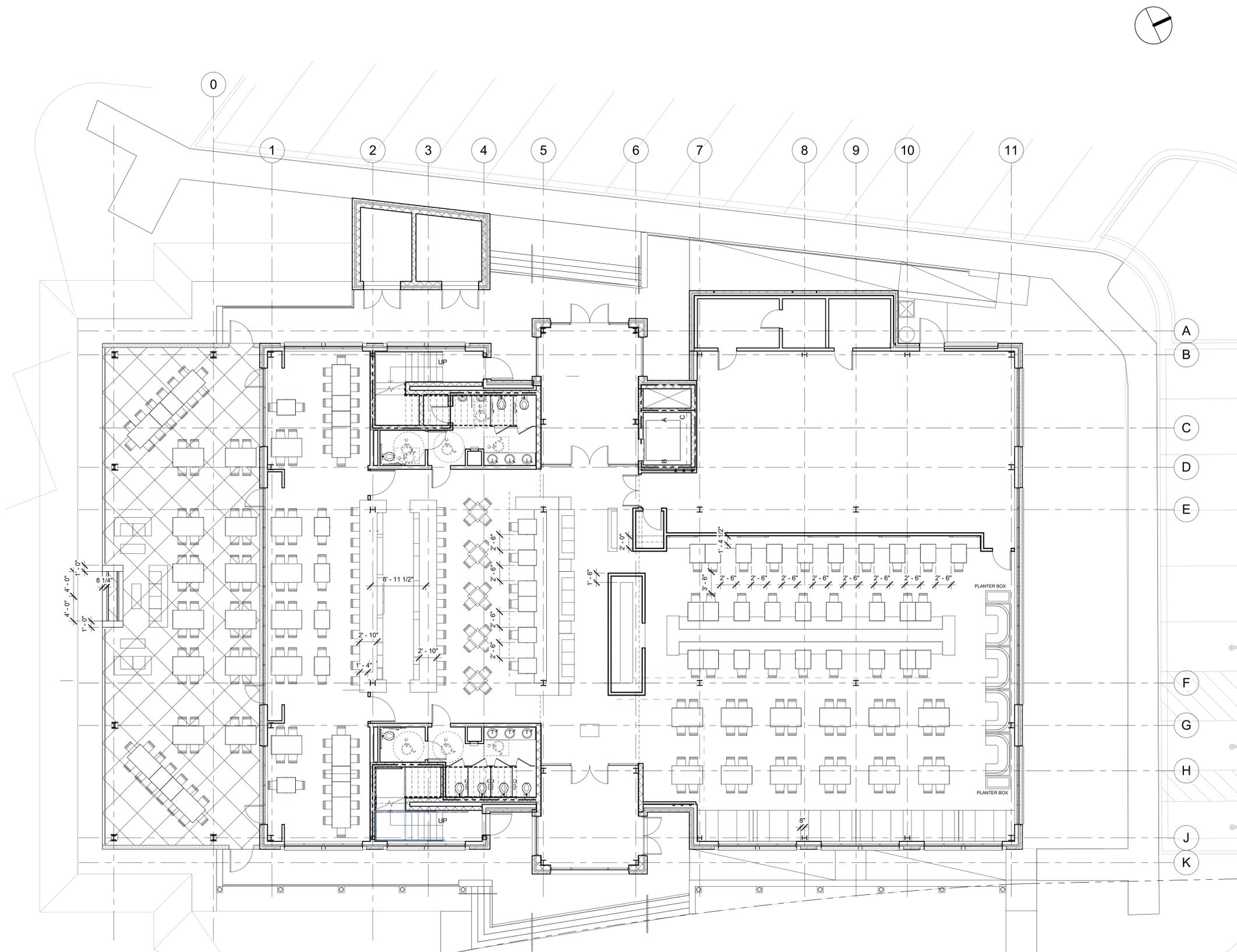
**PROJECT**  
**DAVIDSON GATEWAY CENTER**  
 635 DAVIDSON GATEWAY DRIVE  
 DAVIDSON NC 28036

Seal:  
 Issue Date: 07/31/19

**ROOF CONSTRUCTION PLAN**

**A-104-00**

SHEET:



1 FIRST FLOOR FURNITURE PLAN  
1/8" = 1'-0"



David Martini - Plank  
ARCHITECT

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PROJECT  
DAVIDSON GATEWAY CENTER  
635 DAVIDSON GATEWAY DRIVE  
DAVIDSON NC 28036

Seal: \_\_\_\_\_  
Issue Date: \_\_\_\_\_ 07/31/19

FIRST FLOOR FURNITURE PLAN

A-160-00  
SHEET:

David Martini - Plank

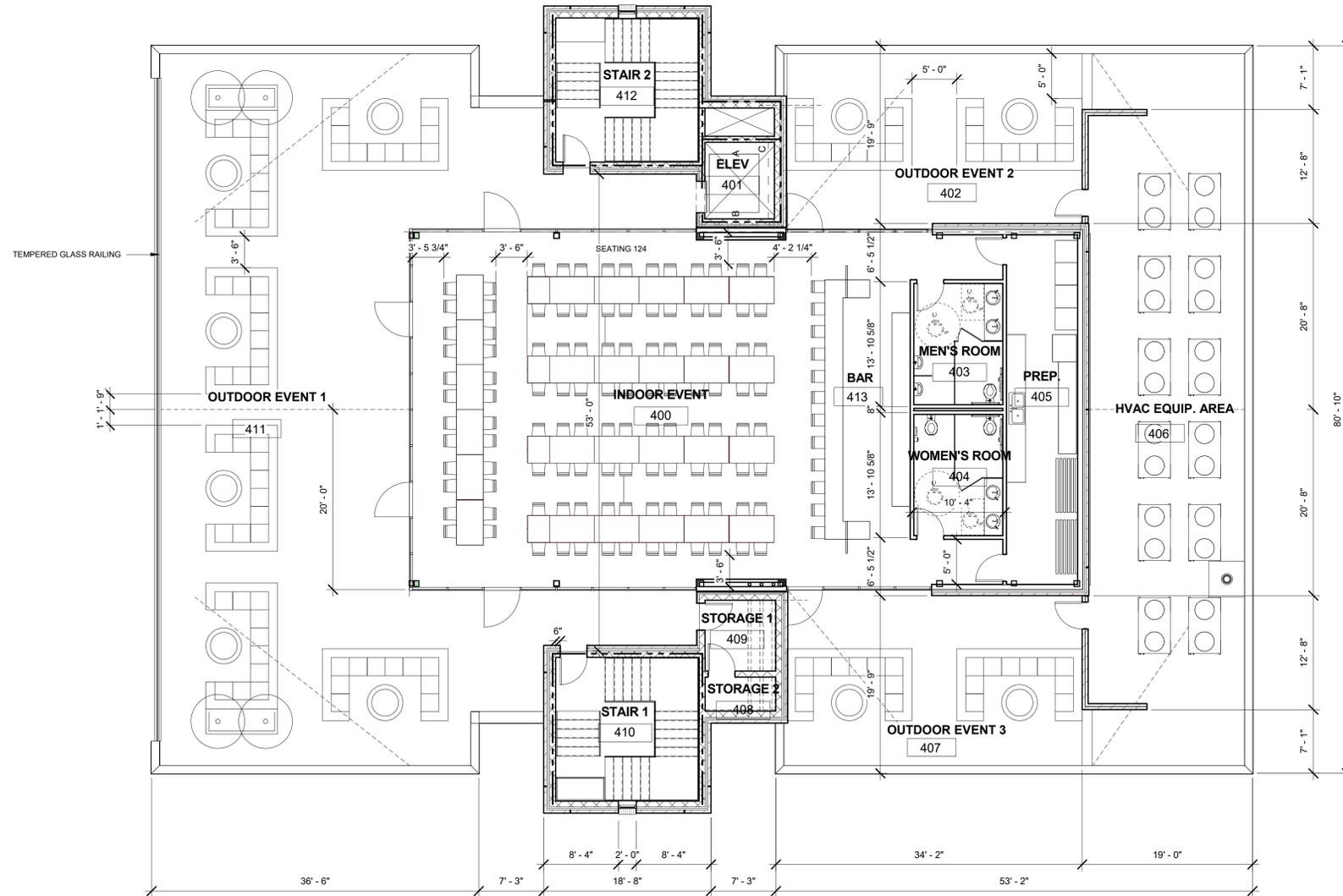
ARCHITECT

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PROJECT  
DAVIDSON GATEWAY CENTER  
635 DAVIDSON GATEWAY DRIVE  
DAVIDSON NC 28036



① FOURTH FLOOR FURNITURE PLAN  
1/8" = 1'-0"

Seal: \_\_\_\_\_  
Issue Date: 07/31/19

FOURTH FLOOR FURNITURE  
PLAN  
A-161-00  
SHEET:



2 ELEVATION  
1/8" = 1'-0"



1 BUILDING ELEVATION  
1/8" = 1'-0"

KEYNOTE LEGEND	
K.01	FIRE PLACE CLAD WITH DARK GRAY BRICK
K.02	CAST IN PLACE CONCRETE WALL
K.05	EXTERIOR LIGHT BOLLARDS
K.09	ANCHOR FLANGES AND SOLID STEEL ROD
K.11	CANOPY STEEL CHANNEL W/ KYNAR ANTI-FADE PAINT COLOR WITH PROTECTIVE FINISH. SEE STRUCT. DWGS. FOR VERT. WEB FINIS AND DETAIL DIMENSIONS. SUBMIT SHOP DWGS FOR ARCHITECTURAL AND STRUCTURAL APPROVAL.
K.12	STEEL BEAM SEE STRUCT. DWGS.
K.13	STEPPED BRICK CORBEL
K.24	SUN SHADE DEVICE
K.25	CONTROL JOINT / EXPANSION JOINT. HORIZ. JOINT TO BE CONTIGUOUS AT PERIMETER. VERTICAL JOINT FROM FOUNDATION TO TOP OF PARAPET.
K.26	PRE-FAB METAL COPING
K.27	BRICK ROW LOCK SILL
K.28	LOW "E" 1" THERMINALLY INSULATED GLASS IN BLACK ANODIZED ALUM. FRAME
K.29	LOW "E" 1" THERMINALLY INSULATED GLASS IN BLACK ANODIZED ALUM. STOREFRONT SYSTEM
K.30	LOW DOUBLE WHYTE DARK GRAY BRICK WALL WITH BRICK ROW LOCK CAP
K.32	MEDIUM GRAY STUCCO
K.33	WHITE STUCCO REFLECTOR
K.34	DARK GRAY BRICK WITH CREME GROUT
K.35	LIGHT GRAY BRICK WITH CREME GROUT
K.36	WHITE PORCELAIN METAL PANEL

David Martini - Plank  
ARCHITECT

PROJECT TEAM:  
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980-444-6510



PROJECT  
DAVIDSON GATEWAY CENTER  
635 DAVIDSON GATEWAY DRIVE  
DAVIDSON NC 28036

Seal: \_\_\_\_\_  
Issue Date: 07/31/19

ELEVATIONS  
A-200-00  
SHEET:



1 ELEVATION  
1/8" = 1'-0"



2 ELEVATION  
1/8" = 1'-0"

**KEYNOTE LEGEND**

K.09	ANCHOR FLANGES AND SOLID STEEL ROD
K.11	CANOPY STEEL CHANNEL W/ KYNAR ANTI-FADE PAINT COLOR WITH PROTECTIVE FINISH. SEE STRUCT. DWGS. SEE ARCHITECTURAL DWGS FOR VERT. WEB FINIS AND DETAIL DIMENSIONS. SUBMIT SHOP DWGS FOR ARCHITECTURAL AND STRUCTURAL APPROVAL.
K.13	STEPPED BRICK CORBEL
K.24	SUN SHADE DEVICE
K.25	CONTROL JOINT / EXPANSION JOINT. HORIZ. JOINT TO BE CONTIGUOUS AT PERIMETER. VERTICAL JOINT FROM FOUNDATION TO TOP OF PARAPET.
K.26	PRE-FAB METAL COPING
K.28	LOW "E" 1" THERMINALLY INSULATED GLASS IN BLACK ANODIZED ALUM. FRAME
K.29	LOW "E" 1" THERMINALLY INSULATED GLASS IN BLACK ANODIZED ALUM. STOREFRONT SYSTEM

David Martini - Plank  
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Master Planning  
Development

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980-444-6510



PROJECT  
DAVIDSON GATEWAY CENTER  
635 DAVIDSON GATEWAY DRIVE  
DAVIDSON NC 28036

Seal:  
Issue Date: 07/31/19

ELEVATIONS  
A-201-00  
SHEET:



1 BUILDING SECTION  
1/8" = 1'-0"



2 BUILDING SECTION  
1/8" = 1'-0"

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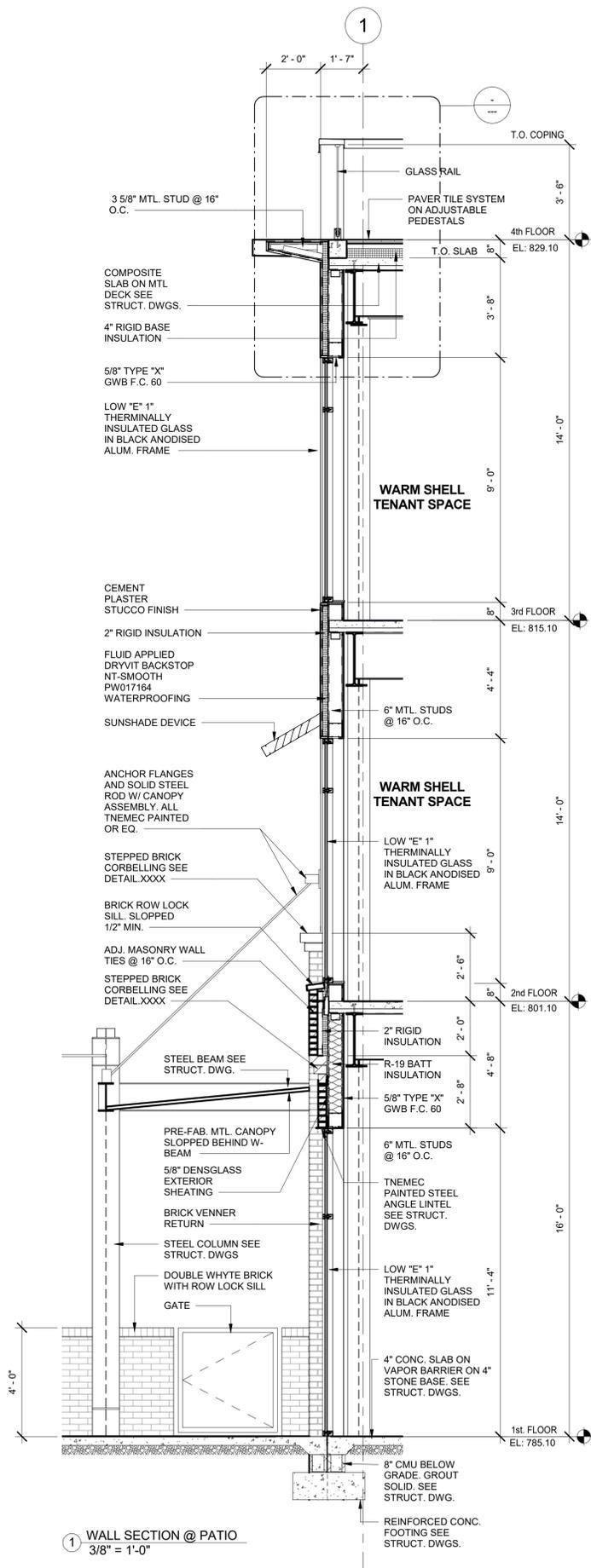
GENERAL CONTRACTOR  
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Ryan Kearey  
2915 Charlotte Highway  
Mooresville, NC 28117  
980-444-6510



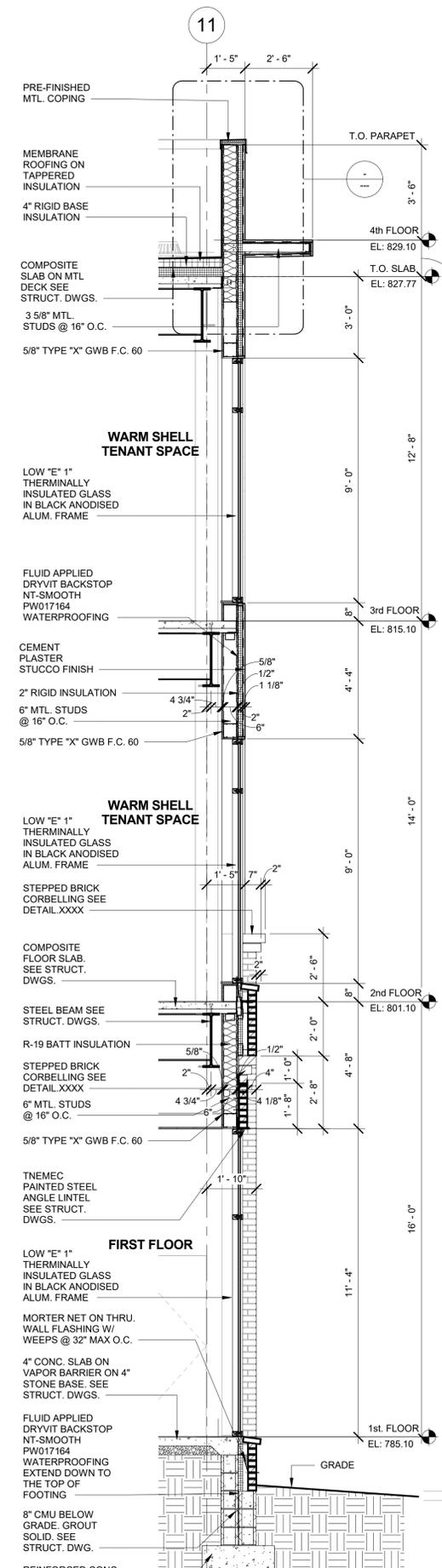
PROJECT  
DAVIDSON GATEWAY CENTER  
635 DAVIDSON GATEWAY DRIVE  
DAVIDSON NC 28036

Seal:  
Issue Date: 07/31/19

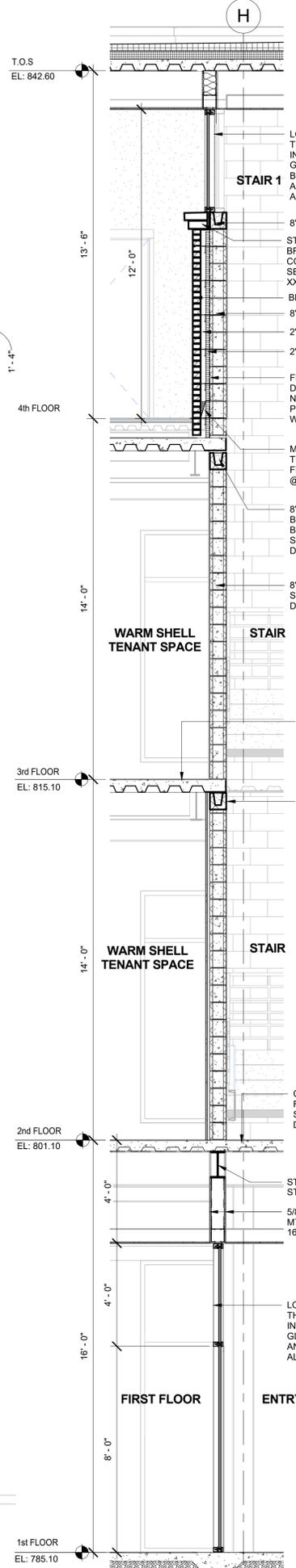
BUILDING SECTION  
A-300-00  
SHEET:



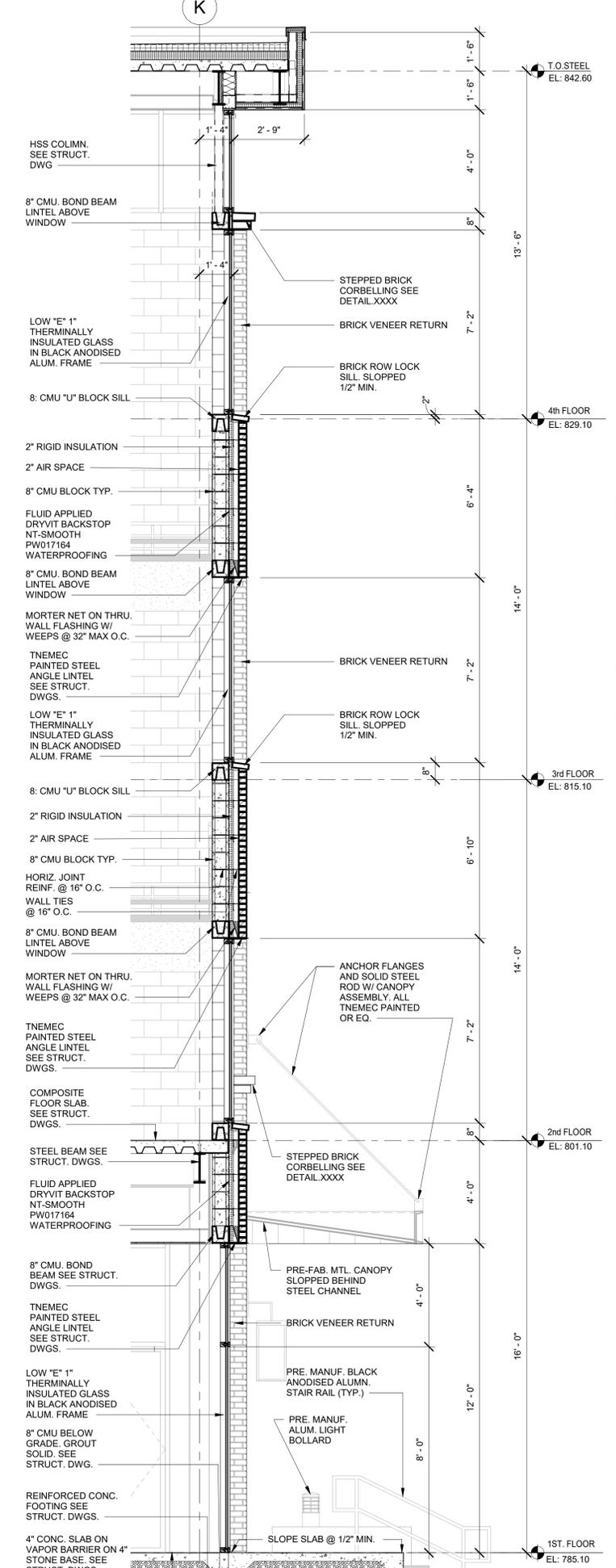
1 WALL SECTION @ PATIO  
3/8" = 1'-0"



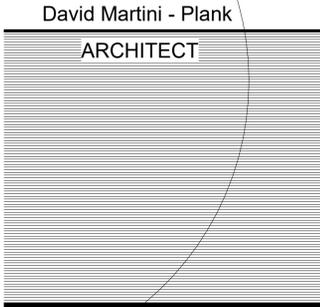
2 WALL SECTION  
3/8" = 1'-0"



3 WALL SECTION  
3/8" = 1'-0"



4 WALL SECTION  
3/8" = 1'-0"



PROJECT TEAM:  
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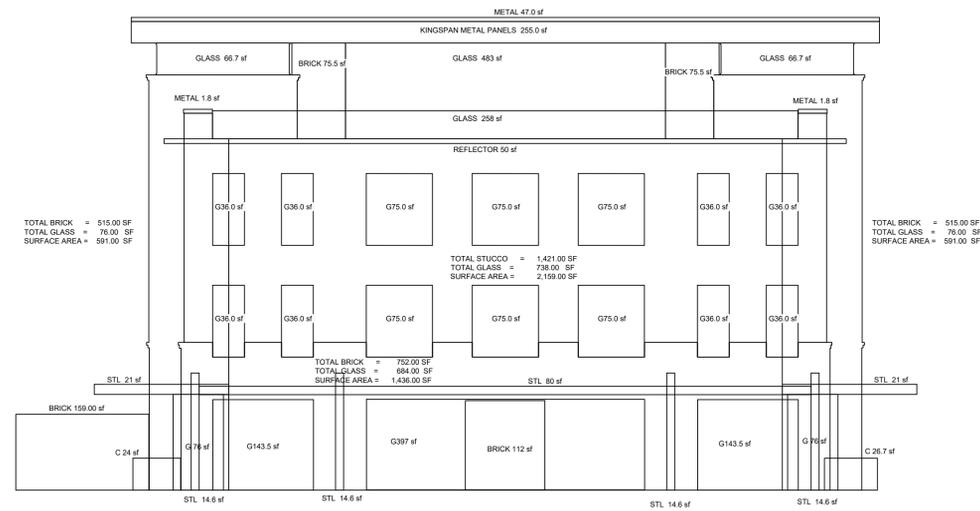
**GENERAL CONTRACTOR**  
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 Ryan Kearey  
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 Mooresville, NC 28117  
 980-444-6510



**PROJECT**  
 DAVIDSON GATEWAY CENTER  
 635 DAVIDSON GATEWAY DRIVE  
 DAVIDSON NC 28036

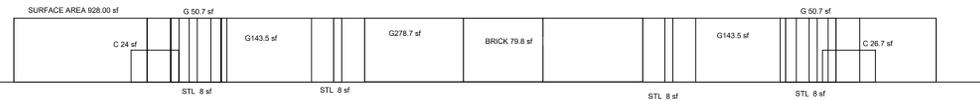
Seal: \_\_\_\_\_  
 Issue Date: 07/31/19

**WALL SECTIONS**  
 A-350-00  
 SHEET:



TOTAL OTHER MATERIALS = 5239.00 SF  
 TOTAL STUCCO AREA = 1,421.00 S.F.  
 TOTAL SURFACE AREA = 6,660.00 SF  
 Max. STUCCO AREA (req) 6,660.00 x 0.25 = 1,665.00 SF  
 PERCENTAGE STUCCO 1,421.00 / 6,660.00 = 21.33%

PERCENTAGE OF STUCCO @ FACADE NOT GREATER THAN 25 %



TOTAL AREA = 928.2 SF  
 TOTAL GLASS = 616.4 S.F.  
 PERCENTAGE TRANSPARENCY 616.4 / 928.2 = 66.4 %

PERCENTAGE OF TRANSPARENCY @ FIRST FLOOR AT LEAST 65%



David Martini - Plank

ARCHITECT

PROJECT TEAM:

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 Ryan Kearey  
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 980-444-6510

ARCHITECT OF RECORD

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Architecture  
 Interiors  
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 Development

PROJECT

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 635 DAVIDSON GATEWAY DRIVE  
 DAVIDSON NC 28036

Seal:

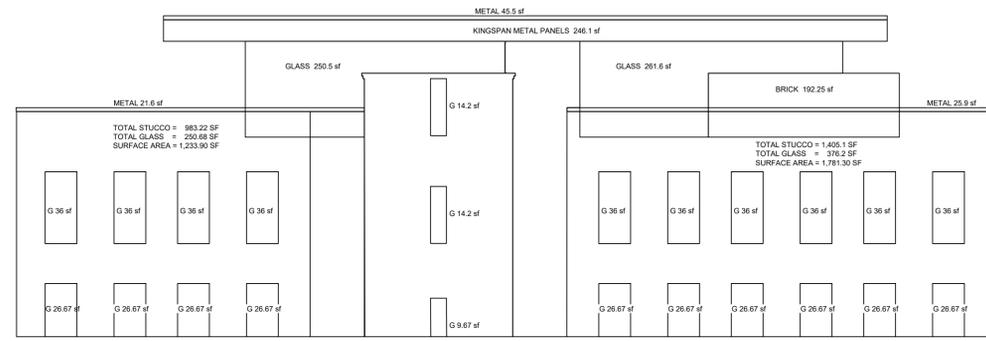
Issue Date:

07/31/19

SOUTH ELEVATION

MA-101-00

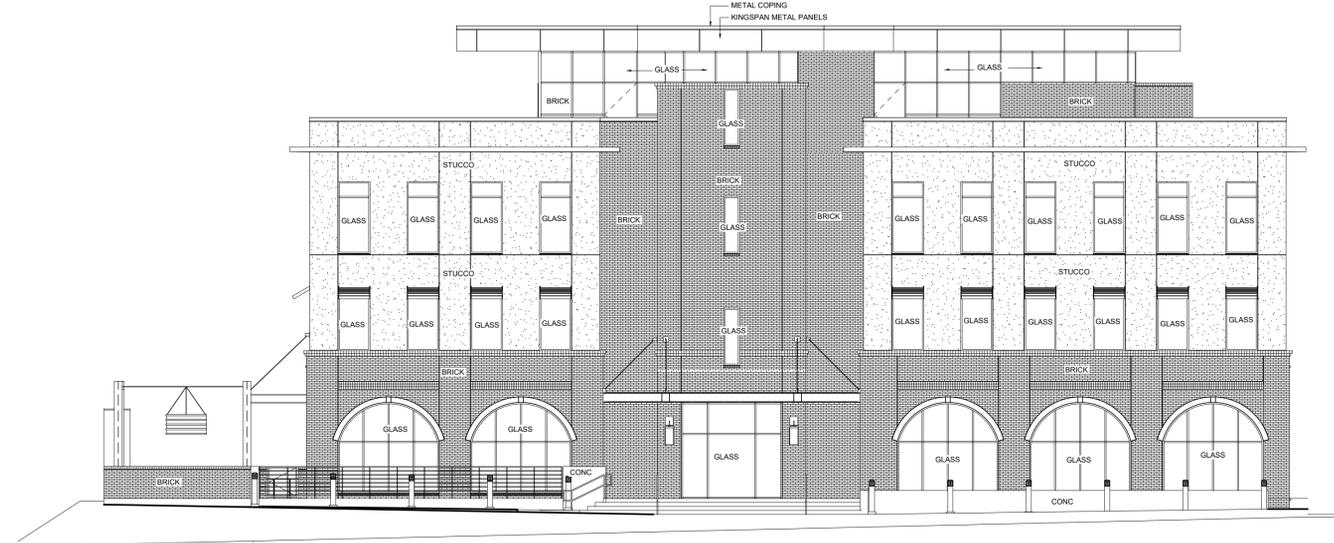
SHEET:



TOTAL OTHER MATERIALS = 3,746.87 SF  
 TOTAL GLASS AREA = 1,177.05 S.F.  
 TOTAL SURFACE AREA = 4,923.92 SF  
 PERCENTAGE TRANSPARENCY 1,177.05 / 4,923.92 = 23.9%

TOTAL BRICK = 577.25 SF  
 TOTAL GLASS = 38.07 SF  
 SURFACE AREA = 615.32 SF

**PERCENTAGE OF TRANSPARENCY @ UPPER FLOORS AT LEAST 30%**



David Martini - Plank  
 ARCHITECT

PROJECT TEAM:

GENERAL CONTRACTOR  
 Kearey Builders  
 Ryan Kearey  
 2915 Charlotte Highway  
 Mooresville, NC 28117  
 980-444-6510

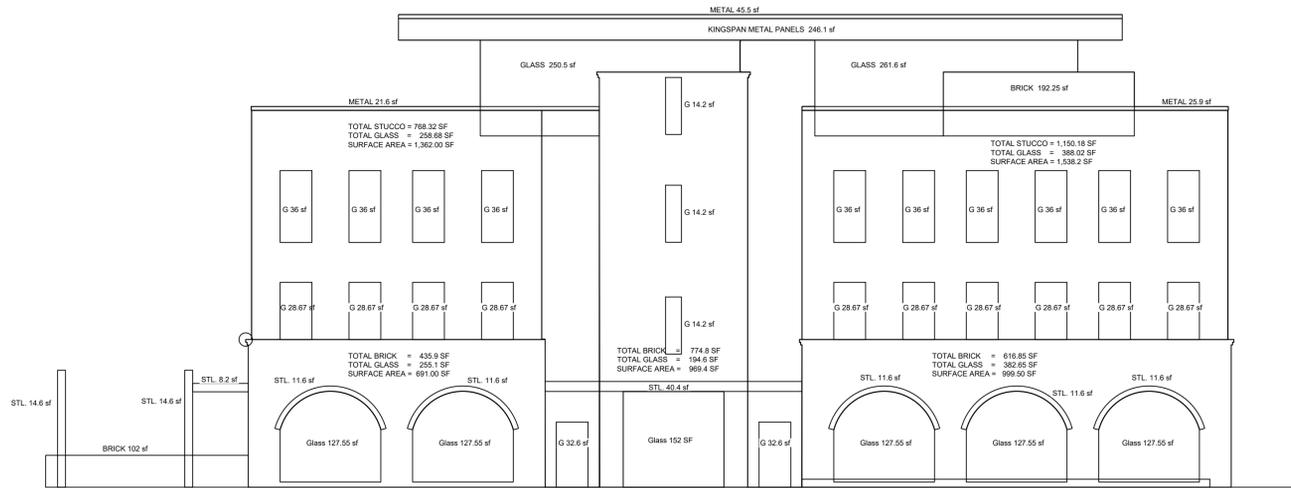
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 Mooresville, NC 28117  
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 dmartiniplank@gmail.com

Architecture  
 Interiors  
 Master Planning  
 Development

PROJECT

DAVIDSON GATEWAY CENTER  
 635 DAVIDSON GATEWAY DRIVE  
 DAVIDSON NC 28036

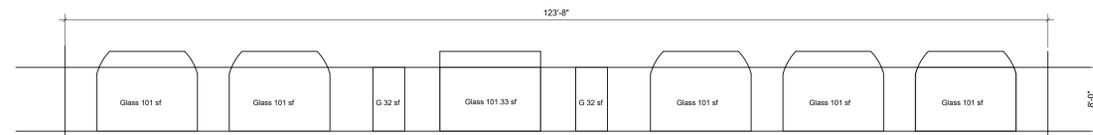


TOTAL OTHER MATERIALS = 5,717.55 SF  
 TOTAL STUCCO AREA = 1,910.5 S.F.  
 TOTAL SURFACE AREA = 7,628.05 SF  
 PERCENTAGE STUCCO 1,910.5 / 7,628.05 = 25.0%

TOTAL BRICK = 391.9 SF  
 TOTAL GLASS = 32.8 SF  
 SURFACE AREA = 334.5 SF

TOTAL BRICK = 397.4 SF  
 TOTAL GLASS = 32.8 SF  
 SURFACE AREA = 400 SF

**PERCENTAGE OF STUCCO @ FACADE NOT GREATER THAN 25%**



TOTAL AREA 989 SF  
 TOTAL GLASS (WITH ROUND GLASS IN LAST BAY) = 637.74 S.F.  
 PERCENTAGE TRANSPARENCY 637.74 / 989 = 64.48 %

TOTAL GLASS (WITH LAST BAY) = 670.33 S.F.  
 PERCENTAGE TRANSPARENCY 670.33 / 989 = 67.7 % > 65 %

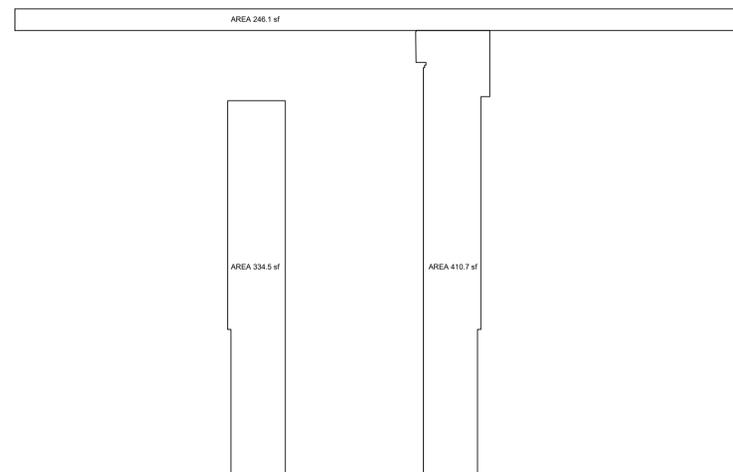
TOTAL GLASS FIRST FLOOR FACADE



TOTAL AREA 989 SF  
 TOTAL GLASS (WITHOUT LAST BAY) = 726.2 S.F.  
 PERCENTAGE TRANSPARENCY 726.2 / 989 = 73.4 %

TOTAL GLASS (WITH LAST BAY) = 794.61 S.F.  
 PERCENTAGE TRANSPARENCY 794.61 / 989 = 80.3 %

**PERCENTAGE OF TRANSPARENCY @ FIRST FLOOR AT LEAST 65%**



Seal:

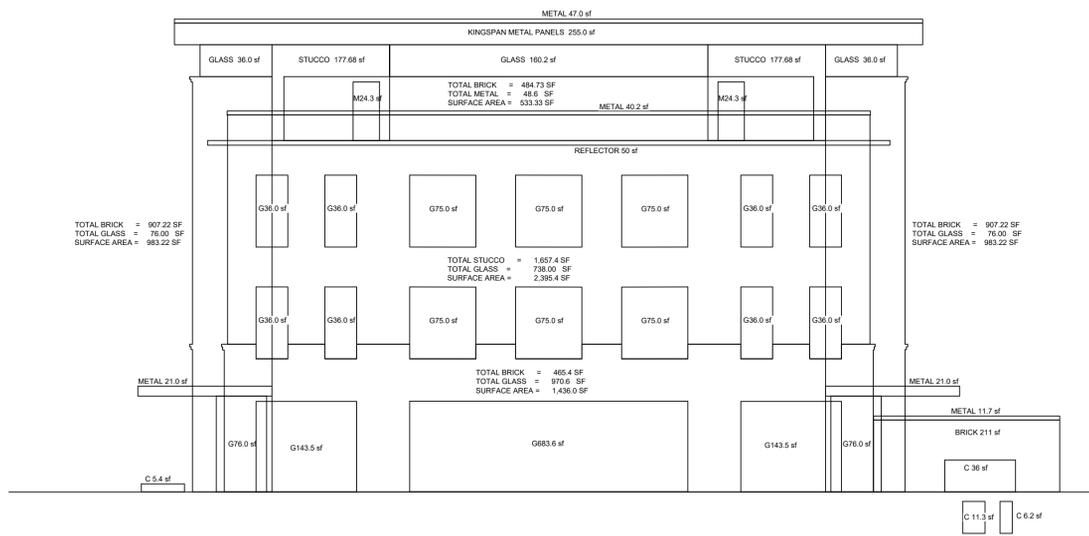
Issue Date:

07/31/19

**EAST ELEVATION**

**MA-102-00**

SHEET:



TOTAL BRICK = 907.22 SF  
 TOTAL GLASS = 76.00 SF  
 SURFACE AREA = 983.22 SF

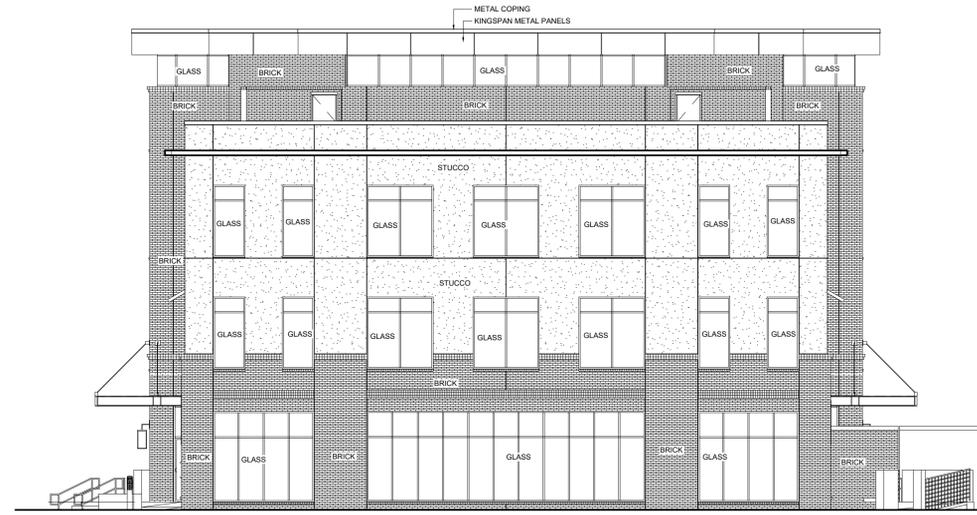
TOTAL BRICK = 907.22 SF  
 TOTAL GLASS = 76.00 SF  
 SURFACE AREA = 983.22 SF

TOTAL STUCCO = 1,657.4 SF  
 TOTAL GLASS = 738.00 SF  
 SURFACE AREA = 2,395.4 SF

TOTAL BRICK = 465.4 SF  
 TOTAL GLASS = 970.6 SF  
 SURFACE AREA = 1,436.0 SF

TOTAL OTHER MATERIALS = 5,878.97 SF  
 TOTAL STUCCO AREA = 2,012.76 S.F.  
 TOTAL SURFACE AREA = 7,891.73 SF  
 Max. STUCCO AREA (req) = 7,891 x 0.25 = 1,972.75 SF  
 PERCENTAGE STUCCO = 2,012.76 / 7,891 = 25.5%

**PERCENTAGE OF STUCCO @ FACADE**



David Martini - Plank

ARCHITECT

PROJECT TEAM:

**GENERAL CONTRACTOR**

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 Ryan Kearey  
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**PROJECT**

**DAVIDSON GATEWAY CENTER**  
**635 DAVIDSON GATEWAY DRIVE**  
**DAVIDSON NC 28036**

Seal:

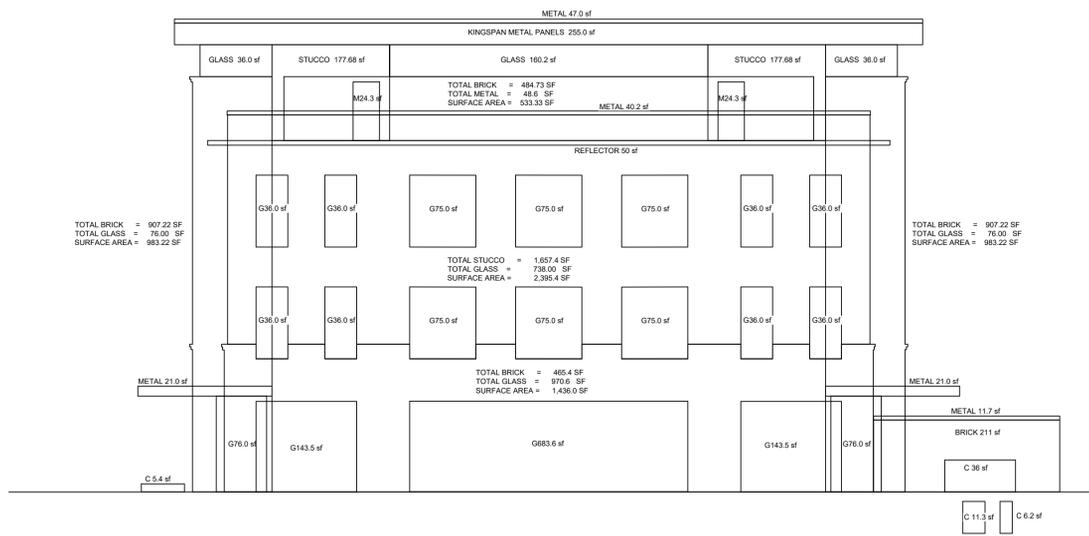
Issue Date: 07/31/19

**NORTH ELEVATION**

**MA-103-00**

SHEET:





TOTAL BRICK = 907.22 SF  
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 SURFACE AREA = 983.22 SF

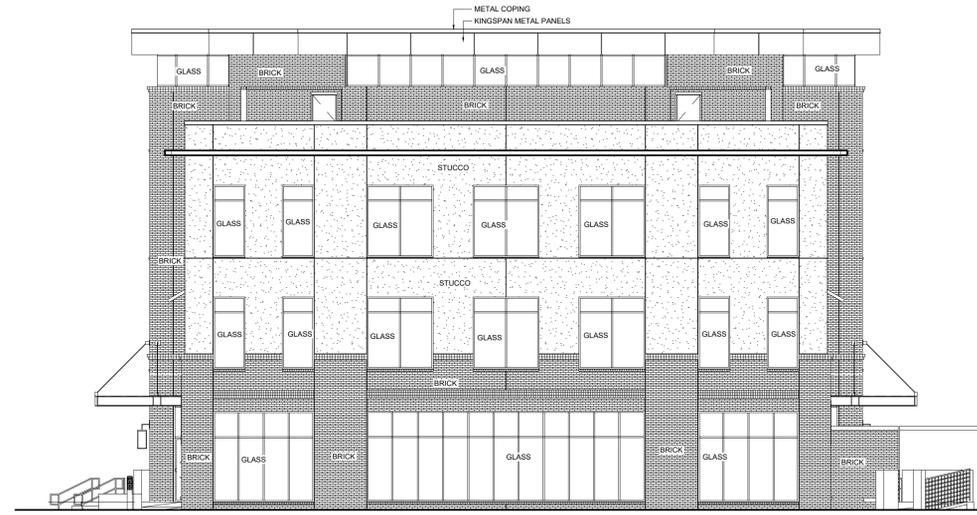
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**PERCENTAGE OF STUCCO @ FACADE**



David Martini - Plank

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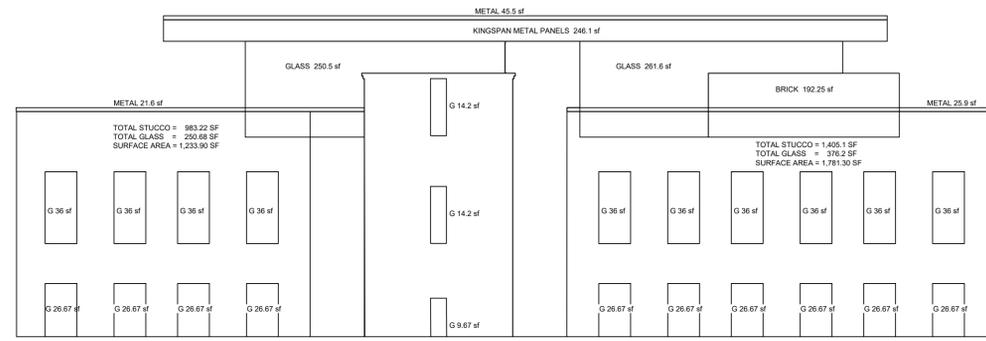
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**NORTH ELEVATION**

**MA-103-00**

SHEET:

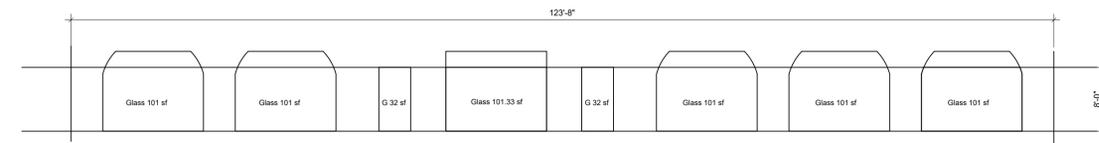
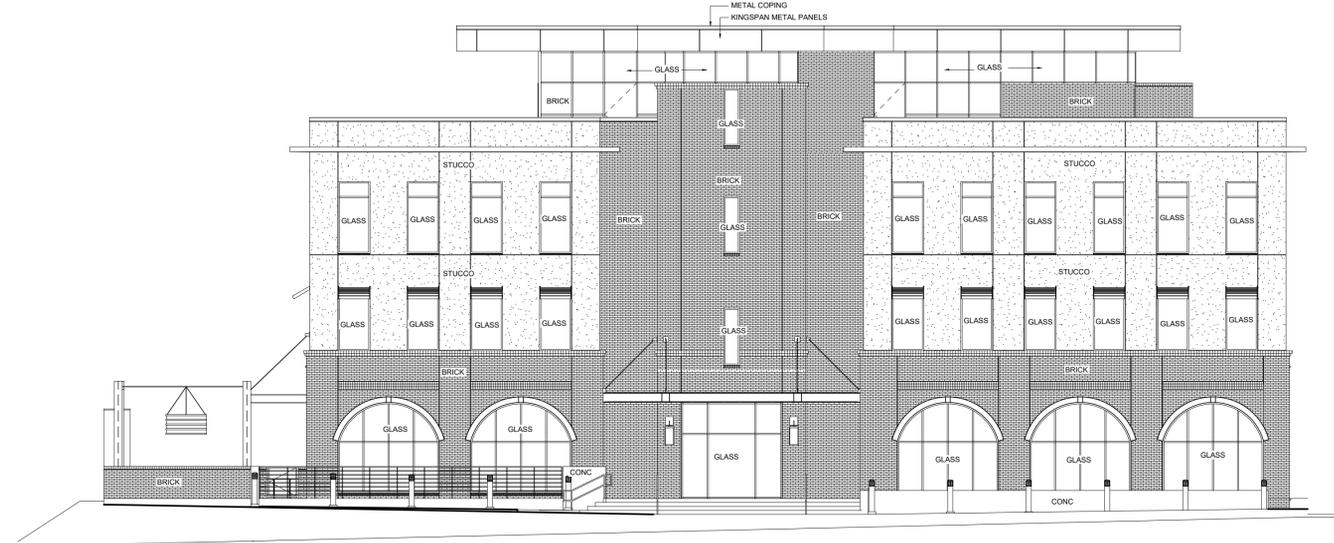




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TOTAL BRICK = 57.25 SF  
 TOTAL GLASS = 38.07 SF  
 SURFACE AREA = 615.32 SF

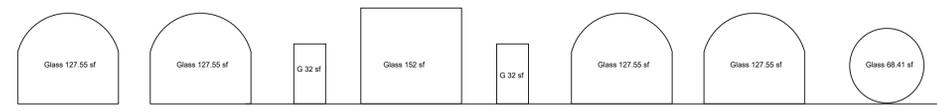
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TOTAL GLASS (WITH LAST BAY) = 670.33 S.F.  
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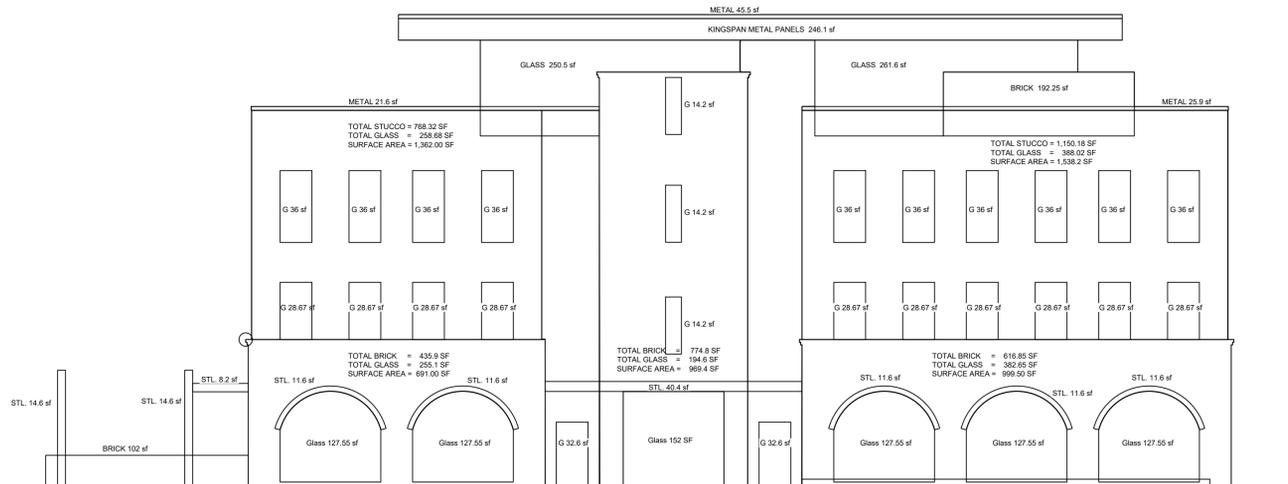
TOTAL GLASS FIRST FLOOR FACADE



TOTAL AREA 989 SF  
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 PERCENTAGE TRANSPARENCY 726.2 / 989 = 73.4 %

TOTAL GLASS (WITH LAST BAY) = 794.61 S.F.  
 PERCENTAGE TRANSPARENCY 794.61 / 989 = 80.3 %

**PERCENTAGE OF TRANSPARENCY @ FIRST FLOOR AT LEAST 65%**

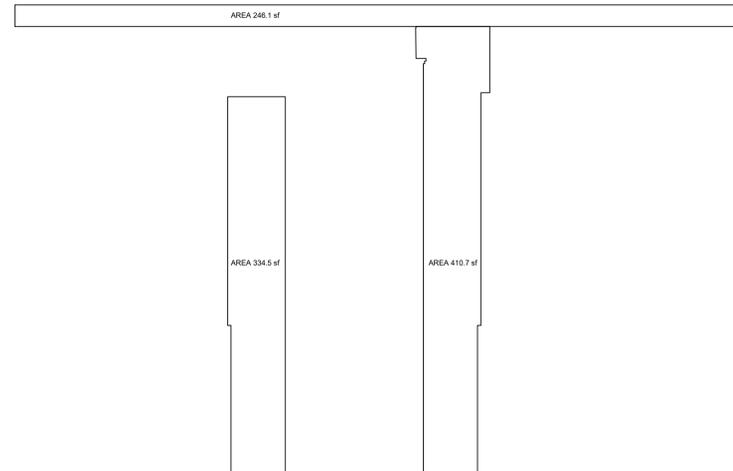


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 TOTAL GLASS = 32.8 SF  
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TOTAL BRICK = 397.4 SF  
 TOTAL GLASS = 32.8 SF  
 SURFACE AREA = 400 SF

**PERCENTAGE OF STUCCO @ FACADE NOT GREATER THAN 25%**



David Martini - Plank

ARCHITECT

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 635 DAVIDSON GATEWAY DRIVE  
 DAVIDSON NC 28036

Seal:

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EAST ELEVATION

MA-102-00

SHEET:

David Martini - Plank

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Seal:

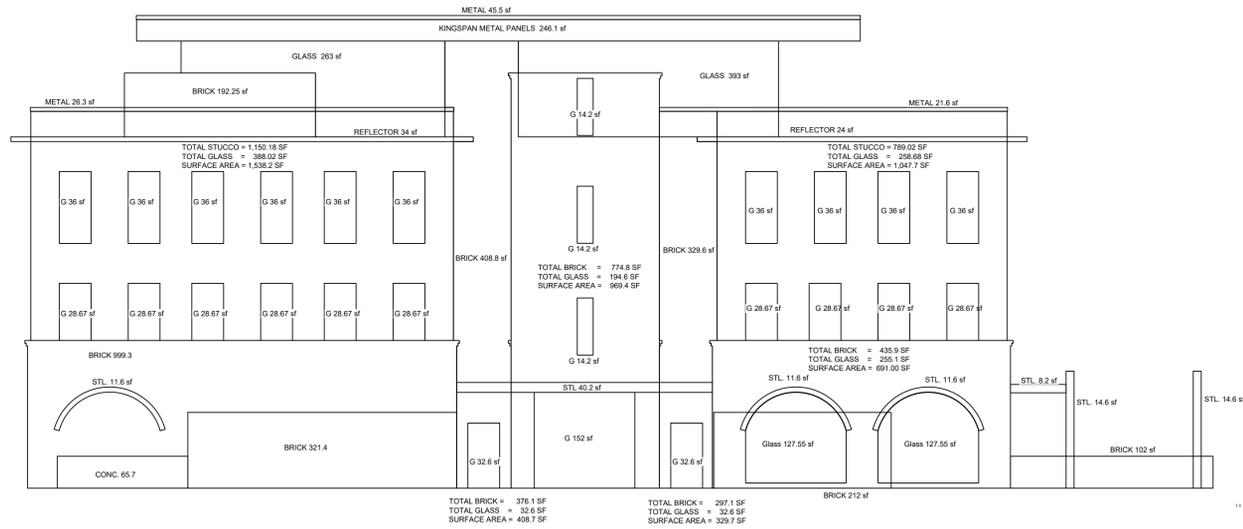
Issue Date:

07/31/19

WEST ELEVATION

MA-104-00

SHEET:



TOTAL OTHER MATERIALS = 6,104.05 SF  
TOTAL STUCCO AREA = 1,939.2 S.F.  
TOTAL SURFACE AREA = 8,043.25 SF  
Max. STUCCO AREA (req) 8,043.25 x 0.25 = 2,010.8 SF  
PERCENTAGE STUCCO 1,939.2 / 8,043.25 = 24.1%

PERCENTAGE OF STUCCO @ FACADE NOT GREATER THAN 25 %





David Martini - Plank

ARCHITECT

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**ARCHITECT OF RECORD**  
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**PROJECT**

**DAVIDSON GATEWAY CENTER**  
635 DAVIDSON GATEWAY DRIVE  
DAVIDSON NC 28036

Seal:

Issue Date:

07/31/19

**PERSPECTIVE VIEWS**

**A-459.00**

SHEET:



David Martini - Plank  
ARCHITECT

PROJECT TEAM:  
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Seal: \_\_\_\_\_  
Issue Date: \_\_\_\_\_ 07/31/19

**PERSPECTIVE VIEW**

**A-460.00**  
SHEET:

# Davidson Gateway Building – Proposed Renderings

1. Proposed Building (front view)



2. Proposed Building (front/angled view)



3. Proposed Building (roof top view)

