



**TOWN OF DAVIDSON
DESIGN REVIEW BOARD
7:00PM Board Room in Town Hall a 216 S Main St, Davidson, NC**

September 18, 2019

-
- I. CALL TO ORDER**
 - II. SILENT ROLL CALL**
 - III. CHANGES TO THE AGENDA**
 - IV. REVIEW/APPROVAL OF THE MINUTES**
 - (a) Minutes 2019 August 21
 - V. OLD BUSINESS**
 - (a) Davidson Gateway Individual Building
 - VI. NEW BUSINESS**
 - (a) Davidson Green School Addition FYI
 - VII. ADJOURN**



Agenda Title: Minutes 2019 August 21

Summary:

ATTACHMENTS:

Description	Upload Date	Type
☐ Minutes 2019 August 21	9/6/2019	Cover Memo

Meeting Minutes

Design Review Board

Town of Davidson, NC
August 21, 2019

A meeting of the Town of Davidson *Design Review Board* was held in the Town Hall, Board Room, 216 S. Main St.

Call to Order: 7:00 p.m.

Silent Roll Call and Determination of Quorum:

Members Present signified by ☒:

☒ Bruce Barteldt, Chair

☒ Tom Goodwin, Vice

Chair

☐ Mike Kessler

☒ John Burgess

☒ Brian Bumann

☒ Bob Sipp

☒ EB Dyer

☐ Lorraine Degree

☐ Jeff Osman

Town Staff Present: Lindsay Laird (Planner)

Changes to the Agenda: None.

Review/Approval of the Minutes:

A motion was made (Tom Goodwin) to approve the meeting minutes of July 17, 2019 as submitted. It was seconded (Bob Sipp) and the motion was approved unanimously.

Consent Item: None.

Old Business: None.

New Business:

1. Davidson Gateway Individual Building FYI

Located at 635 Davidson Gateway Drive (Parcel ID 00321117)

Central Business District Planning Area

Proposed Four-story Commercial Building

Lindsay Laird gave an overview of the project, noting that the subject site is part of the Southeast Quadrant Master Plan (approved 1998). The applicant proposes a new four-story commercial/office building. The proposed building will be approximately 34,264 square feet total, with restaurant space on the first floor, office space on the second and third floors, and roof top event space on the fourth floor. A large +/-2,049 square foot patio is also shown off the southern building elevation. Exterior building materials will primarily be brick (two different colors), glass, and stucco (less than 25 percent per façade).

The applicant provided additional detail on the project, noting that each façade will meet transparency requirements. The applicant also noted that the proposed building will incorporate exposed steel accents (painted black) above window arches on the eastern (street-facing) building elevation. The building will not have soffit light fixtures as shown in the proposed rendering, but will have a soft under lit eyebrow. Mechanical equipment will be located on the rooftop and will be screened from all sides by a parapet.

The board asked for clarification on the stairwell on the eastern street-facing building elevation. The board did not want to see stair stringers across windows. Instead, stair stringers should cross above or below windows.

The board also requested clarification on the primary entrance to the building, facing Davidson Gateway Drive. The applicant explained that the proposed doors are not facing the street and instead face north towards the proposed parking area. The board requested that door(s) face the street as required in DPO Section 4.5.6.H (design requirements for storefront buildings): The principal entrance to a building, and any ground-level tenant space entrance, both functionally and architecturally, shall front the primary public street or a public open space such as a square, plaza, courtyard, or sidewalk.

The DRB asked for additional clarification on front setback requirements for storefront buildings in the Central Business District Planning Area. Staff explained that the DPO requires a 0' minimum and 0' maximum front setback for storefront buildings located in the Central Business District. The project team explained that if the building were to be shifted toward the property line along Davidson Gateway Drive, then there would have to be a retaining wall at the back of sidewalk due to the topography of the site. The DRB suggested that the project team pursue options to bring a portion of the building toward the property line along Davidson Gateway Drive. This could be done by shifting the building itself toward the property line or by incorporating additional hardscape/pedestrian features up to the property line, similar to the Jetton Street frontage at The Linden apartment building.

After further discussion, the board also requested that the applicant address the following additional items prior to a decision on the proposed project:

- Provide detail on the patio fireplace;
- Provide cut sheets for all exterior light fixtures;
- Provide material sample boards including colors, glazing, tinting, etc.;
- Clarify perpendicular versus slanted window shades on second floor (Perpendicular window shades are preferred);
- Consider incorporating larger windows on stairwell fronting Davidson Gateway Drive;
- Make sure that all elevations and renderings match.

No further action was taken on this FYI item.

Other Items: None.

Adjourn: A motion was made to adjourn (John Burgess), seconded (EB Dyer), and approved unanimously. The meeting was adjourned at 9:02 pm.

Approval of Minutes:

Date: _____ By: _____

Please note: This is a summary of the meeting and not to be considered a complete transcript.



Agenda Title: Davidson Gateway Individual Building

Summary:

ATTACHMENTS:

	Description	Upload Date	Type
▢	Davidson Gateway Individual Building - Staff Analysis	9/6/2019	Exhibit
▢	Davidson Gateway Individual Building - Plans	9/6/2019	Exhibit
▢	Davidson Gateway Individual Building - Materials and Renderings	9/6/2019	Exhibit

**Town of Davidson, NC
Design Review Board: Staff Analysis
September 18, 2019**

Project: Davidson Gateway Individual Building
Location: 635 Davidson Gateway Drive (Parcel ID 00321117)
Applicant: David Martini-Plank
Designer: David Martini-Plank, Architect
Planning Area: Central Business District

This project was presented to the DRB for FYI review at the August 21 regular meeting.

The applicant proposes a new four-story commercial/office building at 635 Davidson Gateway Drive, which is part of the 1998 Southeast Quadrant Master Plan. The proposed building will be +/- 34,264 square feet total, with restaurant space on the first floor, office space on the second and third floors, and roof top event space on the fourth floor. A large +/-2,049 square foot patio is also shown off the southern building elevation.

At the August FYI review, the DRB raised a question as to whether or not the proposed building complies with the 0' minimum and 0' maximum front setback requirement for storefront buildings located in the Central Business District Planning Area. The project team addressed this concern by incorporating additional hardscape in the area between the 12' wide sidewalk and building, south of the primary entrance along Davidson Gateway Drive. Per notes under setback table 2-18, pedestrian features such as plazas, stoops, walks, and sidewalk cafes, etc., are included as part of the front and side setback areas.

Exterior building materials will primarily be brick (dark grey and cream), glass (light grey glazing), and stucco (light grey; less than 25 percent per façade). All brick at the first floor and stair towers will be dark grey with light grey mortar. The vertical infill brick between stair towers, from the first floor to the fourth floor will be a cream color. Stucco at second, third, and fourth floors will be light grey. Steel accent arches (painted black) are shown above windows on the eastern building elevation (facing Davidson Gateway Drive). Handrails will be painted black to match steel accents. All doors and window systems will have black anodized aluminum frames.

Lighting details have been provided by the applicant and include LED bollard lights, aluminum wall mounted lights, diecast LED brick lights, flood lights, and decorative pendant lighting above the outdoor patio (see lighting detail sheet).

Mechanical equipment will be located on the rooftop and will be screened from all sides by the building parapet. Solid waste containers will also be screened from public view with materials similar to the building. Solid waste container screening will also be gated with black metal gates to match the steel accents on the building.

DAVIDSON PLANNING ORDINANCE:

2.2.5 CENTRAL BUSINESS DISTRICT PLANNING AREA REQUIREMENTS

C. Permitted Building Types

The following table establishes the permitted building types for the Central Business District Planning Area. Building types not listed in the Building Type table are presumed to be prohibited. Additional requirements are set out in Section 4, Site & Building Design Standards.

TABLE 2-17: CENTRAL BUSINESS DISTRICT BUILDING TYPE TABLE				
Building Types	Allowance	Design Review	Height	
			Minimum	Maximum
Workplace	P	R	3 stories	6 stories
Storefront	P	R	3 stories	6 stories

D. Site Design Standards

1. *Setback Requirements:* The following table establishes the required setbacks for the Central Business District Planning Area.

TABLE 2-18: CENTRAL BUSINESS DISTRICT SETBACK TABLE						
Building Types	Front Setback		Side Setback		Rear Setback	
	Minimum	Maximum	Minimum	Maximum	Minimum	Maximum
Workplace ¹	0	0	0	NA	NA	NA
Storefront ¹	0	0	0	NA	NA	NA

Setbacks are measured in feet.

Any encroachment into the public right-of-way is not permitted without an encroachment agreement.

¹Pedestrian features such as plazas, stoops, walks, and sidewalk cafes, etc., are included as part of the front and side setback areas.

4.4 GENERAL BUILDING DESIGN REQUIREMENTS

Section 4.4.1 Standards

B. Form and Massing

- For large scale buildings, the front façade shall create repetitive bays, or the façade shall be divided into an asymmetrical, yet balance composition.

C. Facade Articulation

All building facades visible from a public street or park/open space shall have:

- A recognizable base, distinguished from the body of the building by features such as, but not limited to:
 - Thicker walls, ledges or sills;
 - Visually heavier materials (such as brick, stone, tile or other masonry) than those used on the body of the building; and/or
 - Lighter or darker colored materials, mullions, panels or planters.

2. *A recognizable top, occupying the highest portion of the building and distinguished from the body of the building by features such as, but not limited to:*
 - a. *A dimensional cornice capping the top of a building wall;*
 - b. *Different materials or differently colored materials;*
 - c. *A roof overhang with brackets; and/or*
 - d. *Stepped parapets.*
3. *Large building facades shall be modulated through the use of repetitive bays separated by piers or columns, the use of reveals or recesses in the surface of the wall itself, the placement of window and door openings, or the placement of balconies, awnings, canopies, and sunshades.*

E. Materials

1. *Materials shall be selected for suitability to the type of building and design for which they are used.*
2. *Piecemeal embellishment and frequent changes in material should be avoided.*
3. *All sides of the building should use materials consistent with those on the front if visible from public streets or neighboring properties, and should be carefully designed with similar detailing, comparable quality, and compatible materials.*
4. *Building materials and colors shall be:*
 - a. *Complementary to the materials already being used in the neighborhood, or*
 - b. *If dissimilar materials are being proposed, other characteristics such as scale, proportion, form, architectural detailing, color, and texture shall be used to ensure that the building relates to the rest of the neighborhood.*
5. *All facades visible from a public street or park/open space shall utilize high-quality finish materials including, but not limited to:*
 - a. *Brick, masonry, or stone*
 - b. *Integrally tinted, textured masonry block*
 - c. *Stucco*
 - d. *Wood or cementitious siding*
 - e. *Glass*

Stucco or EIFC system finished may be used as secondary materials and should not be greater than 25 percent of a façade.

F. Architectural Details

1. *Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.*
2. *Architectural treatments which create the appearance of false entrances facing the street are prohibited. Faux windows and doors are prohibited. Visible false fronts are prohibited.*
3. *Architectural elements like openings, sills, bulkheads, columns, and other architectural features shall be used to establish human scale at the street level.*
4. *Fenestration shall be architecturally related to the style, materials, colors, and details of the building.*
6. *The main entry to a building should be emphasized at the street level. Appropriate methods include, but are not limited to:*
 - a. *Recessing the door within a larger cased opening.*
 - b. *Flanking the door with columns, decorative fixtures or other details.*

- c. An awning or canopy, providing a sheltered transition to the interior.

4.5 SPECIFIC BUILDING TYPE REQUIREMENTS

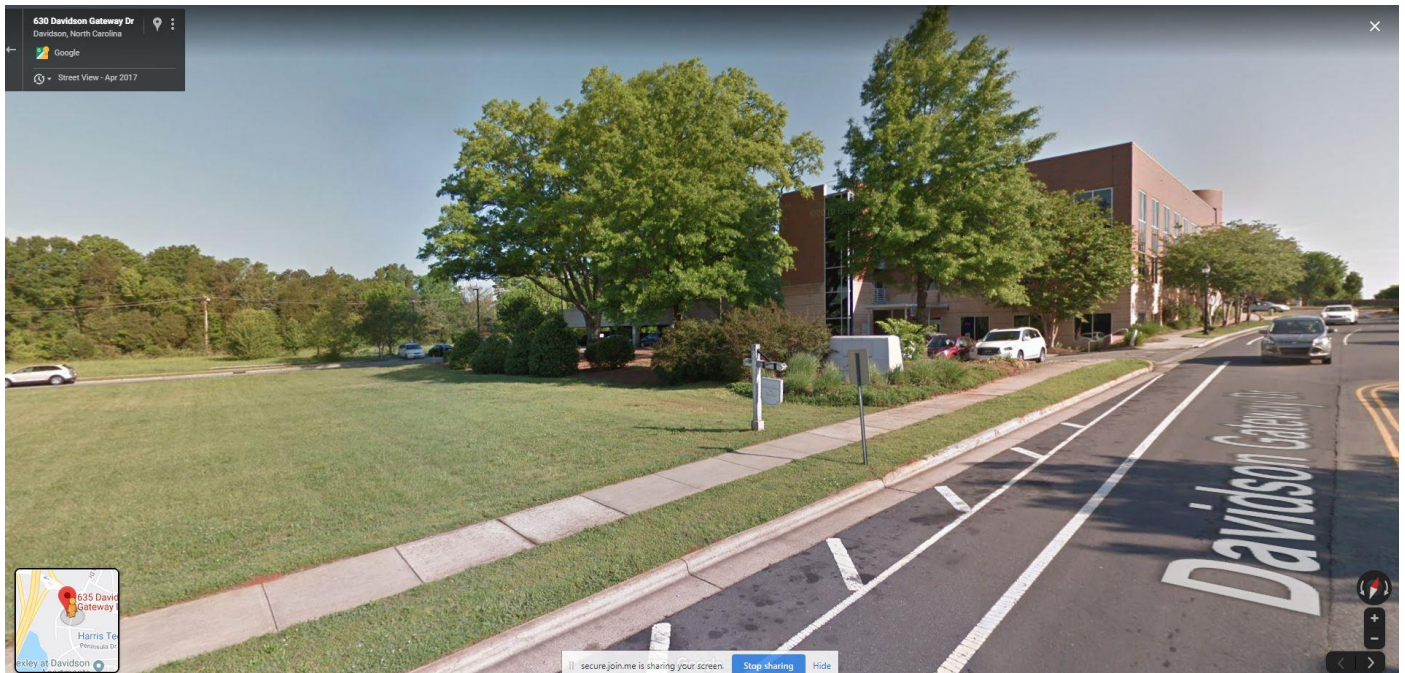
Section 4.5.6 Storefront Building Type

Storefront buildings may accommodate either single or multiple uses or tenants in a single building. A group of storefront buildings may be combined to form a mixed-use neighborhood center. Individual storefront buildings shall be designed to accommodate commercial/retail uses on the first floor, though office or residential uses are permitted. Upper Floors are appropriate for office or residential use. They are a minimum of two stories, typically are aligned adjacent to the public sidewalk and include a high percentage of transparency in the ground level façade to encourage pedestrian activity. All storefront buildings are subject to the Individual Building process and Design Review Board approval.

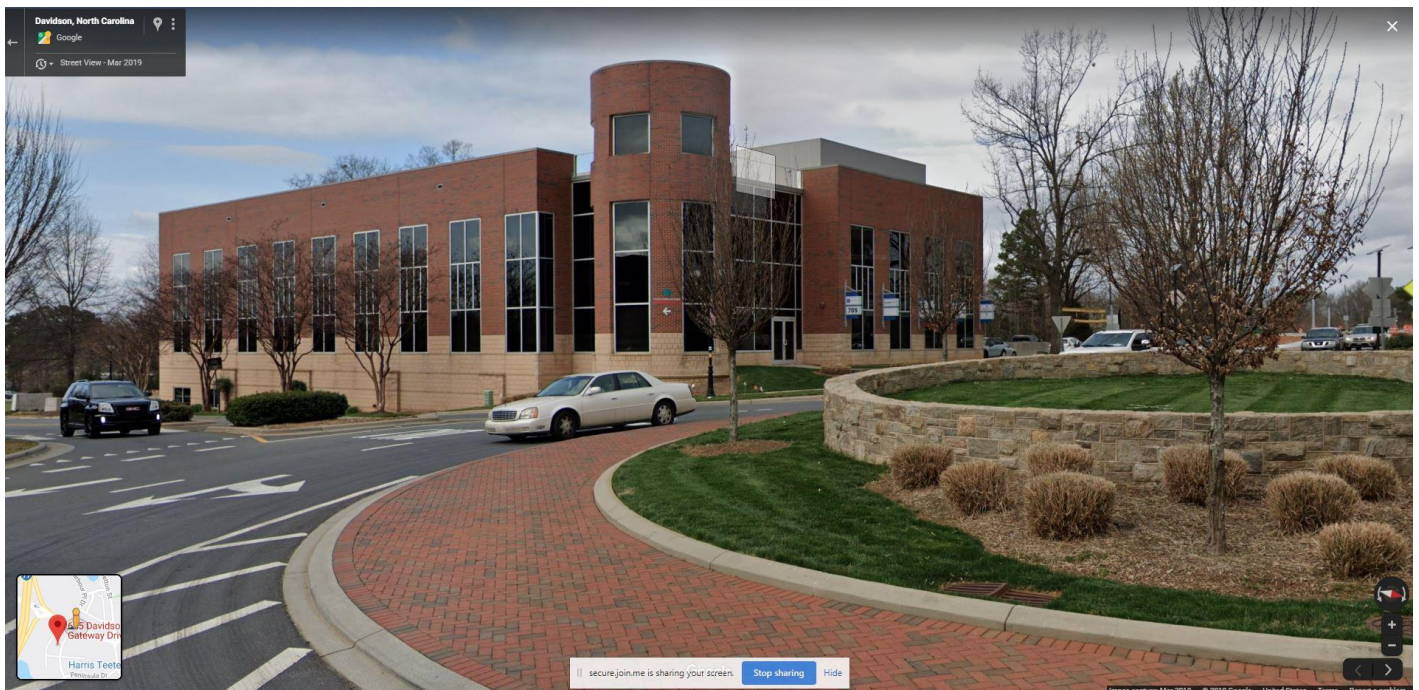
- A. The first floor facing the primary streets shall be designed to accommodate retail uses.*
- B. At least 65% of the first floor façade between 2'-0" and 10'-0" above grade facing the primary streets must be transparent. At least 30% of the upper floors facades between 3'-0" and 120'-0" above finished floor must be transparent.*
- C. The first floor shall be taller than upper floors and lower floors should be differentiated architecturally to create a sense of human scale.*
- D. Building elements shall have a dominant vertical proportion.*
- E. All buildings shall provide street level, pedestrian-oriented, active uses on principal street fronts.*
- F. Large buildings fronting multiple streets should provide entrances from each street.*
- G. Major building entrances that provide access to the primary use of the building or a central lobby shall be distinguished from the entrances used for secondary uses.*
- H. The principal entrance to a building, and any ground-floor tenant space entrance, both functionally and architecturally, shall front the primary public street or a public open space such as a square, plaza, courtyard, or sidewalk.*

Davidson Gateway Building – Existing Conditions

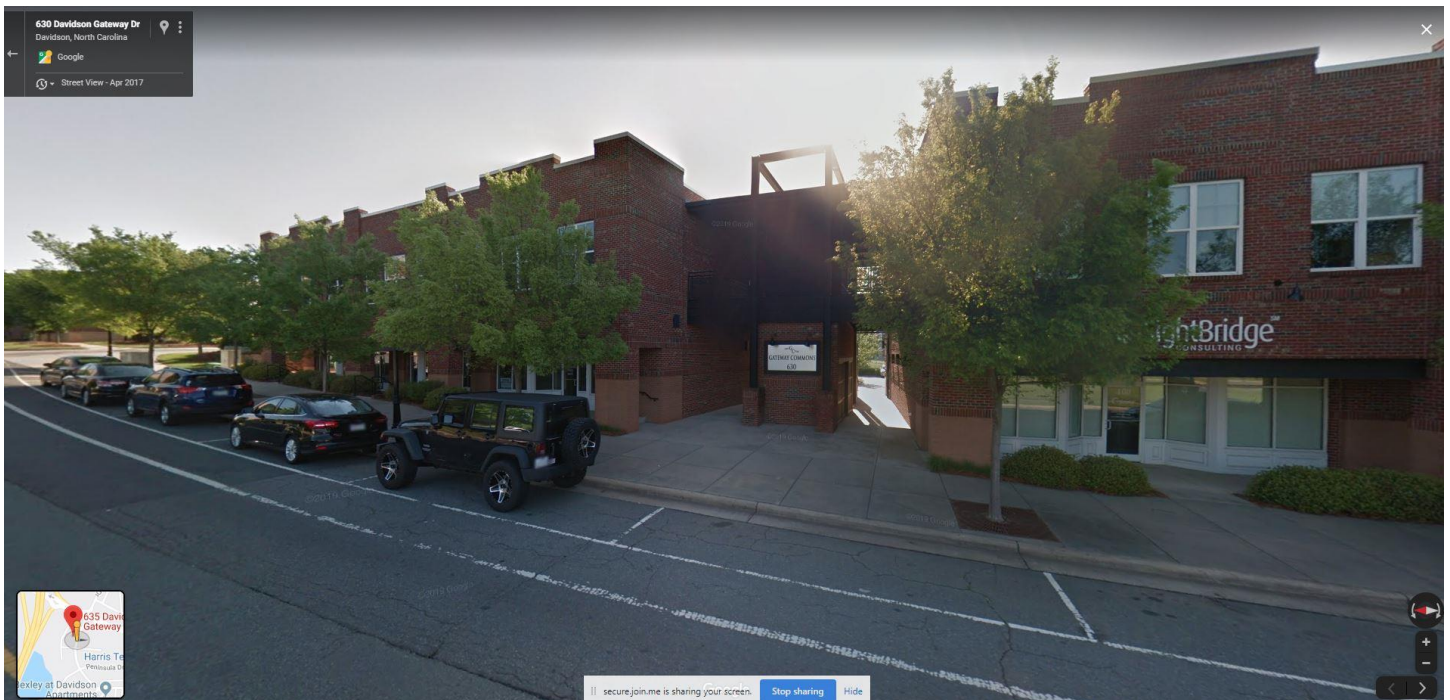
1. Existing Site (view from Davidson Gateway Drive towards the existing medical office building)



2. Existing Medical Office Building, (adjacent to subject site)



3. Existing Buildings (across Davidson Gateway Drive from subject site)



4. Existing Site (view from intersection of Davidson Gateway Drive and Gateway Crossing Drive)



DAVIDSON GATEWAY CENTER

635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036



PROJECT CONTACTS

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David Martini - Plank

ARCHITECT

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PROJECT
DAVIDSON GATEWAY CENTER
635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

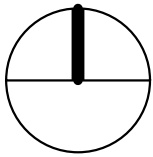
Seal:

Issue Date: 08/12/19

TITLE SHEET
CS-100-00
SHEET:

DAVIDSON GATEWAY CENTER PROJECT DATA:

VICINITY MAP 635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036



GENERAL CONSTRUCTION REQUIREMENTS

1. ALL WORK SHALL BE IN ACCORDANCE WITH 2012 NORTH CAROLINA STATE BUILDING CODE & AIA A201 GENERAL CONDITIONS (LATEST EDITION)

2. PRIOR TO PROJECT COMMENCEMENT, PROVIDE TO OWNERS SATISFACTION

A. APPROVED ACCESS FOR CONSTRUCTION PERSONNEL, EQUIPMENT AND MATERIALS PRIOR TO CONSTRUCTION.

B. APPROVED MEANS AND PATH FOR REMOVAL AND DISPOSAL OF DEBRIS OR MATERIAL FROM PROJECT SITE.

C. APPROVED SECURE LOCATION(S) FOR NEW MATERIALS, MATERIALS REMOVED DURING DEMOLITION FOR REUSE IN THE NEW CONSTRUCTION AND MATERIALS TO BE RETURNED TO BUILDING STOCK.

D. A VERIFIED LIST OF EXISTING MATERIAL QUALIFIED FOR REUSE IN NEW CONSTRUCTION OR RETURN TO BUILDING STOCK.

E. LIST OF REQUIRED SIGNAGE, COMPLIANT WITH MUNICIPAL CODES, ACCESSIBILITY GUIDELINES AND OWNERS APPROVED PROPERTY STANDARDS SPECIFICATIONS.

3. THE DOCUMENTS REFLECT CONDITIONS REASONABLY INTERPRETED FROM THE EXISTING VISIBLE CONDITIONS, OR FROM DRAWINGS OR INFORMATION FURNISHED BY THE OWNER. THE CONTRACTOR SHALL VISIT THE SITE AND BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND THEIR IMPACT ON THE SCOPE OF THE WORK. ANY DISCREPANCIES BETWEEN EXISTING AND INDICATED CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. WORK SHALL PROCEED ONLY WITH THE ARCHITECT'S APPROVAL.

4. SHOULD THE CONTRACTOR REQUIRE ANY ADDITIONAL DETAILS OR VERBAL CLARIFICATION NECESSARY FOR THE PROPER EXECUTION OF THE WORK, A WRITTEN REQUEST FOR INFORMATION SHALL BE SUBMITTED TO THE ARCHITECT IN A TIMELY MANOR SO AS NOT TO IMPEDE THE PROJECT SCHEDULE.

5. THE CONTRACTOR SHALL PAY FOR AND SECURE PERMITS, FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK UNLESS OTHERWISE INSTRUCTED BY THE ARCHITECT.

6. THE CONTRACTOR SHALL CARRY ALL INSURANCE IN ARTICLE II OF AIA A201, MOST RECENT EDITION. THE CONTRACTOR SHALL FILE CERTIFICATE OF INSURANCE ACCEPTABLE TO THE OWNER PRIOR TO THE COMMENCEMENT OF THE WORK.

7. THE CONTRACTOR SHALL BE AFFORDED ACCESS TO THE BUILDING IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BUILDING MANAGEMENT. THE REASONABLE USE OF THE BUILDING WATER, ELECTRICITY AND HVAC AS REQUIRED FOR THE EXECUTION OF THE WORK IS AVAILABLE TO THE CONTRACTOR AT NO CHARGE TO THE CONTRACTOR. THE CONTRACTOR MAY USE THE TOILET ROOMS AS DIRECTED BY THE BUILDING MANAGEMENT.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WORK. ANY DAMAGE TO EXISTING WORK CAUSED AS A RESULT OF THE EXECUTION OF THIS PROJECT SHALL BE REPAIRED BY THE GENERAL CONTRACTOR, AS REQUIRED AT THE SOLE EXPENSE OF THE GENERAL CONTRACTOR.

9. UNLESS INSTRUCTED OTHERWISE BY THE OWNER'S AGENT, THE REMOVAL AND DISPOSAL OF DEMOLITION AND/OR CONSTRUCTION MATERIAL SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE FREE AND CLEAR OF ALL DEBRIS THROUGHOUT THE COURSE OF THE PROJECT. UPON COMPLETION OF THE WORK, THE ENTIRE CONSTRUCTION AREA, INCLUDING THE INTERIOR FACE OF GLAZING IS TO BE THOROUGHLY CLEANED.

10. THE MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL AND FIRE ALARM WORK PRESENTED IN THESE DOCUMENTS IS INTENDED TO SHOW THE GENERAL ARRANGEMENT AND LOCATION OF EXISTINGS AND PROPOSED FIXTURES AND ACCESSORIES. THE CONTRACTOR SHALL MODIFY EXISTING ELECTRICAL, PLUMBING, MECHANICAL AND FIRE PROTECTION SYSTEMS AS REQUIRED TO ACCOMMODATE THE NEW LAYOUT AND AS REQUIRED TO MEET ALL APPLICABLE BUILDING CODES.

11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL ENGINEERS PROVIDING DESIGN AND SPECIFICATION INFORMATION FOR THE MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL SYSTEMS.

12. ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION OF THE WORK. THIS GUARANTEE SHALL COVER ALL WORK BY THE GENERAL CONTRACTOR AND SUB-CONTRACTORS. ANY DEFECTS IDENTIFIED DURING THE GUARANTEE PERIOD SHALL BE REPAIRED, AS REQUIRED, AT NO ADDITIONAL COST TO THE OWNERS.

13. CONSTRUCTION DOCUMENTS HAVE BEEN DEVELOPED TO ACHIEVE GENERAL COMPLIANCE WITH CURRENTLY APPLIED ACCESSIBILITY GUIDELINES. THE OWNERS AND ITS RETAINED CONSULTANTS DO NOT ASSUME ANY LIABILITY REGARDING DECISIONS, AGREEMENTS, WARRANTIES, GUARANTEES AND INTERPRETATIONS MADE IN THE FIELD, THAT RESULT IN DEVIATION FROM THE EXISTING ACCESSIBILITY GUIDELINES AS THEY APPLY TO THESE CONTRACT DOCUMENTS.

14. ALL TRADE SHALL REVIEW ALL SHEETS IN THE CONSTRUCTION DOCUMENT SET FOR COORDINATION PURPOSES.

15. THE GENERAL CONTRACTOR SHALL PROVIDE WRITTEN NOTICE FOR CLAIMS OF ADDITIONAL OWNER COST DUE TO REVISIONS TO THE CONSTRUCTION DOCUMENTS IN A TIMELY MANNER TO THE ARCHITECT FOR REVIEW PRIOR TO EXECUTING THE WORK.

16. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY EXPENSE INCURRED (INCLUDING CONSTRUCTION SCHEDULE DELAYS) DUE TO NON DISCLOSURE OF DISCOVERED DISCREPANCIES OR CONFLICTS WITHIN CONSTRUCTION DOCUMENTS OR RELATED TO EXISTING CONDITIONS IN A TIMELY MANOR.

17. A QUALIFIED SUPERINTENDENT SHALL SUPERVISE THE PROJECT SITE, COORDINATE AND ATTEND GOVERNMENT INSPECTIONS, COORDINATE WORK AMONG TRADES AND MAINTAIN QUALITY OF MATERIAL AND CRAFTSMANSHIP.

18. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY EXPENSE INCURRED (INCLUDING CONSTRUCTION SCHEDULE DELAYS) DUE TO CONSTRUCTION PERSONNEL SCALING DRAWINGS FOR DIMENSIONAL INFORMATION AS IT PERTAINS TO THEIR WORK. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM THE ARCHITECT

19. THE CONTRACTOR SHALL NOT BE ENTITLED TO ADDITIONAL FEES FOR PROVIDING OPENINGS IN PARTITIONS FOR TELEPHONE, DATA, SECURITY CABLEING OR OTHER EQUIPMENT.

20. CONTRACTOR SHALL SECURE & PROTECT THE AREA RESTRICTING UNAUTHORIZED ACCESS AND SHALL SUFFICIENTLY ENCLOSE IT TO CONTAIN DIRT, DUST, DEBRIS AND NOISE.

21. ALL STUDS, CEILING FURRING AND FRAMING MEMBERS SHALL BE PLACED AS TO AVOID INTERFERENCE WITH LOCATIONS OF CASEWORK, RECESSED LIGHTING FIXTURES, PIPING, DUCT WORK AND THE LIKE.

22. ALL PENETRATIONS THROUGH FLOOR SLAB S SUCH AS PIPING, CONDUITS, DUCTS, PNEUMATIC TUBES, ETC. SHALL BE PACKED AND SEALED WITH APPROPRIATE FIRE-RATED MATERIAL IN COMPLIANCE WITH APPLICABLE BUILDING CODES. PENETRATIONS SHALL BE SEALED TIGHT.

23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ADEQUATE SHORING AND BRACING REQUIRED FOR THE PROPER EXECUTING OF ALL WORK.

24. THE CONTRACTOR SHALL PERFORM A STRUCTURAL SURVEY, INCLUDING X-RAYS OR GROUND PENETRATING RADAR (GPR) OF ALL FLOOR SLABS ON GRADE AND SUPPORTING WALLS TO LOCATE EXISTING STRUCTURAL BARS, CABLES, IN-SLAB CONDUITS, UTILITIES AND OTHER INTERFERENCE THAT MAY BE IN CONFLICT WITH PROPOSED SLEEVE/PENETRATION LOCATIONS. THE X-RAY OR GPR SHALL BE PERFORMED PRIOR TO ANY CUTTING OR CHIPPING. IN THE EVENT OF CONFLICT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER FOR FURTHER DIRECTION.

25. NOISE PRODUCING WORK SHALL BE SCHEDULED WITH MANAGEMENT BEFORE 8 AM OR AFTER 6 PM. OIL, PAINT, CARPET GLUE AND OTHER ODOR PRODUCING WORK MUST BE SCHEDULED WITH MANAGEMENT FOR AFTER HOURS. BUILDING ENGINEERING MUST BE ON SITE FOR ALL AFTER HOURS WORK AT THE EXPENSE OF THE CLIENT

26. SYSTEMS BEING DEMOLISHED SHALL BE REMOVED BACK TO THE SOURCE. IE ELECTRICAL, TELEPHONE, DATA, PLUMBING AND HVAC. NO ABANDONED EQUIPMENT SHALL BE LEFT IN PLACE.

27. NEW WORK EXTENDING EXISTING CONDITIONS SHALL ALIGN WITH AND MATCH WORK EXCEPT WHERE OTHERWISE DIMENSIONED OR DETAILED.

28. PUBLIC AREA CORRIDORS AND CARPET MUST BE PROTECTED BY PLASTIC OR WALK OFF MASONITE MATS FROM THE ELEVATORS TO CONSTRUCTION SPACE (IF APPLICABLE).

29. MASONITE MUST BE USED AT ALL LOCATIONS WHERE ROLLING TRAFFIC WILL BE ROUTED.

30. DIMENSIONS ARE FROM THE FACE OF EXISTING FINISHED SURFACE OR NEW PARTITION SURFACE UNLESS OTHERWISE NOTED.

31. MANAGEMENT SHALL RECEIVE A MINIMUM OF 3 DAYS NOTICE OF BUILDING SYSTEMS SHUT DOWN AND WILL BE DEPENDENT ON OWNER/AGENT APPROVAL.

32. ALIGNMENT INDICATION SHALL BE FINISHED SURFACE TO FINISHED SURFACE.

33. CENTERLINE DIMENSIONS SHALL BE MEASURED FROM CENTERLINE OF ASSEMBLY, FIXTURE OR DEVICE.

34. PARTITION ANGLES ARE PARALLEL, PERPENDICULAR OR 45 DEGREE ANGLES TO BUILDING PERIMETER UNLESS NOTED OTHERWISE.

35. ALL DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED.

36. CENTERLINE INDICATION AT PARTITIONS ABUTTING BUILDING ELEMENTS (MULLIONS, COLUMNS OR PIASTERS), SHALL ALIGN CENTER OF PARTITION ASSEMBLY WITH CENTER OF THE ELEMENT.

37. CONTRACTOR SHALL COORDINATE AND PROVIDE FIRE RETARDANT TREATED WOOD BLOCKING IN WALLS FOR MOUNTING ALL CABINETS, ALL TOILET ACCESSORIES AND ALL OTHER WALL MOUNTED ITEMS.

38. FIRE STOP ALL PENETRATIONS IN UL RATED PARTITIONS TO MAINTAIN/ACHIEVE LEVEL OF FIRE PROTECTION REQUIRED FOR PARTITION TYPE. FIRE STOP ALONG PERIMETER OF RATED PARTITIONS WHERE VOIDS OCCUR, SUCH AS FLOOR OR ROOF DECKING.

39. WHERE FACE OF A NEW PARTITION ALIGNS WITH THE FACE OF EXISTING FURRED COLUMNS OR PARTITIONS, REMOVE EXISTING CORNER BEAD, TAPE AND MUD NEW PARTITION TO EXISTING GYPSUM BOARD FOR A SMOOTH TRANSITION.

40. CONTRACTOR SHALL FURNISH AND INSTALL BUILDING STANDARD FIRE EXTINGUISHER CABINETS AND DEVICES PER BUILDING CODE.

41. ALL ASPECTS OF THIS UPFIT AND SCOPE OF WORK TO MEET CURRENT ACCESSIBILITY CODES.

FIRE & EMERGENCY NOTES:

1. ALL DOORS IN EXIT PATH AND ALL EXTERIOR DOORS SHALL BE EQUIPPED WITH AUTOMATIC DOOR CLOSERS.

2. ALL INTERIOR DOORS SHALL BE EQUIPPED WITH ADA APPROVED LEVER HANDLE HARDWARE.

3. ALL EXIT DOORS SHALL HAVE FREE EXITING HARDWARE OR BREAKER BARS.

4. RESTROOMS SHALL HAVE AUTOMATIC DOOR CLOSERS.

5. RESTROOMS TO BE EQUIPPED WITH STROBE AND ENUNCIATOR TIED DIRECTLY TO FIRE ALARM PULL STATIONS LOCATED AT EACH DOOR (IF APPLICABLE).

6. EACH EXIT DOOR SHALL HAVE ITS OWN STROBE AND HORN MOUNTED ABOVE THE PULL STATION (PER CODE)
- INDEX OF DRAWINGS
- CIVIL
- STRUCTURAL
- ARCHITECTURAL
- CS-100-00

C-101-00

C-102-00

LS-100-00

OC-100-00

A-100-00

A-101-00

A-102-00

A-103-00

A-104-00

A-160-00

A-161-00

A-200-00

A-201-00

A-300-00

A-350-00

A-459-00

A-460-00

TITLE SHEET

PROJECT DATE AND SHEET INDEX

ARCHITECTURAL SITE PLAN

APPENDIX B

OCCUPANCY PLANS

FIRST FLOOR CONSTRUCTION PLAN

SECOND FLOOR PLAN

THIRD FLOOR PLAN

FOURTH FLOOR CONSTRUCTION PLAN

ROOF CONSTRUCTION PLAN

FIRST FLOOR FURNITURE PLAN

FOURTH FLOOR FURNITURE PLAN

ELEVATIONS

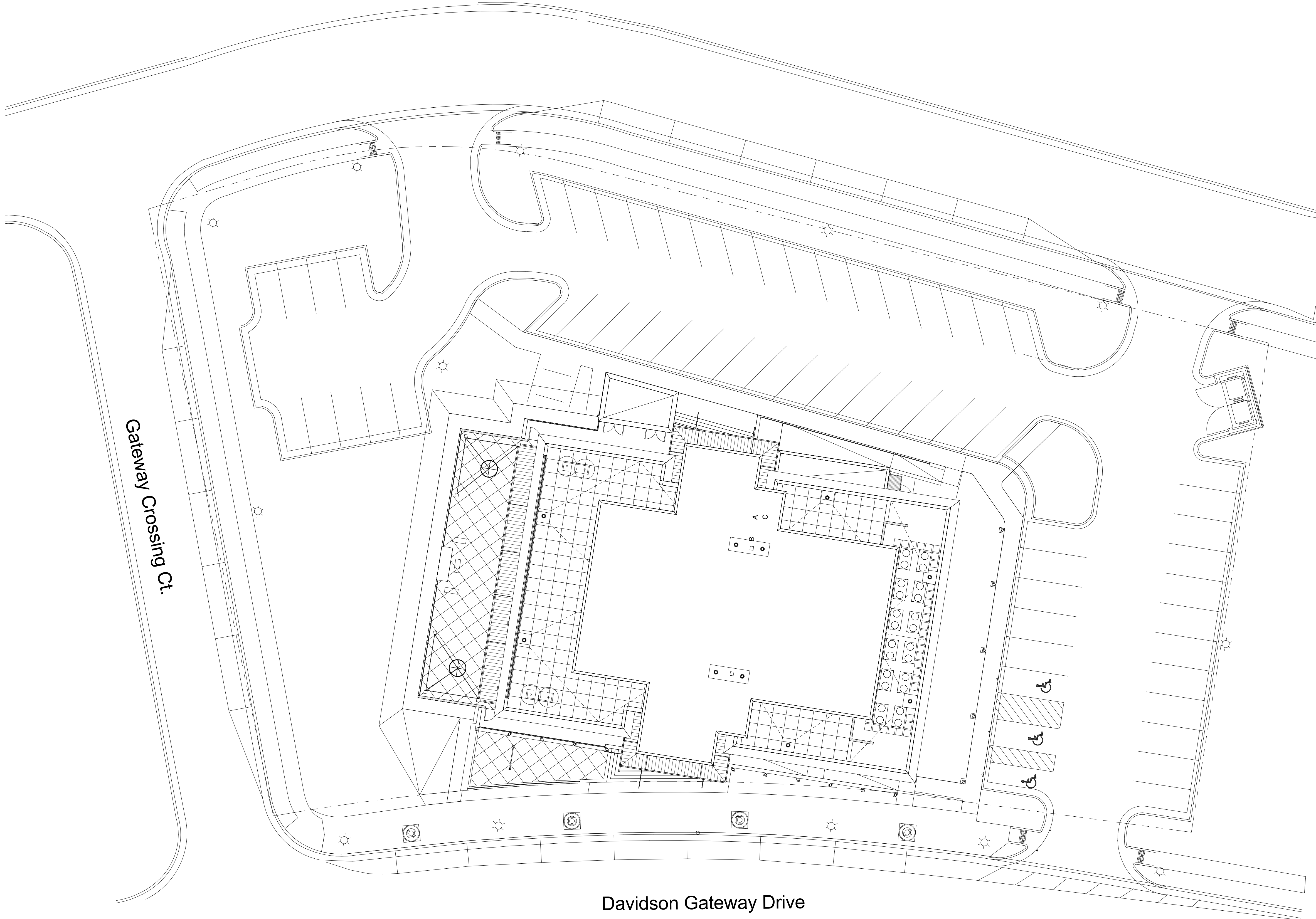
ELEVATIONS

BUILDING SECTION

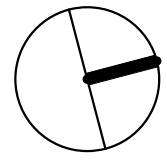
WALL SECTIONS

PERSPECTIVE VIEW

PERSPECTIVE VIEW
- MECHANICAL
- ELECTRICAL
- PLUMBING
- David Martini - Plank
- ARCHITECT
- PROJECT TEAM:
- ARCHITECT OF RECORD
- David Martini - Plank, AIA
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Master Planning
Development
- GENERAL CONTRACTOR
- Kearey Builders
Ryan Kearey
2915 Charlotte Highway
Mooresville, NC 28117
980-444-6510
-
- PROJECT
- DAVIDSON GATEWAY CENTER
635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036
- Seal:
- Issue Date:
- 08/12/19
- PROJECT DATE AND SHEET
- INDEX
- C-101.00
- SHEET:
- Page 14 of 69



② ARCHITECTURAL SITE PLAN
1/16" = 1'-0"



David Martini - Plank
ARCHITECT

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PROJECT
DAVIDSON GATEWAY CENTER
635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

Seal:

Issue Date:

08/12/19

ARCHITECTURAL SITE PLAN

C-102-00

SHEET:

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: Davidson Gateway Center
Address: 635 Davidson Gateway Drive Zip Code 28036
Owner/Authorized Agent: David Martini-Plank Phone # (704) 777 - 4447 E-Mail dmartiniplank@gmail.com
Owned By: Private Nick Lyssiakos
Code Enforcement Jurisdiction: County Mecklenburg

CONTACT:

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	David Martini-Plank, Arch	David Martini-Plank	5453	(704) 777-4447	dmartiniplank@gmail.com
Civil	Eastlake PLLC	Paul Carter	1317	(865) 816-4557	pcarter@yahco.com
Electrical	Todd Carey and Assoc.	Todd Carey	09079	(704) 664-9824	toddcarey@toddcarey.com
Fire Alarm	Todd Carey and Assoc.	Todd Carey	09079	(704) 664-9824	toddcarey@toddcarey.com
Plumbing	Todd Carey and Assoc.	Todd Carey	09079	(704) 664-9824	toddcarey@toddcarey.com
Mechanical	Todd Carey and Assoc.	Todd Carey	09079	(704) 664-9824	toddcarey@toddcarey.com
Sprinkler-Standpipe	Todd Carey and Assoc.	Todd Carey	09079	(704) 664-9824	toddcarey@toddcarey.com
Structural	Structures Inc	Jim Kunkle	14663	704.662.6844	jim@structuresinc.com
Retaining Walls >5' High					
Other					

(*Other* should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE: New Building

2018 NC EXISTING BUILDING CODE: N/A

CONSTRUCTED: (date) N/A
RENOVATED: (date) N/A
CURRENT OCCUPANCY(S) (Ch. 3):
PROPOSED OCCUPANCY(S) (Ch. 3):

OCCUPANCY CATEGORY (Table 1604.5): Current: N/A Proposed: II

BASIC BUILDING DATA

Construction Type: II-A

Sprinklers: Yes NEPA13

Standpipes: Class II - Wet

Primary Fire District: No Flood Hazard Area: No

Special Inspections Required: Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

Gross Building Area Table			
FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
4 th Floor		9933	
3 rd Floor		9934	
2 nd Floor		9931	
1 st Floor		10373	
TOTAL		40171	

ALLOWABLE AREA

Primary Occupancy Classification(s): Business Assembly - A-2 N/A N/A N/A N/A

2018 NC Administrative Code and Policies

Accessory Occupancy Classification(s): A-2 Kitchen

Incidental Uses (Table 509): N/A

Special Uses (Chapter 4 – List Code Sections): N/A

Special Provisions: (Chapter 5 – List Code Sections): N/A

Mixed Occupancy: Yes Separation: 1 Hr. Exception:

Separated Use (508.4): See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

$$+ + + \dots = \leq 1.00$$

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 ⁴ AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2,3}
1	Restaurant A-2	10373 SF	46,500	N/A	11,625 SF
2	Business B (tenant)	9931 SF	46,500	N/A	11,625 SF
3	Business B (tenant)	9934 SF	46,500	N/A	11,625 SF
4	Event Space A-2	9933 SF	46,500	N/A	11,625 SF

¹ Frontage area increases from Section 506.2 are computed thus:

a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)

b. Total Building Perimeter = (P)

c. Ratio (F/P) = (F/P)

d. W = Minimum width of public way = (W)

e. Percent of frontage increase $I_f = 100 [F/P - 0.25] \times W/30 =$ (%)

² Unlimited area applicable under conditions of Section 507.

³ Maximum Building Area = total number of stories in the building x D (maximum3 stories) (506.2).

⁴ The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.

⁵ Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	85 Feet	57'-6"	
Building Height in Stories (Table 504.4)	4	4	

¹ Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING: REQ'D	RATING: PROVIDED * (REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses		1	1				
Bearing Walls							
Exterior							
North							
East							
West							
South							
Interior							

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Nonbearing Walls and Partitions							
Exterior walls							
North	> 30'-0"	0	0				
East	> 30'-0"	0	0				
West	> 30'-0"	0	0				
South	> 30'-0"	0	0				
Interior walls and partitions		0					
Floor Construction		1	1				
Including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Floors		1	1				
Roof Construction, including supporting beams and joists		1	1				
Roof Ceiling Assembly							
Columns Supporting Roof							
Shaft Enclosures - Exit		2	2			UL937	
Shaft Enclosures - Other		2	2			UL937	
Corridor Separation							
Occupancy/Fire Barrier Separation		1	1				
Party/Fire Wall Separation							
Smoke Barrier Separation							
Smoke Partition							
Tenant/Dwelling Unit Sleeping Unit Separation							
Incidental Use Separation							

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: Yes
Exit Signs: Yes
Fire Alarm: Yes
Smoke Detection Systems: Yes
Carbon Monoxide Detection: Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: LS-100.00

- ☒ Fire and/or smoke rated wall locations (Chapter 7)
☐ Assumed and real property line locations (if not on the site plan)

2018 NC Administrative Code and Policies

- ☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)
☒ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
☒ Occupant loads for each area
☒ Exit access travel distances (1017)
☒ Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
☐ Dead end lengths (1020.4)
☐ Clear exit widths for each exit door
☒ Maximum calculated occupant load capacity each exit door to accommodate based on egress width (1005.3)
☒ Actual occupant load for each exit door
☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
☐ Location of doors with panic hardware (1010.1.10)
☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
☐ Location of doors with electromagnetic egress locks (1010.1.9.9)
☐ Location of doors equipped with hold-open devices
☐ Location of emergency escape windows (1030)
☐ The square footage of each fire area (202)
☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
☐ Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED				TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH 132" ACCESS AISLE	8' ACCESS AISLE		
TOTAL							

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE	WATERCLOSETS			URINALS			LAVATORIES			SHOWERS /TUBS	DRINKING FOUNTAINS	
	MALE	FEMALE	UNSEX	MALE	FEMALE	UNSEX	MALE	FEMALE	UNSEX		REGULAR	ACCESSIBLE
BUS.	4	6		2	4	4						
A-2	3	6		4	5	5						
REQ'D	9	9			3	3						

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

2018 NC Administrative Code and Policies

ENERGY REQUIREMENTS:

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: Select one

Exempt Building: Select one Provide code or statutory reference:

Climate Zone: Select one

Method of Compliance: Select one

(If "Other" specify source here)

THERMAL ENVELOPE (Prescriptive method only)

Roof/ceiling Assembly (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
 Skylights in each assembly: _____
 U-Value of skylight: _____
 total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
 Openings (windows or doors with glazing): _____
 U-Value of assembly: _____
 Solar heat gain coefficient: _____
 projection factor: _____
 Door R-Values: _____

Walls below grade (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors over unconditioned space (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors slab on grade

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
 Horizontal/vertical requirement: _____
 slab heated: _____

2018 NC Administrative Code and Policies

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
STRUCTURAL DESIGN
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:

Importance Factors: Wind (I_w) Select one
Snow (I_s) Select one
Seismic (I_e) Select one

Live Loads: Roof _____ psf
Mezzanine _____ psf
Floor _____ psf

Ground Snow Load: _____ psf

Wind Load: Basic Wind Speed _____ mph (ASCE-7)
Exposure Category Select one

SEISMIC DESIGN CATEGORY: Select one

Provide the following Seismic Design Parameters:

Occupancy Category (Table 1604.5) Select one

Spectral Response Acceleration S_s _____ %g S_i _____ %g

Site Classification (ASCE 7) Select one

Data Source: Select one

Basic structural system Select one

Analysis Procedure: Select one

Architectural, Mechanical, Components anchored? Select one

LATERAL DESIGN CONTROL: Select one

SOIL BEARING CAPACITIES:

Select one _____ psf

File size, type, and capacity _____

2018 NC Administrative Code and Policies

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2018 NC Administrative Code and Policies

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
MECHANICAL DESIGN
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone

winter dry bulb: _____
summer dry bulb: _____

Interior design conditions

winter dry bulb: _____
summer dry bulb: _____
relative humidity: _____

Building heating load: _____

Building cooling load: _____

Mechanical Spacing Conditioning System

Unitary description of unit: _____
heating efficiency: _____
cooling efficiency: _____
size category of unit: _____
Boiler Size category: If oversized, state reason: _____
Chiller Size category: If oversized, state reason: _____

List equipment efficiencies: _____

2018 NC Administrative Code and Policies

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
ELECTRICAL DESIGN
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Select one

Lighting schedule (each fixture type)

lamp type required in fixture
number of lamps in fixture
ballast type used in the fixture
number of ballasts in fixture
total wattage per fixture
total interior wattage specified vs. allowed (whole building or space by space)
total exterior wattage specified vs. allowed

Additional Efficiency Package Options
(When using the 2018 NCECC; not required for ASHRAE 90.1)

- ☐ C406.2 More Efficient HVAC Equipment Performance
☐ C406.3 Reduced Lighting Power Density
☐ C406.4 Enhanced Digital Lighting Controls
☐ C406.5 On-Site Renewable Energy
☐ C406.6 Dedicated Outdoor Air System
☐ C406.7 Reduced Energy Use in Service Water Heating

2018 NC Administrative Code and Policies

David Martini - Plank

ARCHITECT

PROJECT TEAM:

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PROJECT

DAVIDSON GATEWAY CENTER
635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

Seal:

Issue Date:

08/12/19

APPENDIX B

LS-100-00

SHEET:

OCCUPANCY CALCULATIONS

FIRST FLOOR		
ASSEMBLY A-2		
WAITING 2	197 S.F. / 15 =	14 PERSONS
BAR AREA 1	588 S.F. / 15 =	40 PERSONS
PRV. DIN 2	311 S.F. / 15 =	21 PERSONS
BAR AREA 2	640 S.F. / 15 =	42 PERSONS
PATIO	2049 S.F. / 15 =	136 PERSONS
PRV DIN 1	311 S.F. / 15 =	21 PERSONS
BAR	556 S.F. / 15 =	37 PERSONS
WAITING 1	262 S.F. / 15 =	8 PERSONS
BOOTH	287 S.F. / 15 =	19 PERSONS
MAIN DINING	1658 S.F. / 15 =	111 PERSONS
DINING 2	640 S.F. / 15 =	42 PERSONS
KITCHEN	1427 S.F. / 15 =	95 PERSONS
TOTAL FIRST FLOOR		= 502 PERSONS

SECOND FLOOR		
BUSINESS		
WARM SHELL TENANT SPACE	8067 S.F. / 100 =	81 PERSONS

THIRD FLOOR		
BUSINESS		
WARM SHELL TENANT SPACE	8408 S.F. / 100 =	84 PERSONS

FOURTH FLOOR		
ASSEMBLY A-2		
FIXED SEATING EVENT	1602 S.F. / 15 =	107 PERSONS
OUTDOOR EVENT 2	636 S.F. / 15 =	42 PERSONS
OUTDOOR EVENT 3	637 S.F. / 15 =	42 PERSONS
OUTDOOR EVENT 4	1298 S.F. / 7 =	185 PERSONS
INDOOR EVENT	2017 S.F. / 15 =	134 PERSONS
BAR	275 S.F. / 200 =	2 PERSONS
PREP	308 S.F. / 200 =	2 PERSONS
TOTAL FOURTH FLOOR		= 514 PERSONS

TOTAL OCCUPANT LOAD = 1,181 PERSONS

TRAVELS DISTANCES

- MAXIMUM TRAVEL DISTANCE BETWEEN EXITS
- FIRST FLOOR =
SECOND FLOOR =
THIRD FLOOR =
FOURTH FLOOR =
CLEAR EXIT PATH MINIMUM 42" ALL ISLES
- ALL EXIT DOORS SHALL BE EQUIPPED WITH CODE APPROVED PUSH BAR TYPE QUICK RELEASE PANIC HARDWARE ADA COMPLIANT.
 - ALL INTERIOR DOORS SHALL BE EQUIPPED WITH CODE APPROVED ADA LEVER TYPE DOOR HANDLES AND PUSH PLATES.
 - DEAD END DISTANCE 20'-0" MAX.
 - 2 EXITS MUST BE VISIBLE FROM ANY POINT.
 - ALL RESTROOMS ENTRY DOORS SHALL HAVE AUTOMATIC DOOR CLOSERS.

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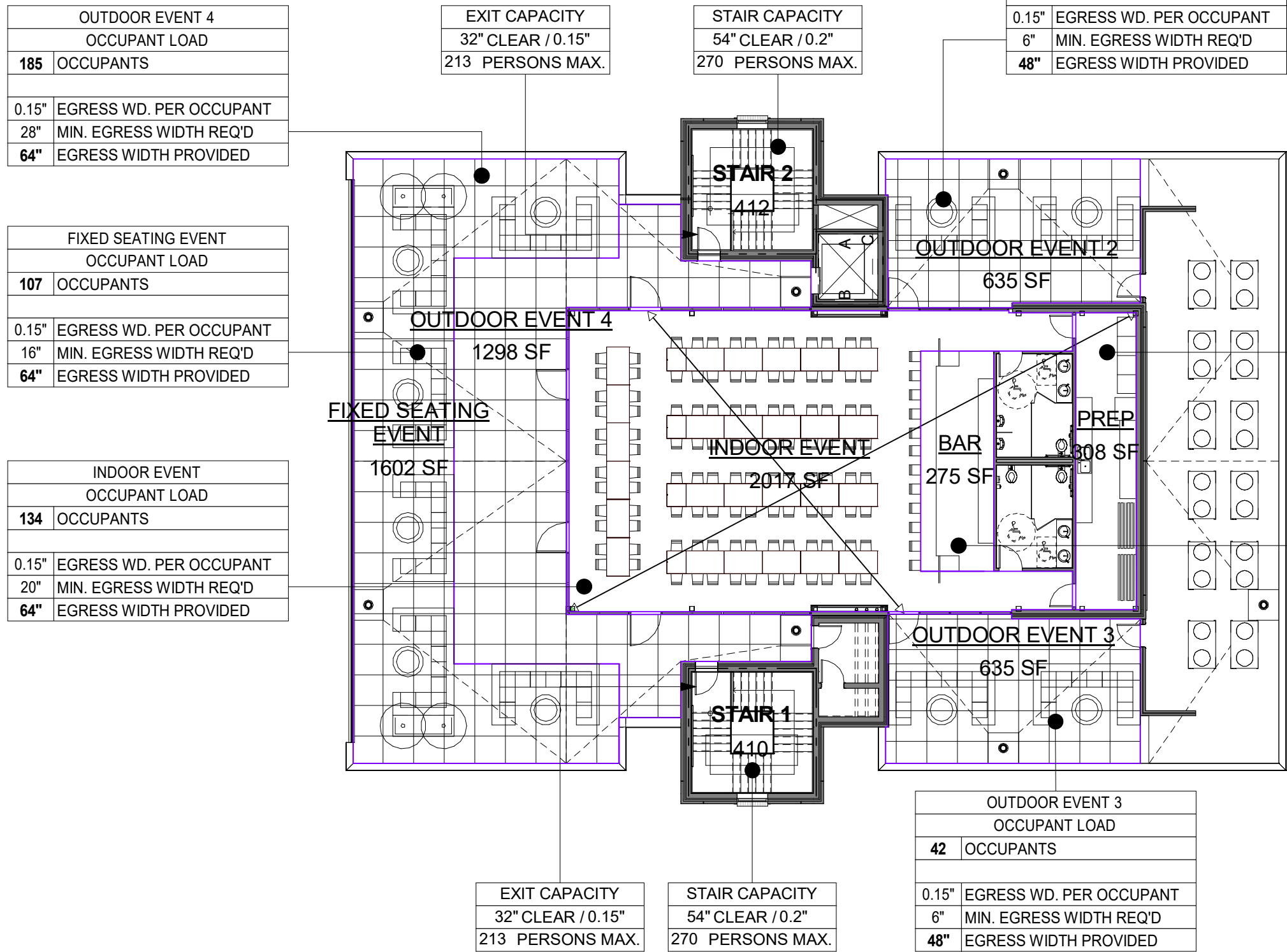
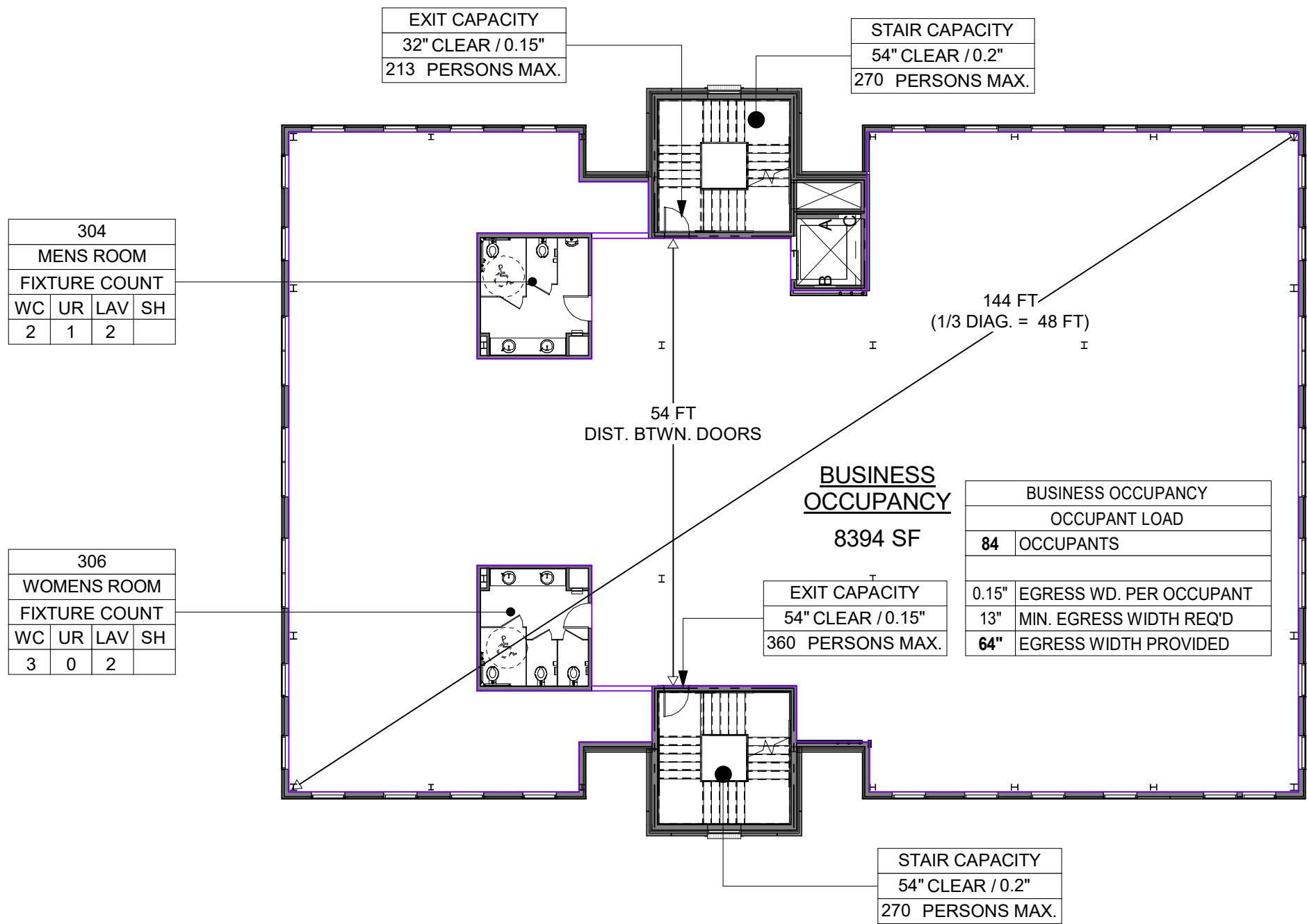
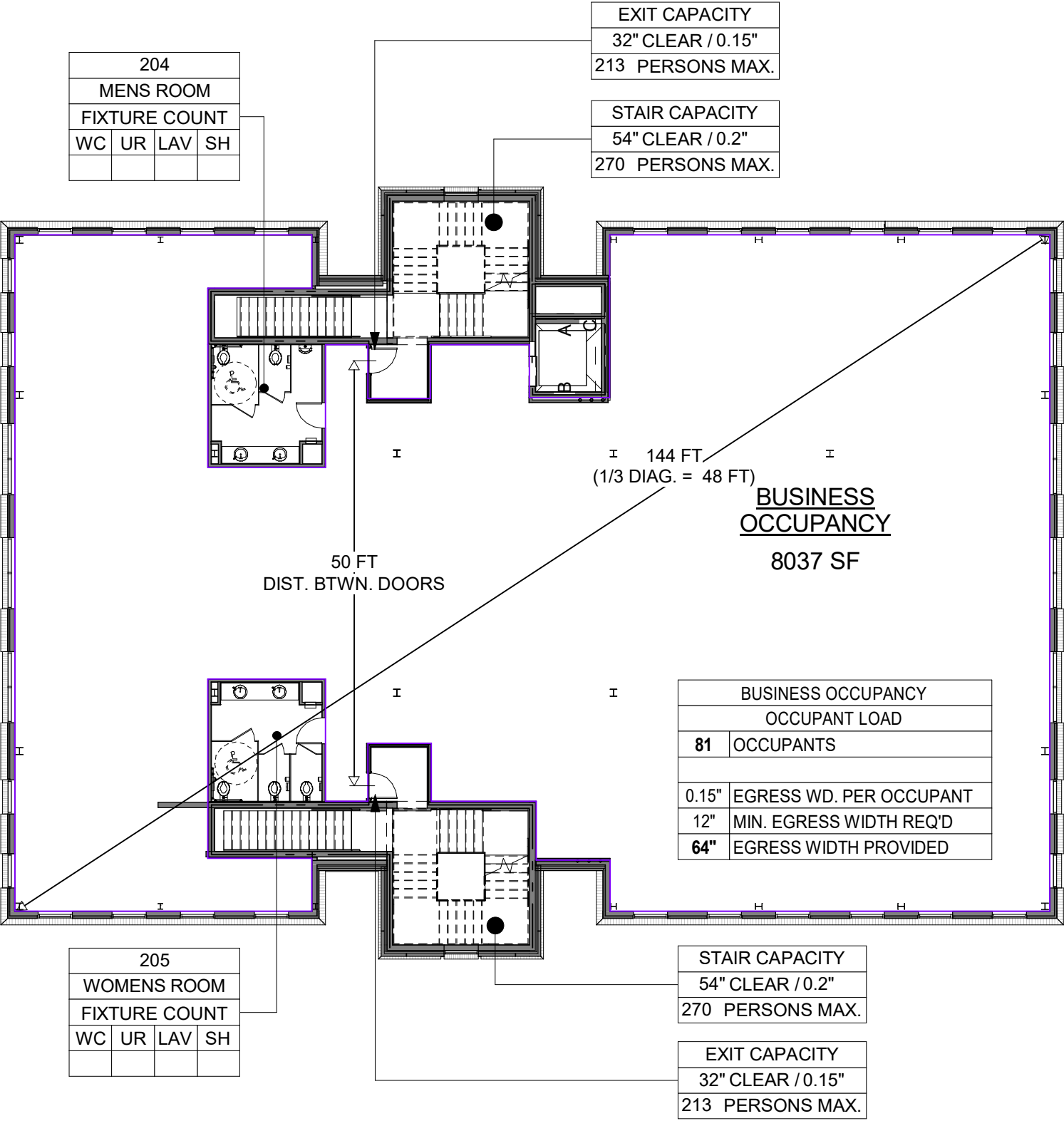
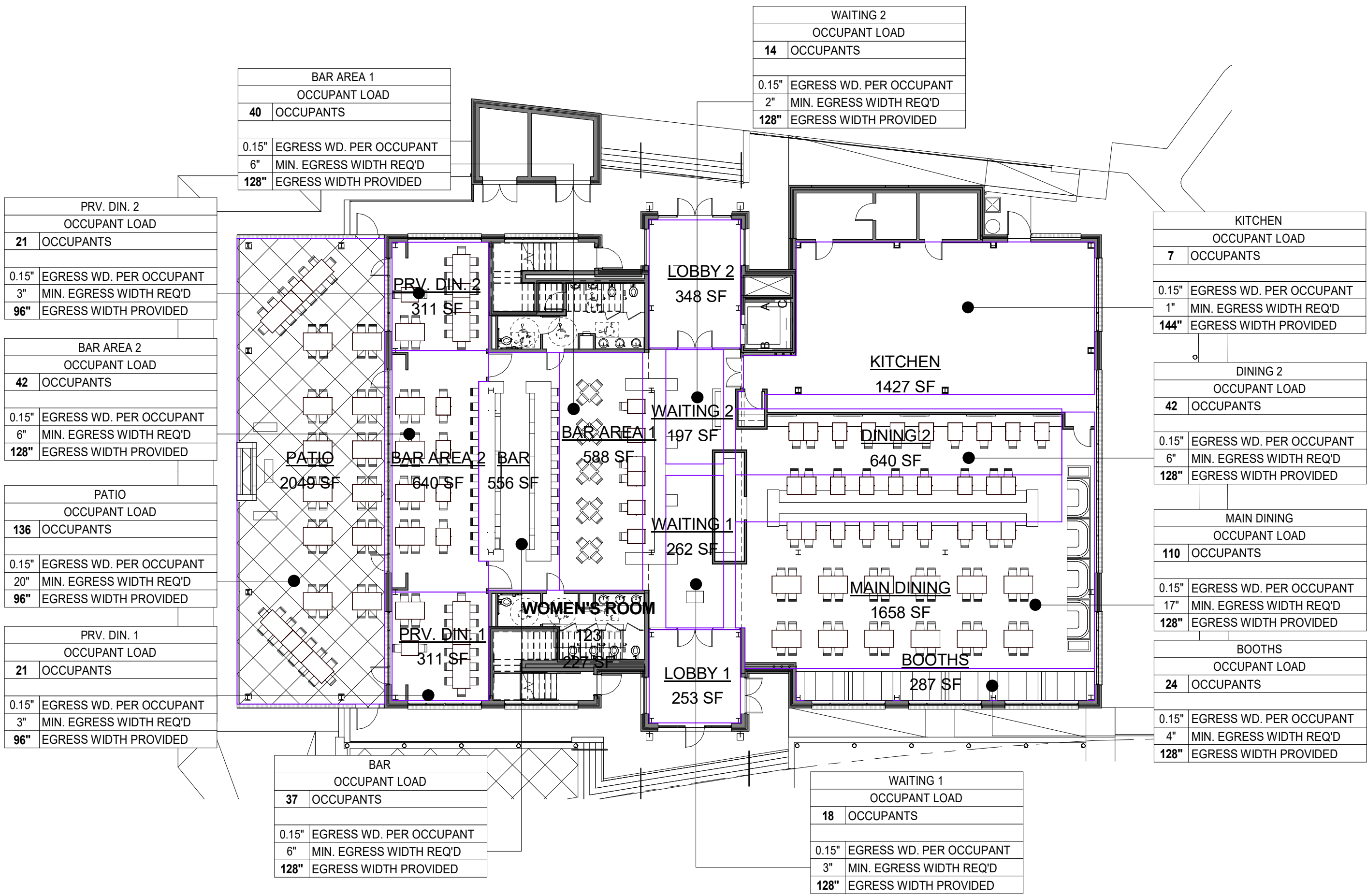
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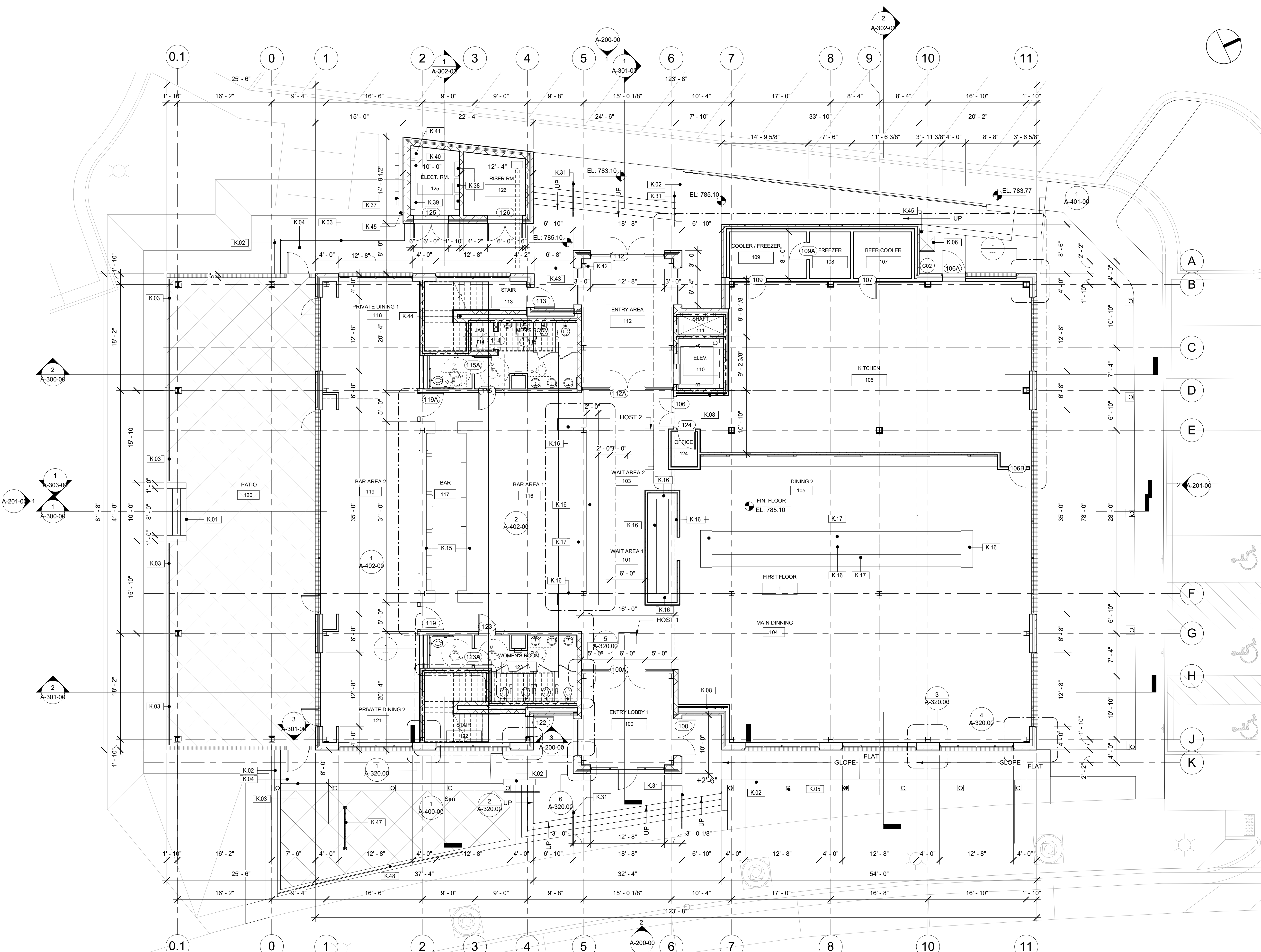
Seal:
Issue Date: 08/12/19

OCCUPANCY PLANS

OC-100-00

SHEET:





1 FIRST FLOOR PLAN
1/8" = 1'-0"

Davidson Gateway Drive

WALL TYPES

W1 - SHAFT WALL
2 HOUR FIRE WALL UL#938
5/8" DRYWALL - 7/8" METAL FURRING - 8" MASONRY
WALL HEIGHT (SEE ELEVATOR DRAWINGS)
AS PER 2018 NCSCB SECTION 708

W2 - SHAFT WALL
2 HOUR FIRE WALL UL#938
8" MASONRY 2 HR RATED
WALL HEIGHT (SEE ELEVATOR DRAWINGS)
AS PER 2018 NCSCB SECTION 708

GENERAL NOTES

A. DO NOT SCALE DRAWING. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS SHOWN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR AND COORDINATED WITH ALL OF THE OF ALL TRADES. IF DISCREPANCIES ARE FOUND THE CONTRACTOR SHALL NOTIFIED THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE STARTING THE WORK.

KEYNOTE LEGEND

K.01	FIRE PLACE CLAD WITH DARK GRAY BRICK
K.02	CAST IN PLACE CONCRETE WALL
K.03	1 1/2" DIA. PIPE GUARD RAIL
K.04	CONC. WALKWAY
K.05	EXTERIOR LIGHT BOLLARDS
K.06	32" X 32" CAN WASH
K.08	IN ALL VERT. PIPE CHASES FOR ROOF LEADERS, METAL STUDS SHALL HAVE METAL STUDS EACH SIDE WITH FRONT SCREW SHIELDS CONT.
K.15	BLACK GRANITE COUNTER TOP 1 1/2"
K.16	BIRCH PLYWOOD CASEWORK W/ NATURAL MAHONAGY STAIN AND CLEAR PROTECTIVE COAT.
K.17	BANQUET WITH BLACK VINYL LEATHER SEAT AND BUTTON AND PLEATED BACK
K.31	1 1/2" DIA PIPE HANDRAIL
K.37	ELECTRICAL METER TROUGH
K.38	TENANT PANEL
K.39	MAIN DISTRIBUTION PANEL
K.40	RESTAURANT PANEL
K.41	BUILDING LIGHTING PANEL
K.42	VERTICAL SPRINKLER RISER
K.43	PROVIDE 3'-0" DEEP CONC. UNDERGROUND VAULT FOR MAIN RISER LINE
K.44	PROVIDE UNDERGROUND CONC. VAULT 5'-0" WIDE X 3'-0" DEEP CONNECTING ELECTRICAL ROOM PANELS TO VERTICAL SHAFT IN STAIR 113
K.45	SCUPPER AND LEADER SEE PLUMBING DRAWINGS
K.47	COUNTRY STANDARD BIKE RACK
K.48	HANDRAIL WITH ADDITIONAL WHEEL SLOTS FOR BIKES

SYMBOL LEGEND

DRAWING NUMBER	
	DRAWING NUMBER
	SHEET NUMBER
SECTION TAG	
	DRAWING NUMBER
	SHEET NUMBER
DETAIL TAG	
	DRAWING NUMBER
	SHEET NUMBER
PARTITION TAG	
	PARTITION TYPE
	DOOR TAG
	WINDOW TAG
	2 HOUR RATED BARRIER

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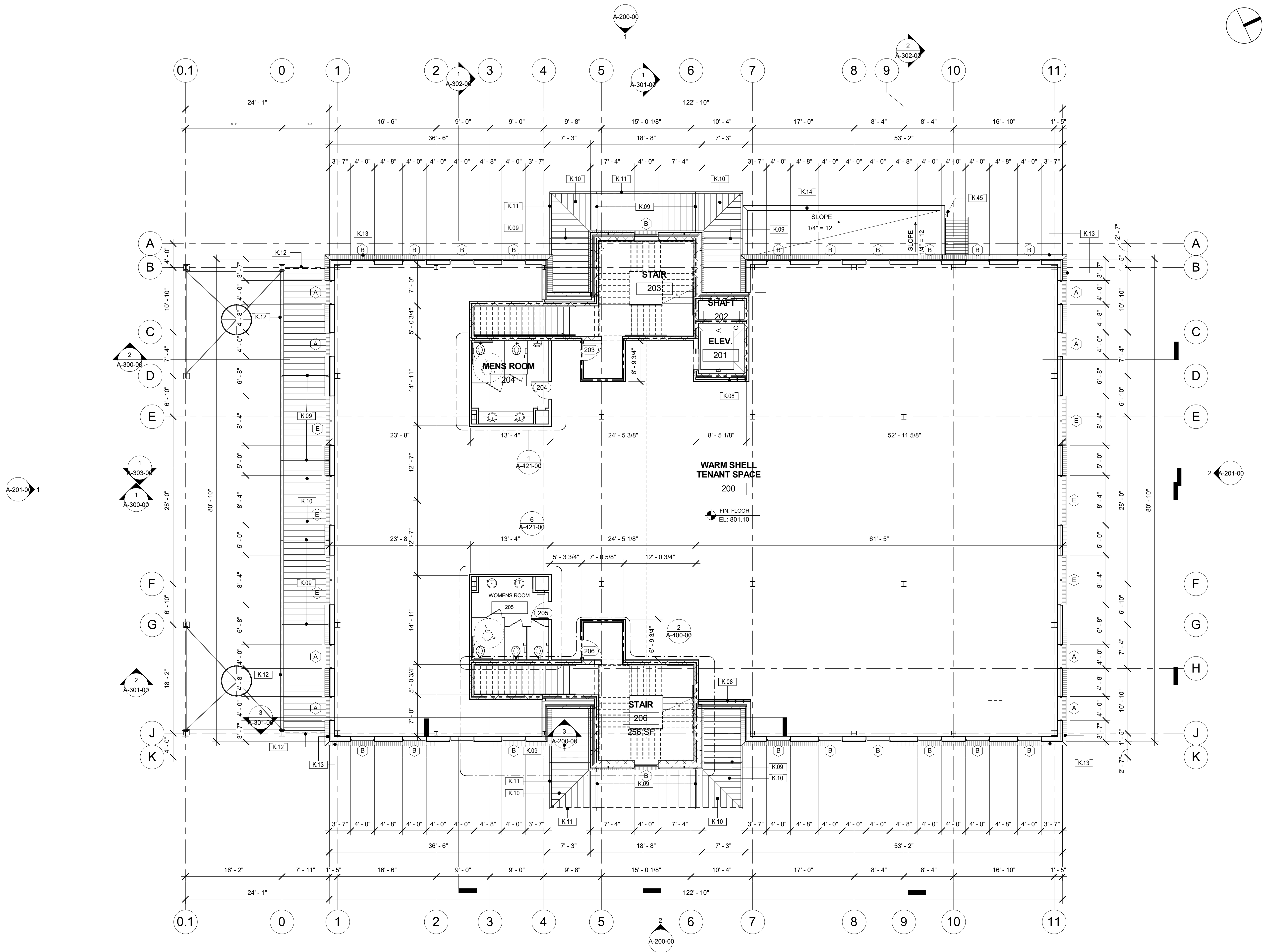
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635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

Seal:
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FIRST FLOOR CONSTRUCTION
PLAN
A-100-00
SHEET:



1 SECOND FLOOR CONSTRUCTION PLAN
1/8" = 1'-0"

WALL TYPES

W1 - SHAFT WALL
2 HOUR FIRE WALL UL#938
5/8" DRYWALL - 7/8" METAL FURRING - 8" MASONRY
WALL HEIGHT (SEE ELEVATOR DRAWINGS)
AS PER 2018 NCSBC SECTION 708

W2 - SHAFT WALL
2 HOUR FIRE WALL UL#938
8" MASONRY 2 HR RATED
WALL HEIGHT (SEE ELEVATOR DRAWINGS)
AS PER 2018 NCSBC SECTION 708

GENERAL NOTES

A. DO NOT SCALE DRAWING. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS SHOWN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR AND COORDINATED WITH ALL OF THE OF ALL TRADES. IF DISCREPANCIES ARE FOUND THE CONTRACTOR SHALL NOTIFIED THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE STARTING THE WORK.

KEYNOTE LEGEND

K.08	IN ALL VERT. PIPE CHASES FOR ROOF LEADERS, METAL STUDS SHALL HAVE METAL STUDS EACH SIDE WITH FRONT SCREW SHIELDS CONT.
K.09	ANCHOR FLANGES AND SOLID STEEL ROD
K.10	PRE-FAB METAL CANOPY W/ FACTORY KYNAR ANTI-FADE PAINT COLOR WITH PROTECTIVE FINISH
K.11	CANOPY STEEL CHANNEL W/ KYNAR ANTI-FADE PAINT COLOR WITH PROTECTIVE FINISH. SEE STRUCT. DWGS. SEE ARCHITECTURAL DWGS FOR VERT. WEB FINS AND DETAIL DIMENSIONS. SUBMIT SHOP DWGS FOR ARCHITECTURAL AND STRUCTURAL APPROVAL.
K.12	STEEL BEAM SEE STRUCT. DWGS.
K.13	STEPPED BRICK CORBEL
K.14	OUTLINE OF FREEZER / COOLER ROOF BELOW
K.45	SCUPPER AND LEADER SEE PLUMBING DRAWINGS

SYMBOL LEGEND

DRAWING NUMBER	
	DRAWING NUMBER
	SHEET NUMBER
SECTION TAG	
	DRAWING NUMBER
	SHEET NUMBER
DETAIL TAG	
	DRAWING NUMBER
	SHEET NUMBER
PARTITION TAG	
	PARTITION TYPE
	DOOR TAG
	WINDOW TAG
	2 HOUR RATED BARRIER

David Martini - Plank

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980-444-6510



PROJECT

DAVIDSON GATEWAY CENTER
635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

Seal:

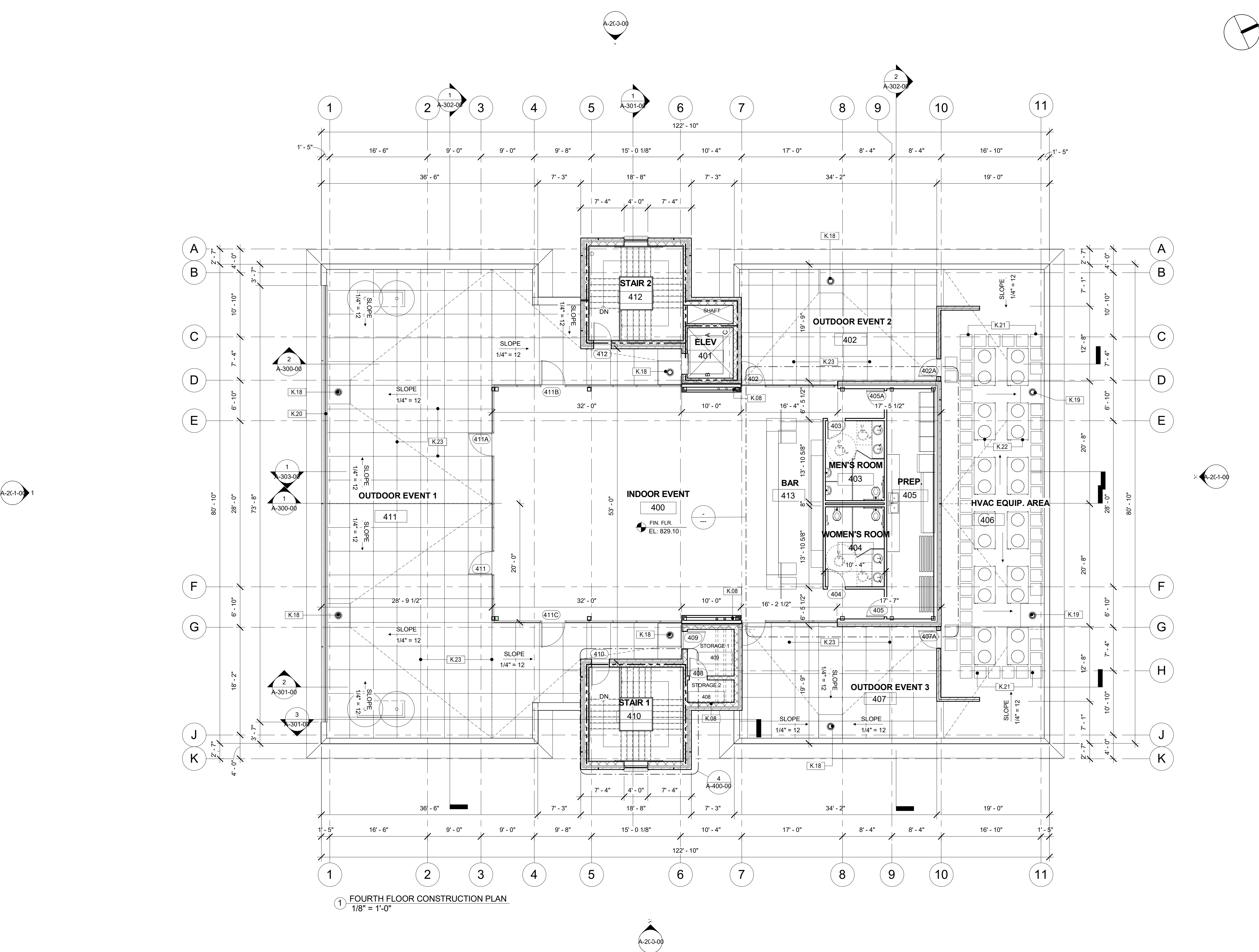
Issue Date:

08/12/19

SECOND FLOOR PLAN

A-101-00

SHEET:



1 FOURTH FLOOR CONSTRUCTION PLAN
1/8" = 1'-0"

WALL TYPES

W1 - SHAFT WALL
2 HOUR FIRE WALL UL#938
5/8" DRYWALL - 7/8" METAL FURRING - 8" MASONRY
WALL HEIGHT (SEE ELEVATOR DRAWINGS)
AS PER 2018 NCSBC SECTION 708

W2 - SHAFT WALL
2 HOUR FIRE WALL UL#938
8" MASONRY 2 HR RATED
WALL HEIGHT (SEE ELEVATOR DRAWINGS)
AS PER 2018 NCSBC SECTION 708

GENERAL NOTES

A. DO NOT SCALE DRAWING. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS SHOWN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR AND COORDINATED WITH ALL OF THE OF ALL TRADES. IF DISCREPANCIES ARE FOUND THE CONTRACTOR SHALL NOTIFIED THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE STARTING THE WORK.

KEYNOTE LEGEND

K.08	IN ALL VERT. PIPE CHASES FOR ROOF LEADERS, METAL STUDS SHALL HAVE METAL STUDS EACH SIDE WITH FRONT SCREW SHIELDS CONT.
K.18	ROOF DRAIN BELOW RAISED FLOOR
K.19	ROOF DRAIN
K.20	TEMPERED GLASS RAILING
K.21	ROOF WALKWAY PADS
K.22	MECHANICAL EQUIPMENT. SEE MECH. DWGS.
K.23	RAISED FLOOR ON ADJUSTABLE PEDESTAL SYSTEM

SYMBOL LEGEND

DRAWING NUMBER		DRAWING NUMBER	
A0500		SHEET NUMBER	
SECTION TAG		DRAWING NUMBER	
1	SIM	SHEET NUMBER	
A101			
DETAIL TAG		DRAWING NUMBER	
1	SIM	SHEET NUMBER	
A101			
PARTITION TAG		PARTITION TYPE	
?			
DOOR TAG			
XXX			
WINDOW TAG			
B			
---		2 HOUR RATED BARRIER	

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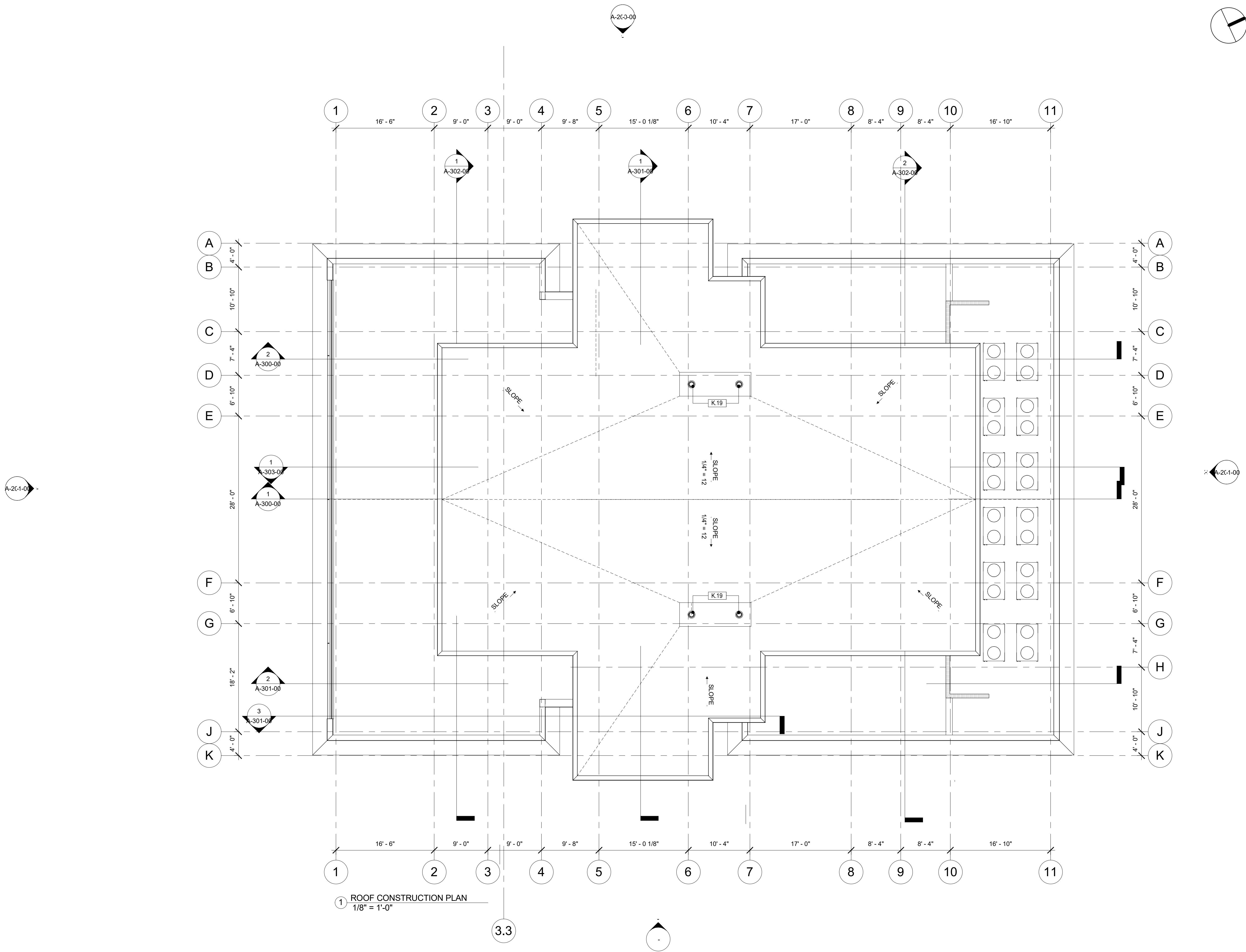


PROJECT
DAVIDSON GATEWAY CENTER
635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

Seal:
Issue Date: 08/12/19

FOURTH FLOOR
CONSTRUCTION PLAN
A-103-00

SHEET:



GENERAL NOTES

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KEYNOTE LEGEND

K.19 ROOF DRAIN

SYMBOL LEGEND

- DRAWING NUMBER
- DRAWING NUMBER
SHEET NUMBER
- SECTION TAG
- DRAWING NUMBER
SHEET NUMBER
- DETAIL TAG
- DRAWING NUMBER
SHEET NUMBER
- PARTITION TAG
- PARTITION TYPE
- DOOR TAG
- WINDOW TAG
- 2 HOUR RATED BARRIER

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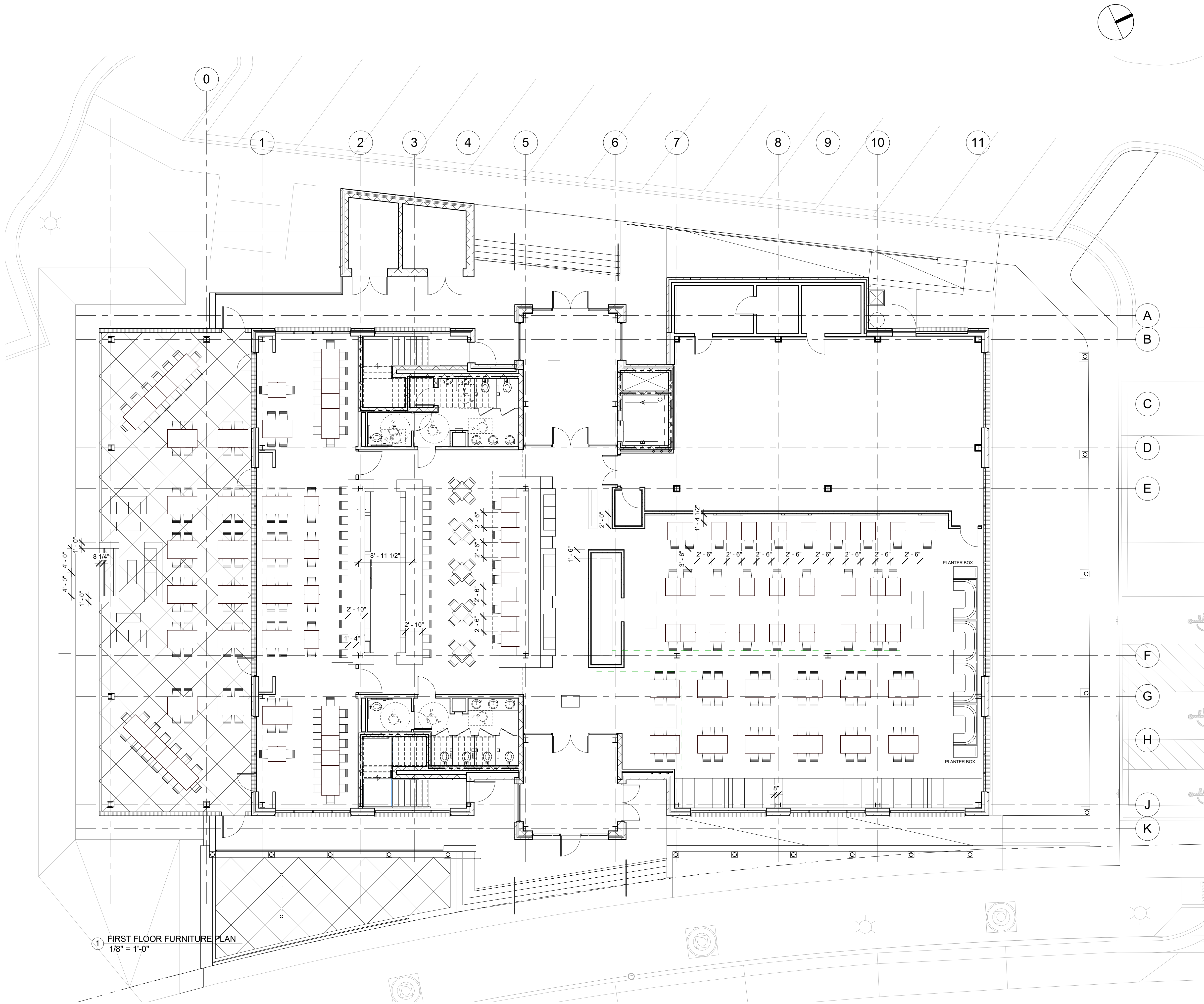
PROJECT
DAVIDSON GATEWAY CENTER
635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

Seal:
Issue Date: 08/12/19

ROOF CONSTRUCTION PLAN

A-104-00

SHEET:



1 FIRST FLOOR FURNITURE PLAN
1/8" = 1'-0"

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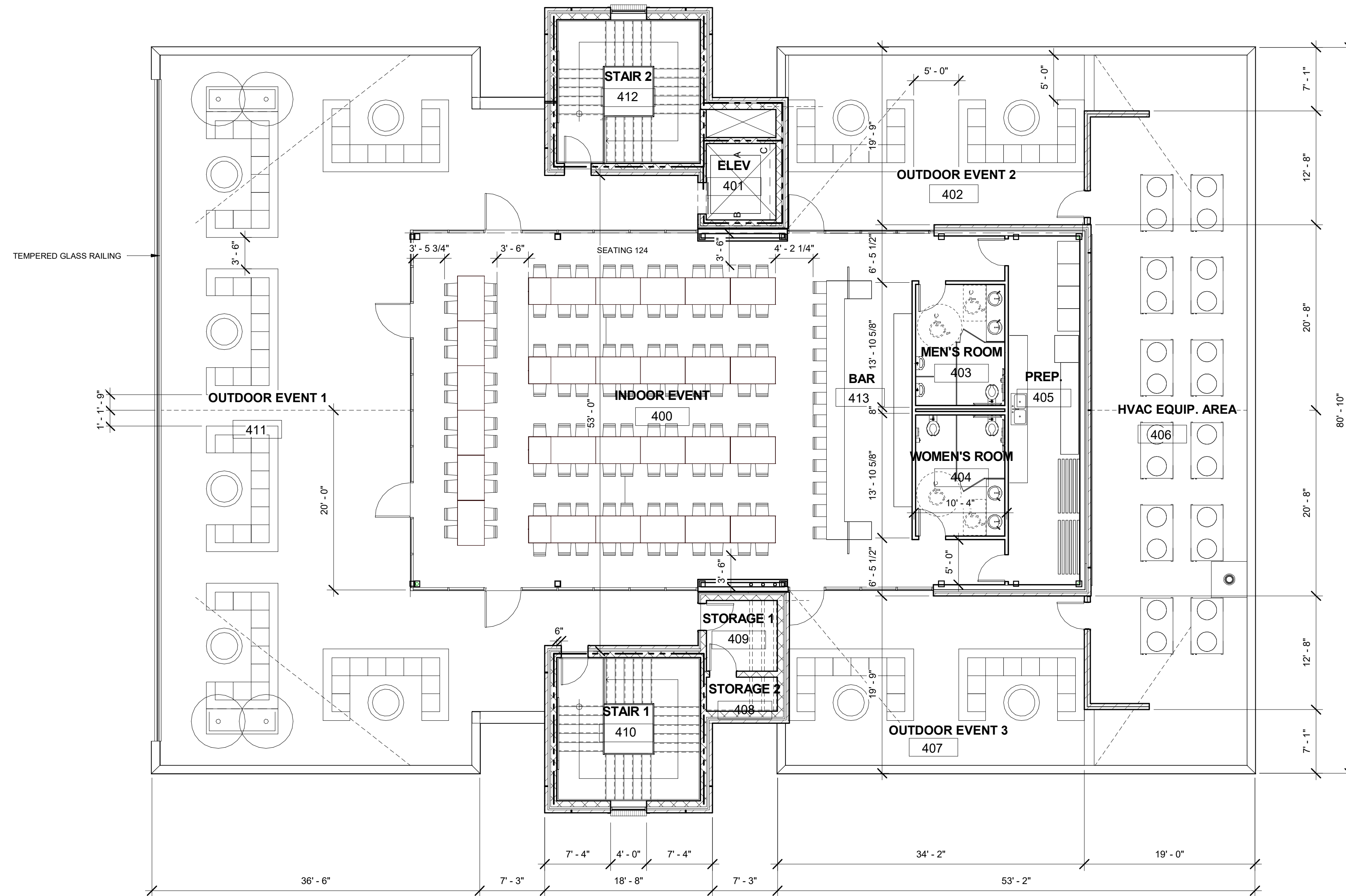
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PROJECT
DAVIDSON GATEWAY CENTER
635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

Seal:
Issue Date: 08/12/19

FIRST FLOOR FURNITURE PLAN
A-160-00
SHEET:



1 FOURTH FLOOR FURNITURE PLAN
1/8" = 1'-0"

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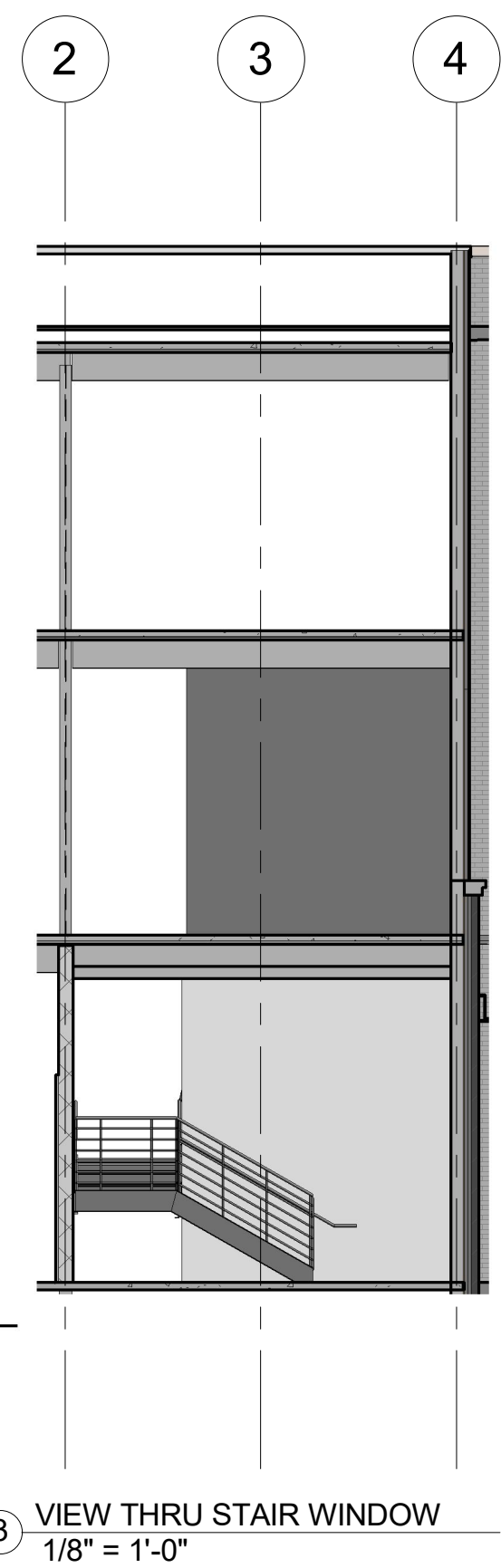
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PROJECT
DAVIDSON GATEWAY CENTER
635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

Seal:
Issue Date: 08/12/19

FOURTH FLOOR FURNITURE
PLAN
A-161-00
SHEET:



KEYNOTE LEGEND	
510	
K.01	FIRE PLACE CLAD WITH DARK GRAY BRICK
K.02	CAST IN PLACE CONCRETE WALL
K.05	EXTERIOR LIGHT BOLLARDS
K.09	ANCHOR FLANGES AND SOLID STEEL ROD
K.11	CANOPY STEEL CHANNEL W/ KYNAR ANTI-FADE PAINT COLOR WITH PROTECTIVE FINISH. SEE STRUCT. DWGS. SEE ARCHITECTURAL DWGS FOR VERT. WEB FINS AND DETAIL DIMENSIONS. SUBMIT SHOP DWGS FOR ARCHITECTURAL AND STRUCTURAL APPROVAL.
K.12	STEEL BEAM SEE STRUCT. DWGS.
K.13	STEPPED BRICK CORBEL
K.24	SUN SHADE DEVICE
K.25	CONTROL JOINT / EXPANSION JOINT. HORIZ. JOINT TO BE CONTIGUOUS AT PERIMETER. VERTICAL JOINT FROM FOUNDATION TO TOP OF PARAPET.
K.26	PRE-FAB METAL COPING
K.27	BRICK ROW LOCK SILL
K.28	LOW "E" 1" THERMINALLY INSULATED GLASS IN BLACK ANODIZED ALUM. FRAME
K.29	LOW "E" 1" THERMINALLY INSULATED GLASS IN BLACK ANODIZED ALUM. STOREFRONT SYSTEM
K.30	LOW DOUBLE WHYTE DARK GRAY BRICK WALL WITH BRICK ROW LOCK CAP
K.32	MEDIUM GRAY STUCCO
K.33	WHITE STUCCO REFLECTOR
K.34	DARK GRAY BRICK WITH CREME GROUT
K.35	LIGHT GRAY BRICK WITH CREME GROUT
K.36	WHITE PORCELAIN METAL PANEL
K.45	SCUPPER AND LEADER SEE PLUMBING DRAWINGS
K.47	COUNTRY STANDARD BIKE RACK
K.48	HANDRAIL WITH ADDITIONAL WHEEL SLOTS FOR BIKES

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Seal:
Issue Date: 08/12/19

ELEVATIONS
A-200-00
SHEET:



KEYNOTE LEGEND	
K.09	ANCHOR FLANGES AND SOLID STEEL ROD
K.11	CANOPY STEEL CHANNEL W/ KYNAR ANTI-FADE PAINT COLOR WITH PROTECTIVE FINISH. SEE STRUCT. DWGS. SEE ARCHITECTURAL DWGS FOR VERT. WEB FINIS AND DETAIL DIMENSIONS. SUBMIT SHOP DWGS FOR ARCHITECTURAL AND STRUCTURAL APPROVAL.
K.13	STEPPED BRICK CORBEL
K.24	SUN SHADE DEVICE
K.25	CONTROL JOINT / EXPANSION JOINT. HORIZ. JOINT TO BE CONTIGUOUS AT PERIMETER. VERTICAL JOINT FROM FOUNDATION TO TOP OF PARAPET.
K.26	PRE-FAB METAL COPING
K.28	LOW "E" 1" THERMINALLY INSULATED GLASS IN BLACK ANODIZED ALUM. FRAME
K.29	LOW "E" 1" THERMINALLY INSULATED GLASS IN BLACK ANODIZED ALUM. STOREFRONT SYSTEM

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PROJECT

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635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

Seal:

Issue Date:

08/12/19

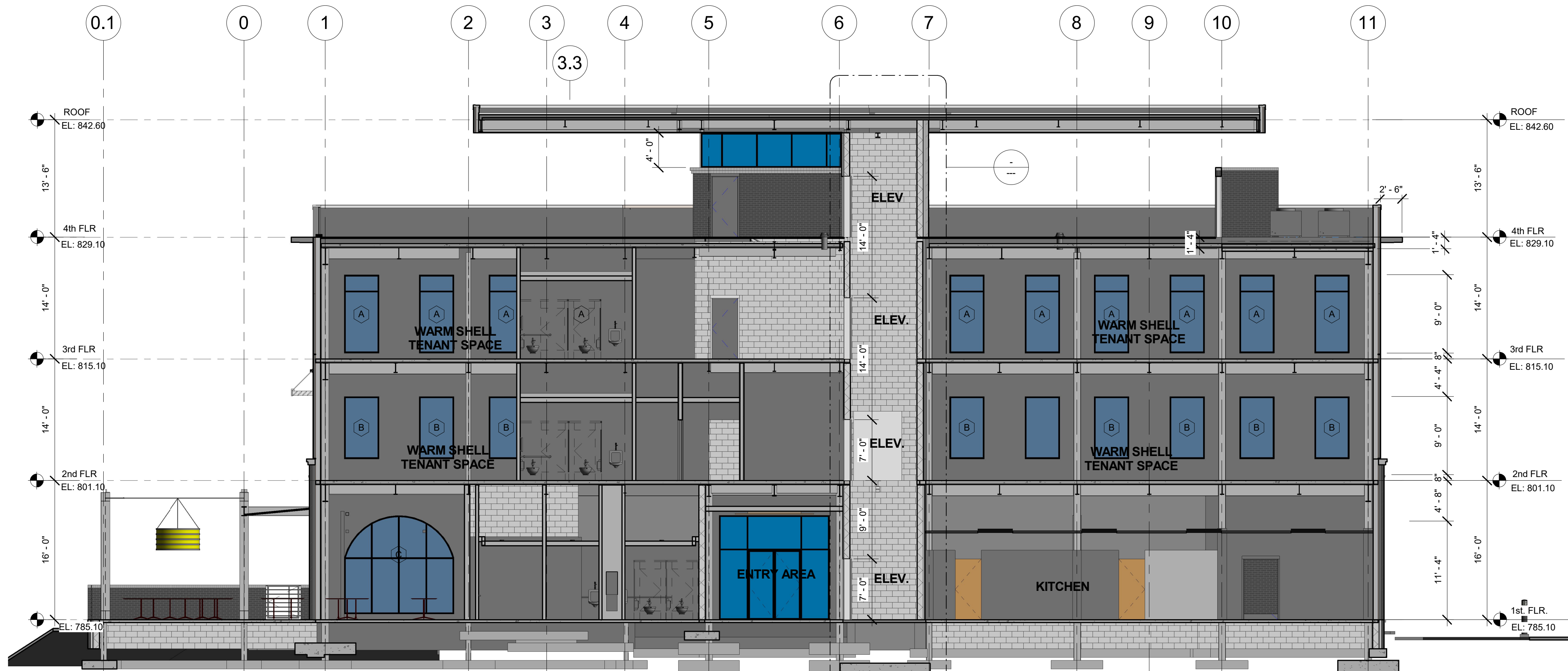
ELEVATIONS

A-201-00

SHEET:



1 BUILDING SECTION
1/8" = 1'-0"



2 BUILDING SECTION
1/8" = 1'-0"

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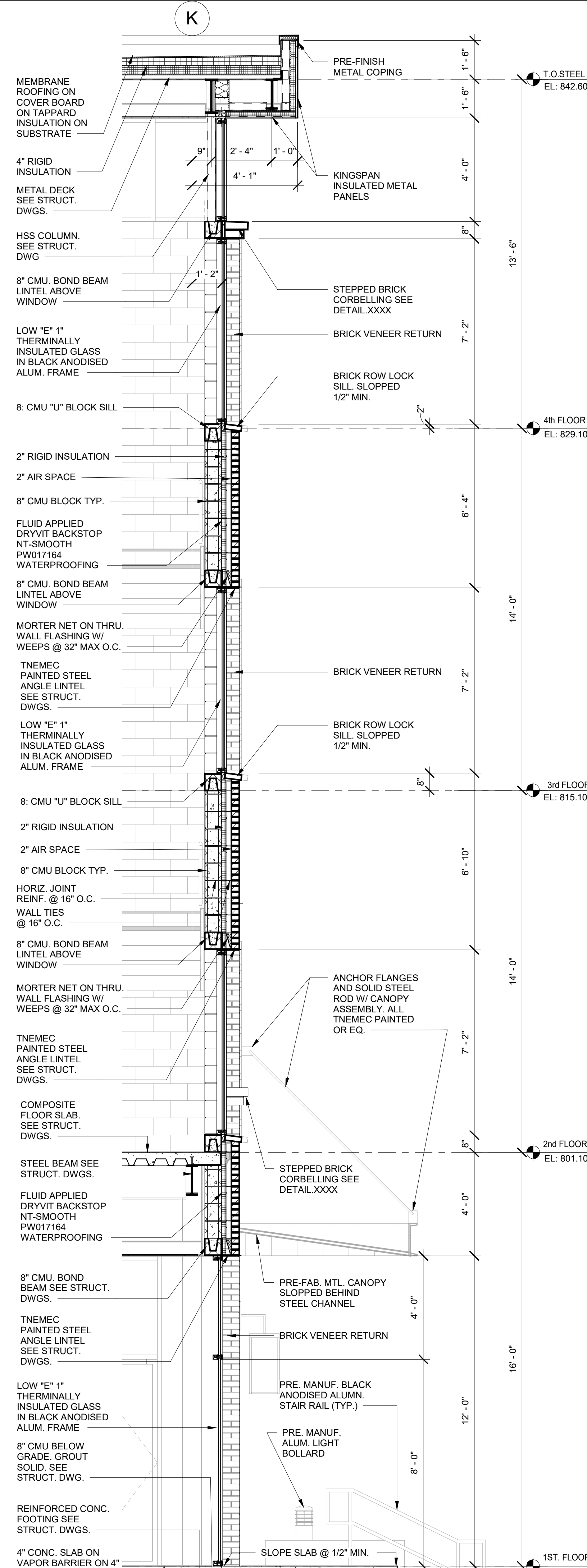
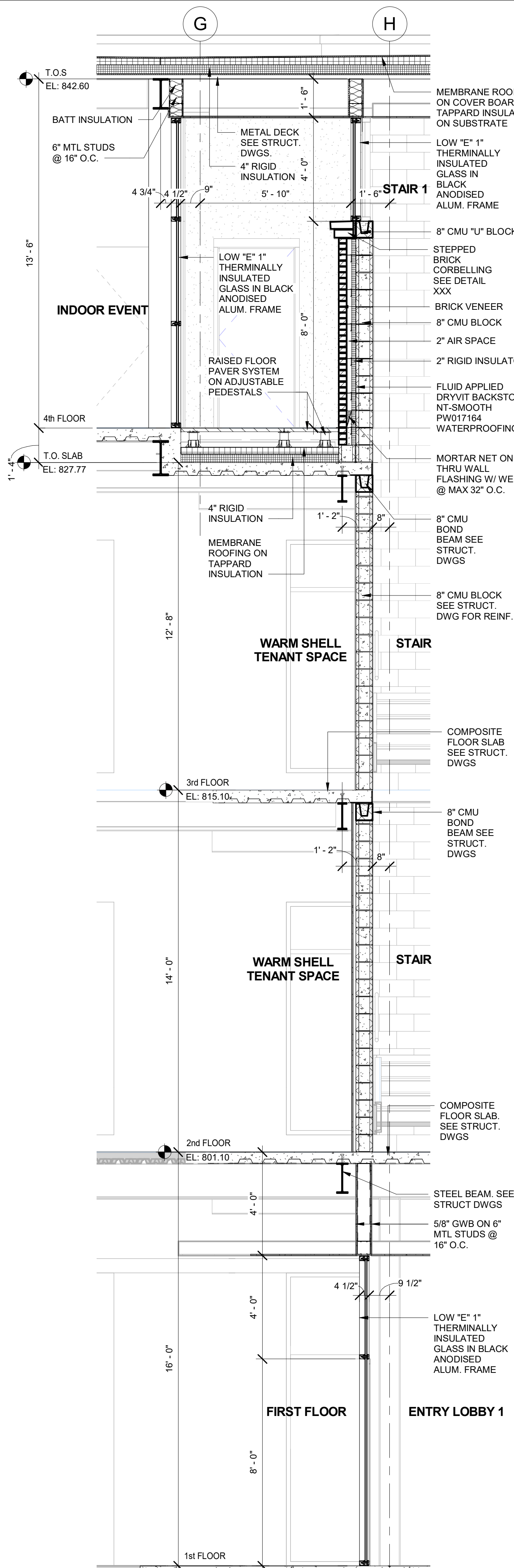
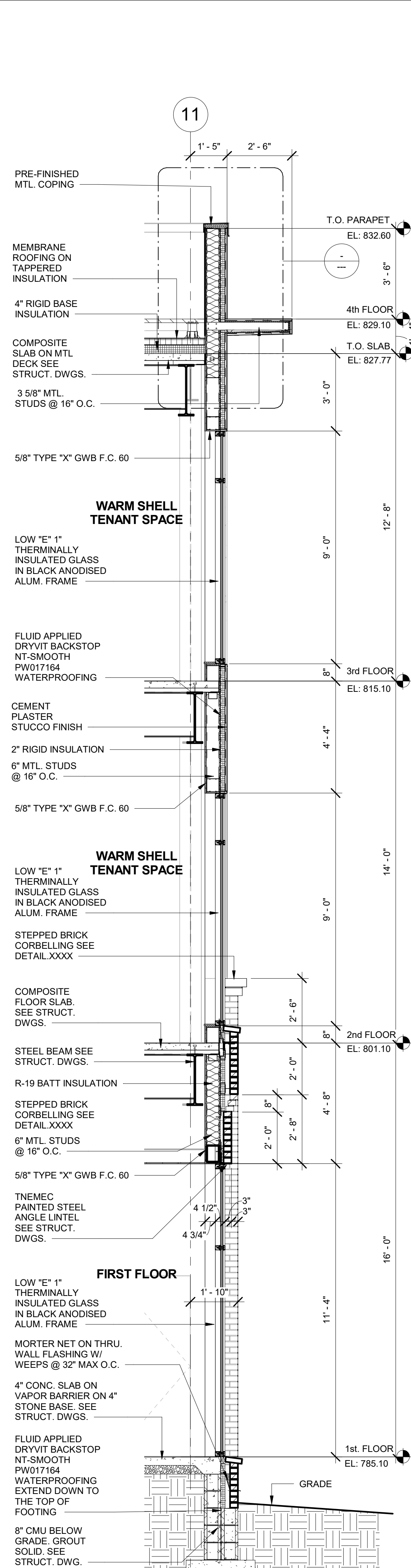
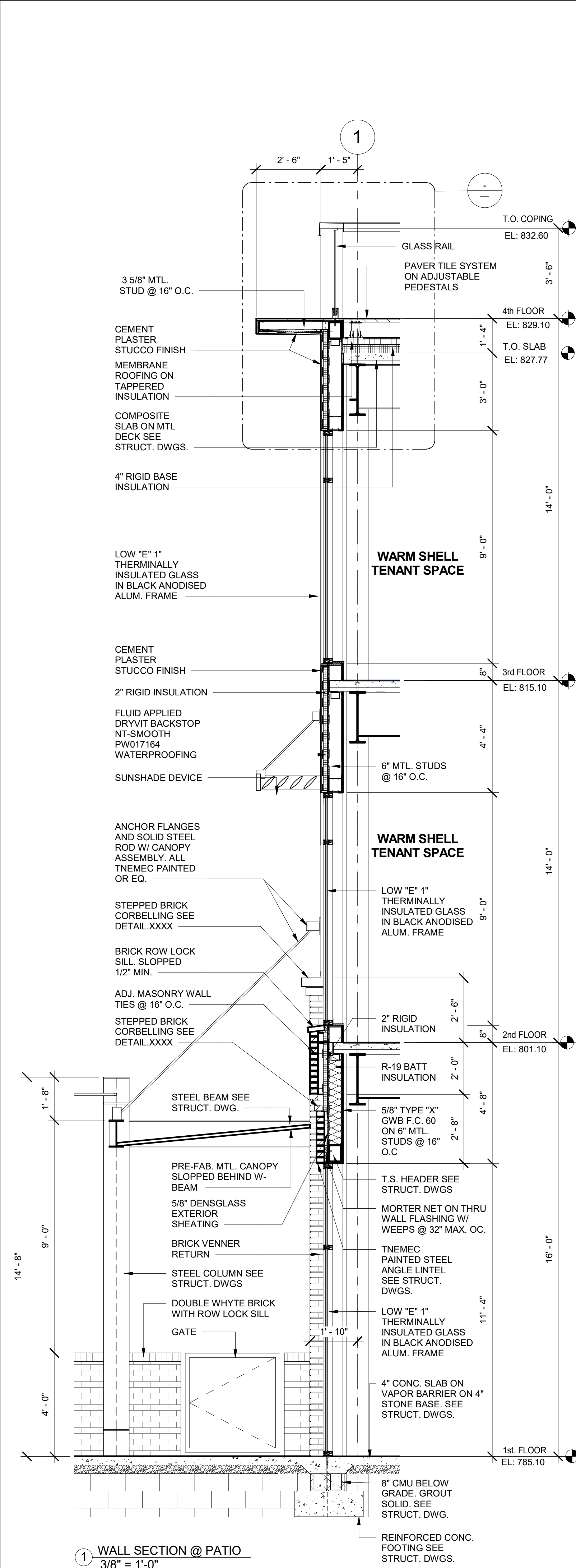
PROJECT
DAVIDSON GATEWAY CENTER
635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

Seal:
Issue Date: 08/12/19

BUILDING SECTION

A-300-00

SHEET:



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PROJECT
DAVIDSON GATEWAY CENTER
635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

Seal:
Issue Date: 08/12/19

WALL SECTIONS

A-350-00

SHEET:



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PROJECT
DAVIDSON GATEWAY CENTER
635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

Seal: _____
Issue Date: _____ 08/12/19

PERSPECTIVE VIEWS
A-459.00
SHEET: _____



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PROJECT
DAVIDSON GATEWAY CENTER
635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

Seal: _____
Issue Date: _____ 08/12/19

PERSPECTIVE VIEW

A-460.00
SHEET:

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PROJECT

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Seal:

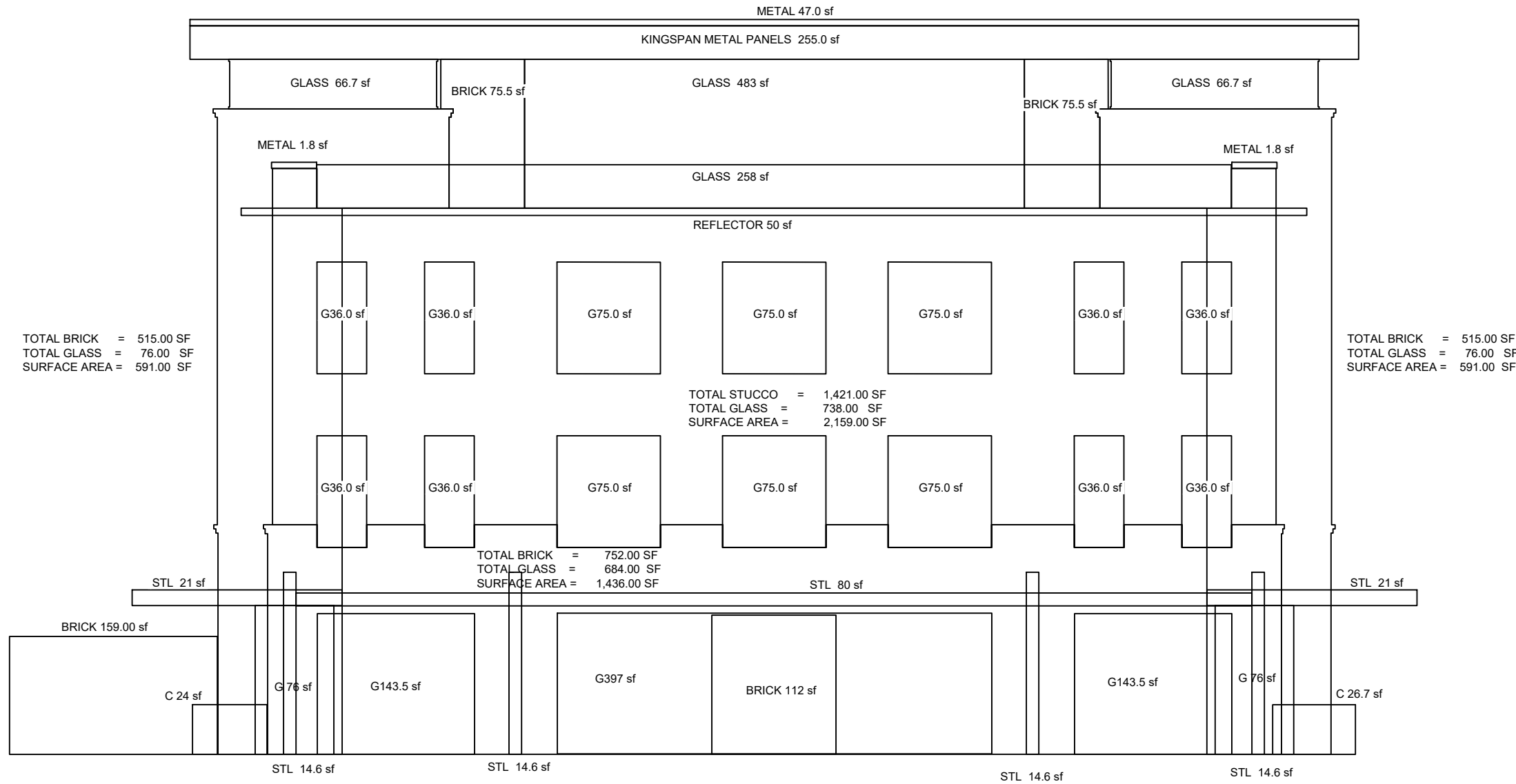
Issue Date:

07/31/19

SOUTH ELEVATION

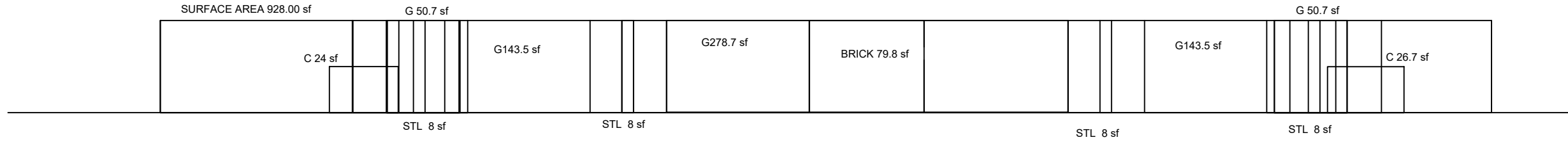
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SHEET:



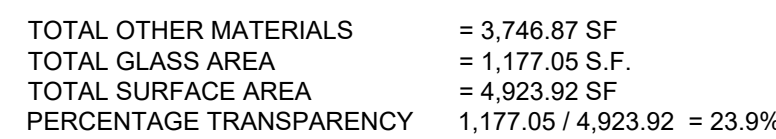
TOTAL OTHER MATERIALS = 5239.00 SF
TOTAL STUCCO AREA = 1,421.00 S.F.
TOTAL SURFACE AREA = 6,660.00 SF
Max. STUCCO AREA (req) 6,660.00 x 0.25 = 1,665.00 SF
PERCENTAGE STUCCO 1,421.00 / 6,660.00 = 21.33%

PERCENTAGE OF STUCCO @ FACADE NOT GREATER THAN 25 %



TOTAL AREA = 928.2 SF
TOTAL GLASS = 616.4 S.F.
PERCENTAGE TRANSPARENCY 616.4 / 928.2 = 66.4 %

PERCENTAGE OF TRANSPARENY @ FIRST FLOOR AT LEAST 65%



PROJECT TEAM:

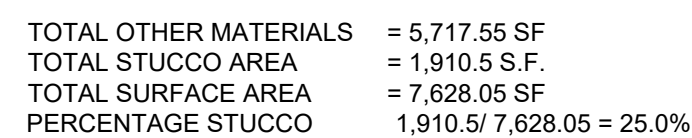
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**DAVIDSON GATEWAY CENTER
635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036**



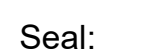
TOTAL AREA 989 SF
TOTAL GLASS (WITH ROUND GLASS IN LAST BAY) = 637.74 S.F.
PERCENTAGE TRANSPARENCY $637.74 / 989 = 64.48 \%$

TOTAL GLASS (WITH LAST BAY) = 670.33 S.F.
PERCENTAGE TRANSPARENCY $670.33 / 989 = 67.7 \% > 65 \%$

TOTAL GLASS FIRST FLOOR FACADE



TOTAL GLASS (WITH LAST BAY) = 794.61 S.F.
PERCENTAGE TRANSPARENCY $794.61 / 989 = 80.3 \%$

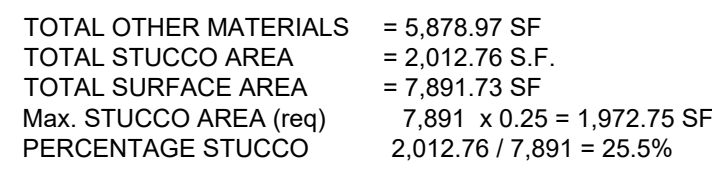


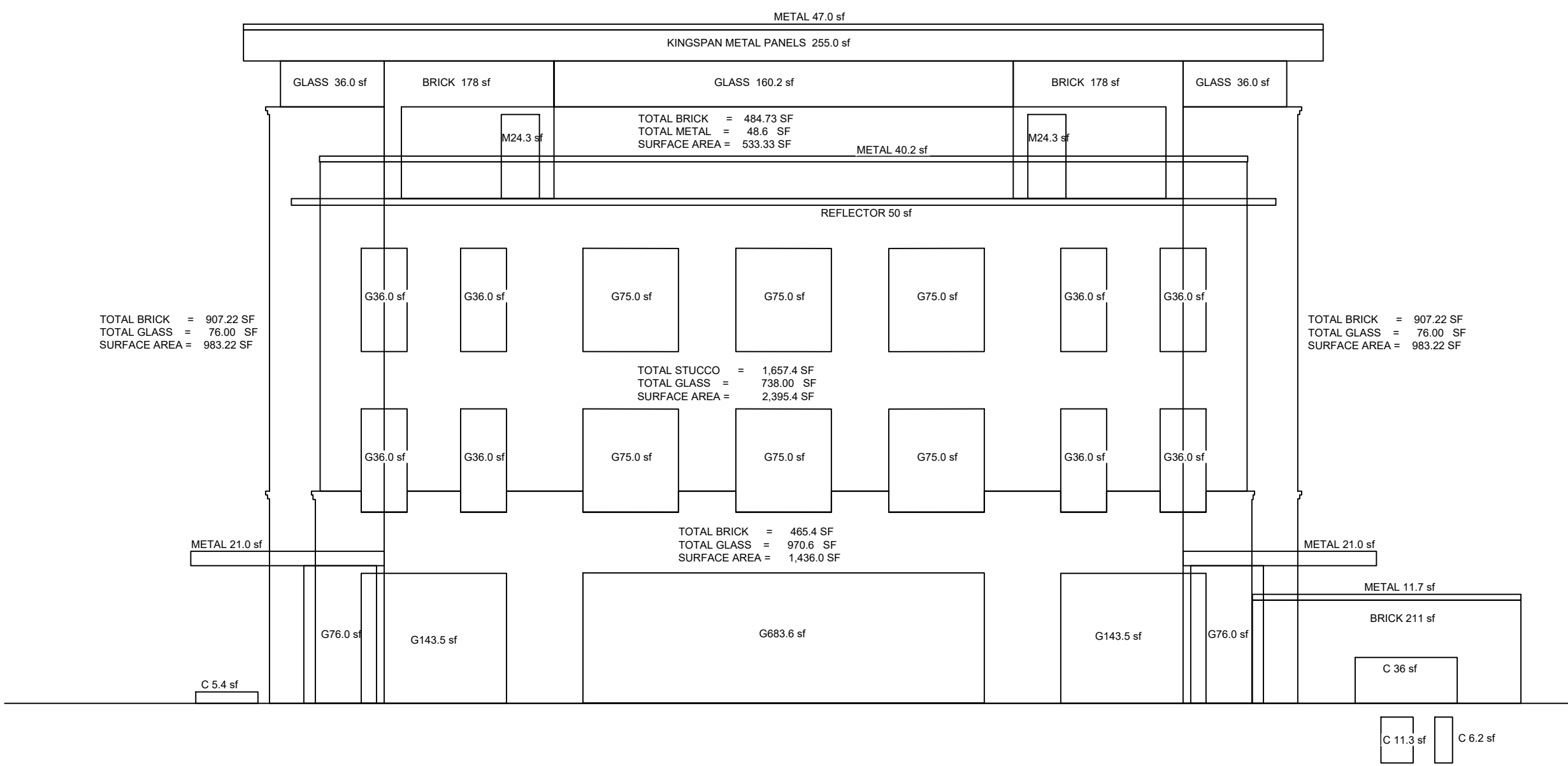
Issue Date:

07/31/19

MA-102-00

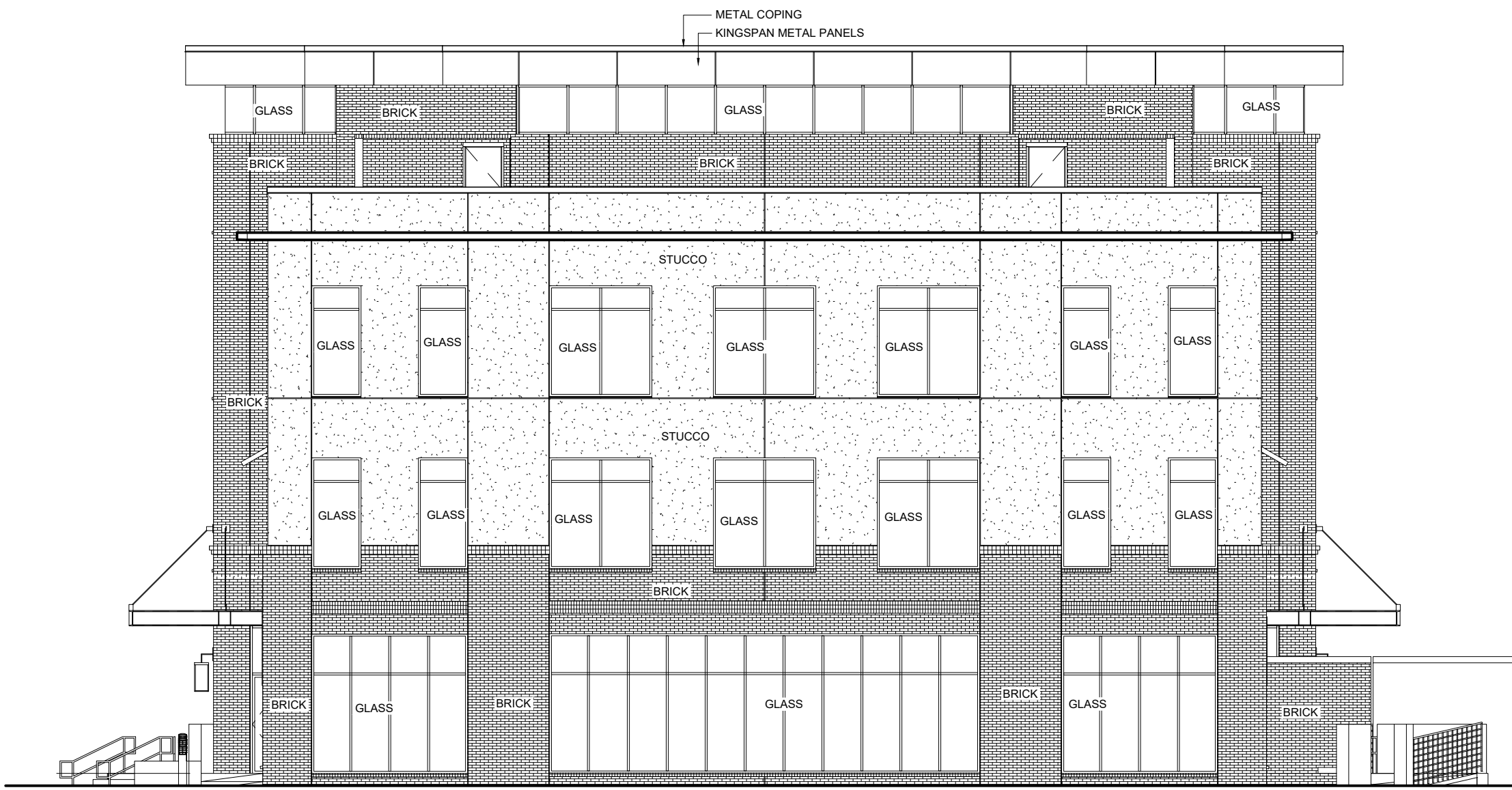
SHEET:





TOTAL OTHER MATERIALS = 6,234.97 SF
TOTAL STUCCO AREA = 1,656.76 S.F.
TOTAL SURFACE AREA = 7,891.73 SF
Max. STUCCO AREA (req) 7,891 x 0.25 = 1,972.75 SF
PERCENTAGE STUCCO 1,656.76 / 7,891 = 20.99%

PERCENTAGE OF STUCCO @ FACADE



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635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

Seal:

Issue Date:

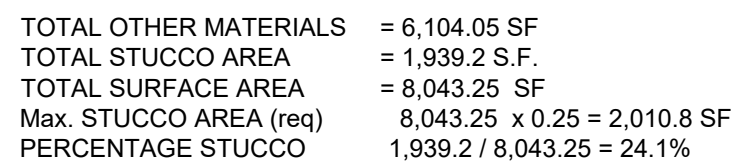
07/31/19

CORRECTED DRB SUBMISSION

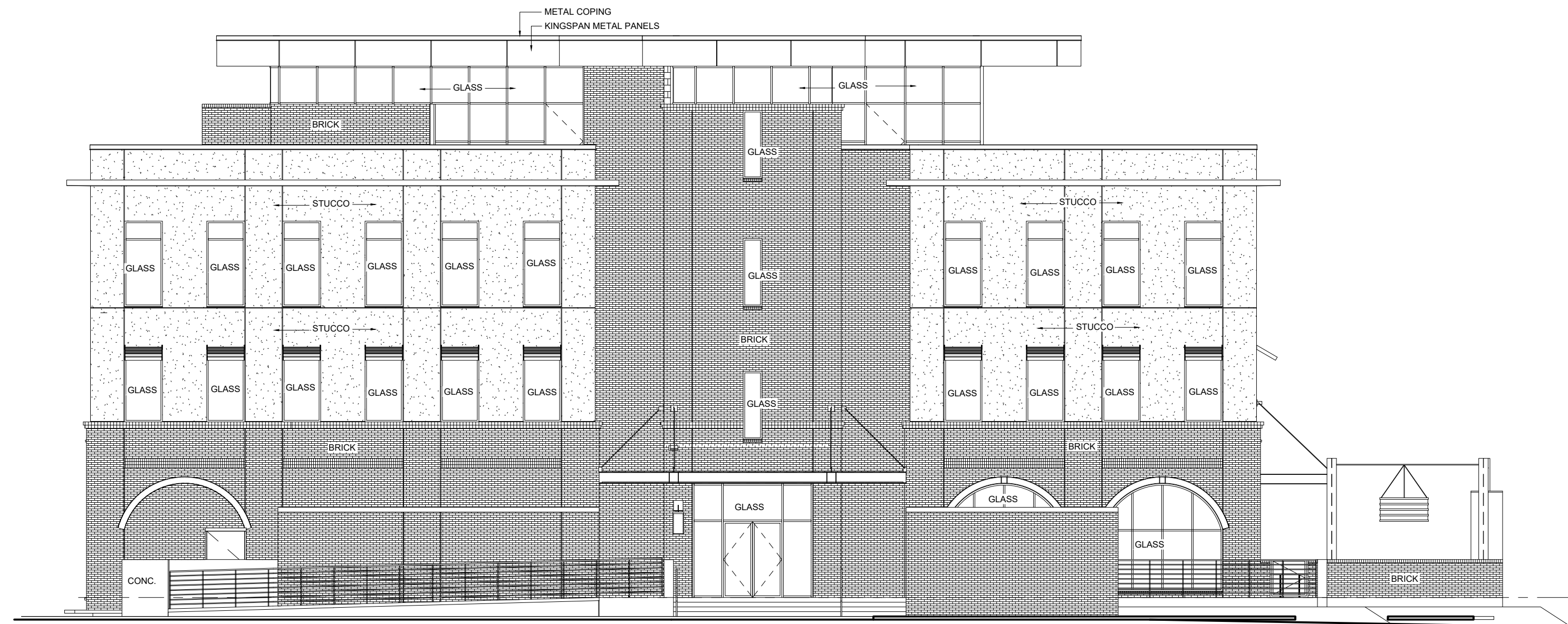
NORTH ELEVATION

MA-103-00

SHEET:



PERCENTAGE OF STUCCO @ FACADE NOT GREATER THAN 25 %



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635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036**

Seal:

Issue Date:

07/31/19

WEST ELEVATION

MA-104-00

SHEET:



IMAGE FROM DAVIDSON HUB

SIMILAR FOR DAVIDSON GATEWAY CENTER

- BLACK STEEL
- BLACK ANODIZED STOREFRONT SYSTEM
- LIGHTLY GREY TINTED GLAZING
- BLACK PAINTED HANDRAILS



IMAGE FROM DAVIDSON HUB

SIMILAR FOR DAVIDSON GATEWAY CENTER

- BLACK PAINTED HANDRAILS



IMAGE FROM DAVIDSON HUB

SIMILAR FOR DAVIDSON GATEWAY CENTER

- BLACK PAINTED HANDRAILS WITH BIKE WHEEL SLOT AT NEW FRONT PLAZA.



IMAGE FROM DAVIDSON HUB

SIMILAR FOR DAVIDSON GATEWAY CENTER

- ALL STUCCO AT 2nd, 3rd & 4th FLOORS TO BE LIGHT GREY MATCHING DAVIDSON HUB.
- ALL WINDOWS AND STOREFRONT SYSTEMS TO BE BLACK ANODIZED ALUM. FRAMES.



IMAGE FROM DAVIDSON HUB

SIMILAR FOR DAVIDSON GATEWAY CENTER

- ALL STUCCO AT 2nd, 3rd & 4th FLOORS TO BE LIGHT GREY MATCHING DAVIDSON HUB.
- ALL DOORS AND STOREFRONT SYSTEMS TO BE BLACK ANODIZED ALUM. FRAMES.



IMAGE FROM DAVIDSON HUB

SIMILAR FOR DAVIDSON GATEWAY CENTER

- ALL STUCCO AT 2nd, 3rd & 4th FLOORS TO BE LIGHT GREY MATCHING DAVIDSON HUB.



IMAGE FROM MOOREHEAD STREET BLDG.

SIMILAR FOR DAVIDSON GATEWAY CENTER

- ALL BRICK AT 1st. FLOOR, STAIR TOWERS, AND SITE TO BE DARK GREY BRICK WITH LIGHT GREY MORTAR.
- VERTICAL INFILL BRICK BETWEEN STAIR TOWERS FROM 1st FLOOR TO 4th FLOOR AND ENTIRE EVENT LEVEL TO BE CREAM COLOR BRICK TO COMPLIMENT GREY BRICK.

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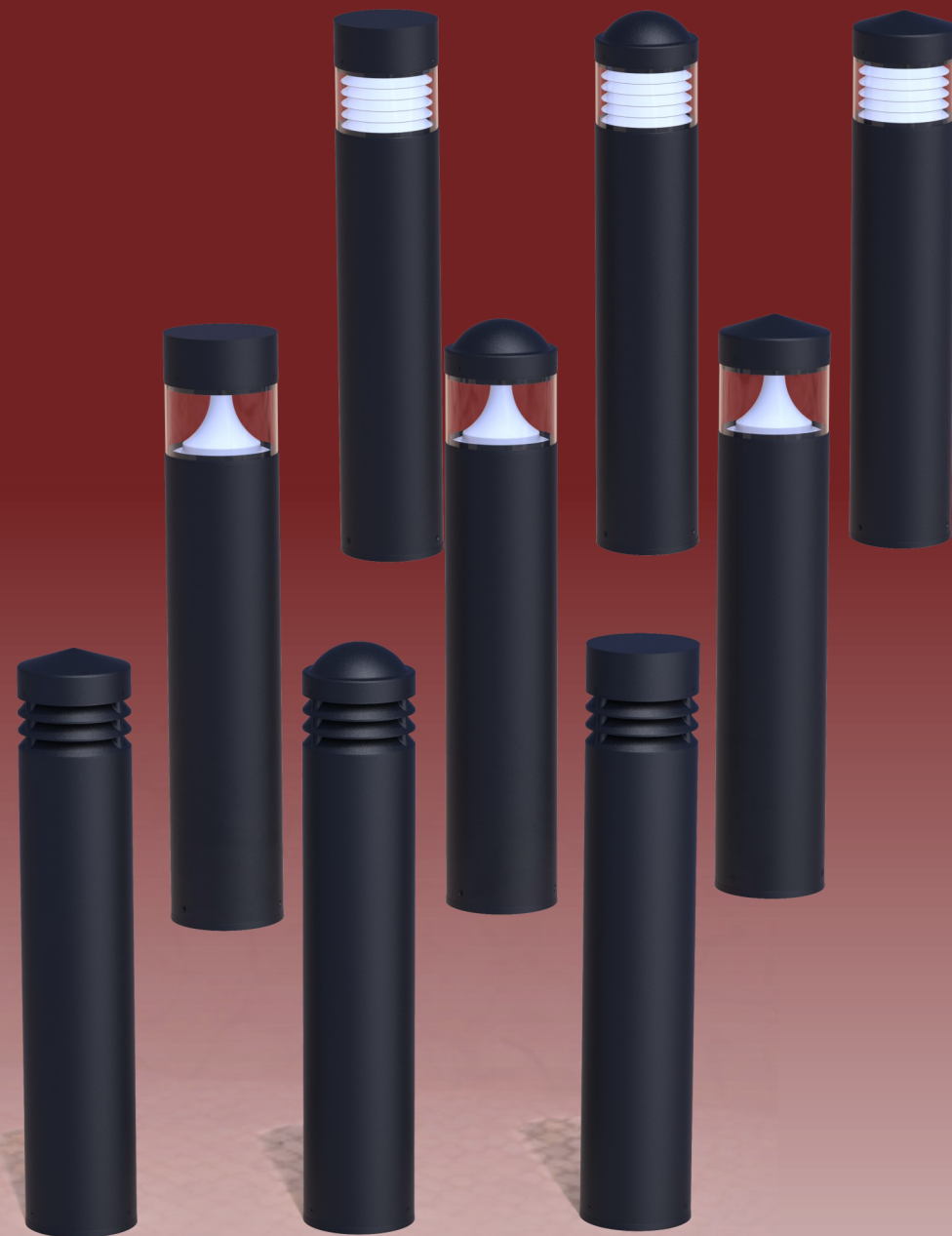
Issue Date:

07/31/19

EXTERIOR MATERIAL FINISHES

MA-105-00

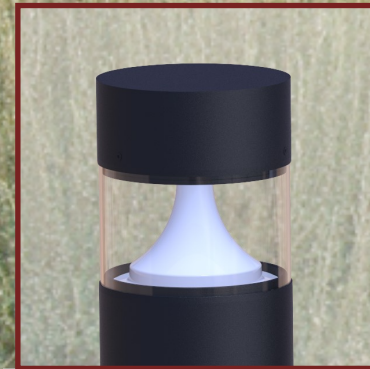
SHEET:



MALIBU Series

LED Architectural Bollard

DESIGN - QUALITY



PARACLINE / FLAT TOP



STOCK LOUVER/ DOME TOP



CUT OF GRILL/ CONE TOP



Crystal 
Lighting



Extruded Aluminum Housing with flush Mounting Base and Vandal-Resistant Screws, Powder coat Finish, Internal Ballast Tray for Easy Maintenance. Clear Polycarbonate Lens (Standard). 3/8 x 10" Long Anchor Bolts (Included). LED Array Optional 15W, 20W and 35 System. Ideal for lighting pedestrian walkways and accenting the exterior grounds of office and apartment buildings, hotel and parks. Comes with a 10 year warranty

FEACTURES

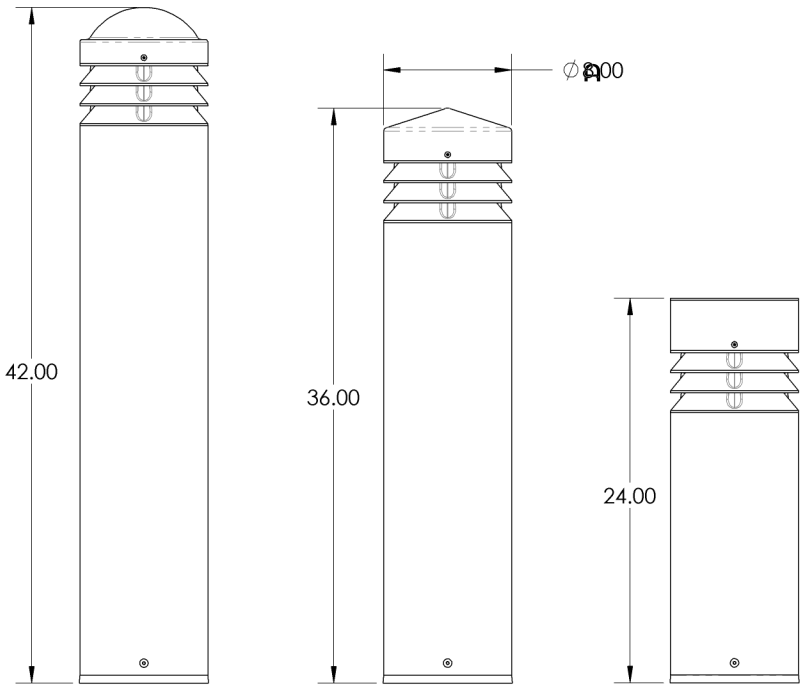
- Energy Savings: Over 66% compared to HID light sources.
- Improved lumen maintenance
- Utilizes high efficient LED's
- Operating temperatures: -30°C ~ 60°C.
- Driver: Constant current, 120~277v, 50/60Hz, 480v (Optional)
- Suitable for wet locations.
- Dimming, occupancy sensors, photo cell and wireless controls capable (optional).
- Operating Life: >200,000 hours.

CONSTRUCTION

- Extruded aluminum body with die-cast aluminum louvers.
- Powder coat bronze finish (standard) various colors available (custom).
- Clear polycarbonate lens (standard).
- Silicone gasket to prevent leakage and provide weather-tight protection
- Mounting: Mounting kit with 10" anchor bolts included



CAT #	DIA.	HEIGHT	TOPS	WATTAGE	DRIVER	CCT	COLOR	OPTIONS
Malibu Series (MLB)	8" OD (8OD)	42" (42)	DOME TOP (DT)	15W - 1376Lms (10)	120V/277V (UNV)	3000K (3K)	BLACK (BLK)	PHOTOCELL (PC)
	6" OD (6OD)	36" (36)	FLAT TOP (FT)	20W - 2752Lms (20)	480V (48)	4000K (4K)	WHITE (WH)	180° SIDE SHIELD (HSS)
		24" (24)	CONE TOP (CT)	30W -4128Lms (30)		5000K (5K)	BRONZE (BRZ)	VANDAL RESISTANT BASE (VRB)
							SILVER (SIL)	
							MARINE GRADE (MG)	

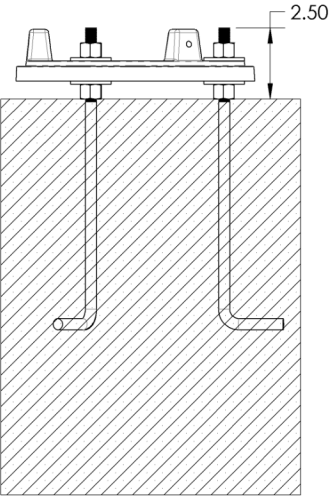


Dimensions		
CAT#	A	B
MLB-42	6"	42"
MLB-36	or	36"
MLB-24	8"	24"

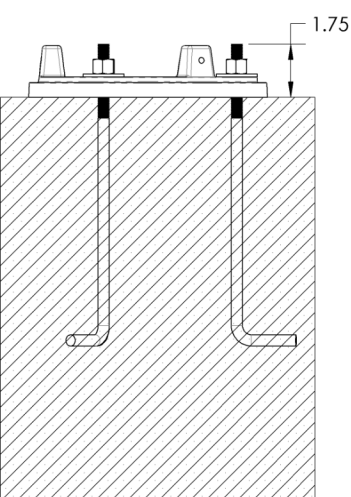


VANDAL RESISTANT BASE (OPTIONAL)

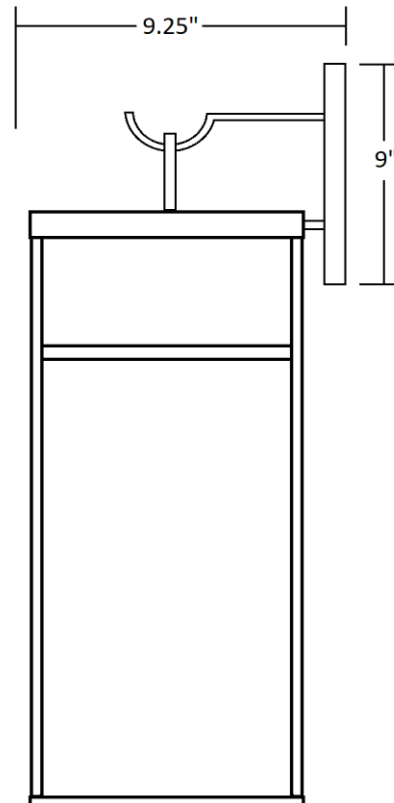
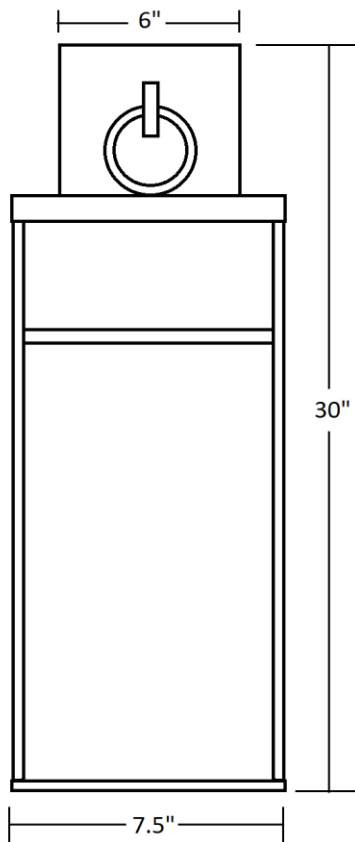
W/LEVELING NUTS



W/ OUT LEVELING NUTS



MODEL #	INPUT POWER	LUMEN OUTPUT	LP/W	COLOR TEMP. (CCT)	CRI	RATED LIFE (L70)	INPUT VOLTAGE	INPUT FREQUENCY
MLB-15CLED	15W	2,250	150	5000K	70+	>200,000	120-277V	50/60HZ
MLB-20CLED	20W	2950	147	5000K	70+	>200,000	120-277V	50/60HZ
MLB-30CLED	30W	3950	131	5000K	70+	>200,000	120-277V	50/60HZ

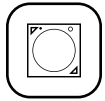


PROJECT NAME:	TYPE:	UL LISTED SUITABLE FOR: WET LOCATION	CATALOG # CLA-20-MOD-INC-BLK
	DATE: 8/28/2019	LAMPING: 1 MED BASE SOCKET	DIMENSIONS: 30" HIGH X 7.5" W X 9.25" EXT.
CUSTOMER OR REP:	DRAWING BY: Robert Naranjo	STYLE: WALL MOUNT	FINISH: POWDERCOAT
APPROVED BY:	Any & all information appearing here is propriety & confidential. It may not be used without prior authorization of: CRYSTAL LIGHTING CORPORATION		LENS: CLEAR ACRYLIC
			MATERIAL: aluminum
			VOLTAGE: 120V

Trogon Collection

Diecast LED Brick Lights

ELCO's Trogon Collection consists of diecast wet location LED Brick Lights which are offered in 5.4W or 12W, 3000K, 120V with an Angled Louver, Open Frame Lens or Grill Faceplate in a sharp White, Black or Bronze powder coated finish.



INTEGRATED LED



WET LOCATION



90+ CRI



LED Brick Lights



White
ELST81W



Black
ELST81B



Bronze
ELST81BZ



White
ELST82W



Black
ELST82B

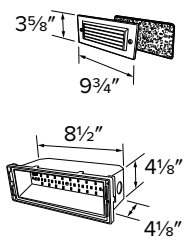


Bronze
ELST82BZ

LED Brick Light with Angled Louver

- Diecast aluminum housing and faceplate
- Integrated LED board and driver
- Diffused glass lens behind louver
- Wet Location listed for indoor or outdoor use
- UL Listed for poured concrete
- UL Listed for direct contact with insulation (type IC)
- Housing equipped with (2) side brackets and (2) 1/2" knockouts for easy wiring
- Life span of 35,000 hours L70

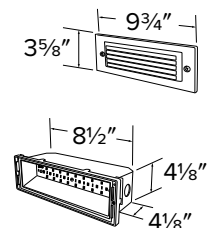
Input Power	5.4W
Lumens	340
Color Temp.	3000K
CRI	90+
Input Volt	120V
Wet Location	UL listed



LED Brick Light with Grill Faceplate

- Diecast aluminum housing and faceplate
- Integrated LED board and driver
- Diffused glass lens behind grill
- Wet Location listed for indoor or outdoor use
- UL Listed for poured concrete
- UL Listed for direct contact with insulation (type IC)
- Housing equipped with (2) side brackets and (2) 1/2" knockouts for easy wiring
- Life span of 35,000 hours L70

Input Power	5.4W
Lumens	340
Color Temp.	3000K
CRI	90+
Input Volt	120V
Wet Location	UL listed



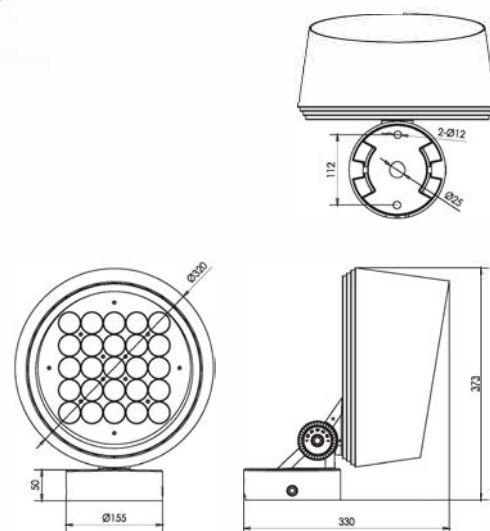


Flood Light Series

SL1132F



SL1132M



Product Introduction

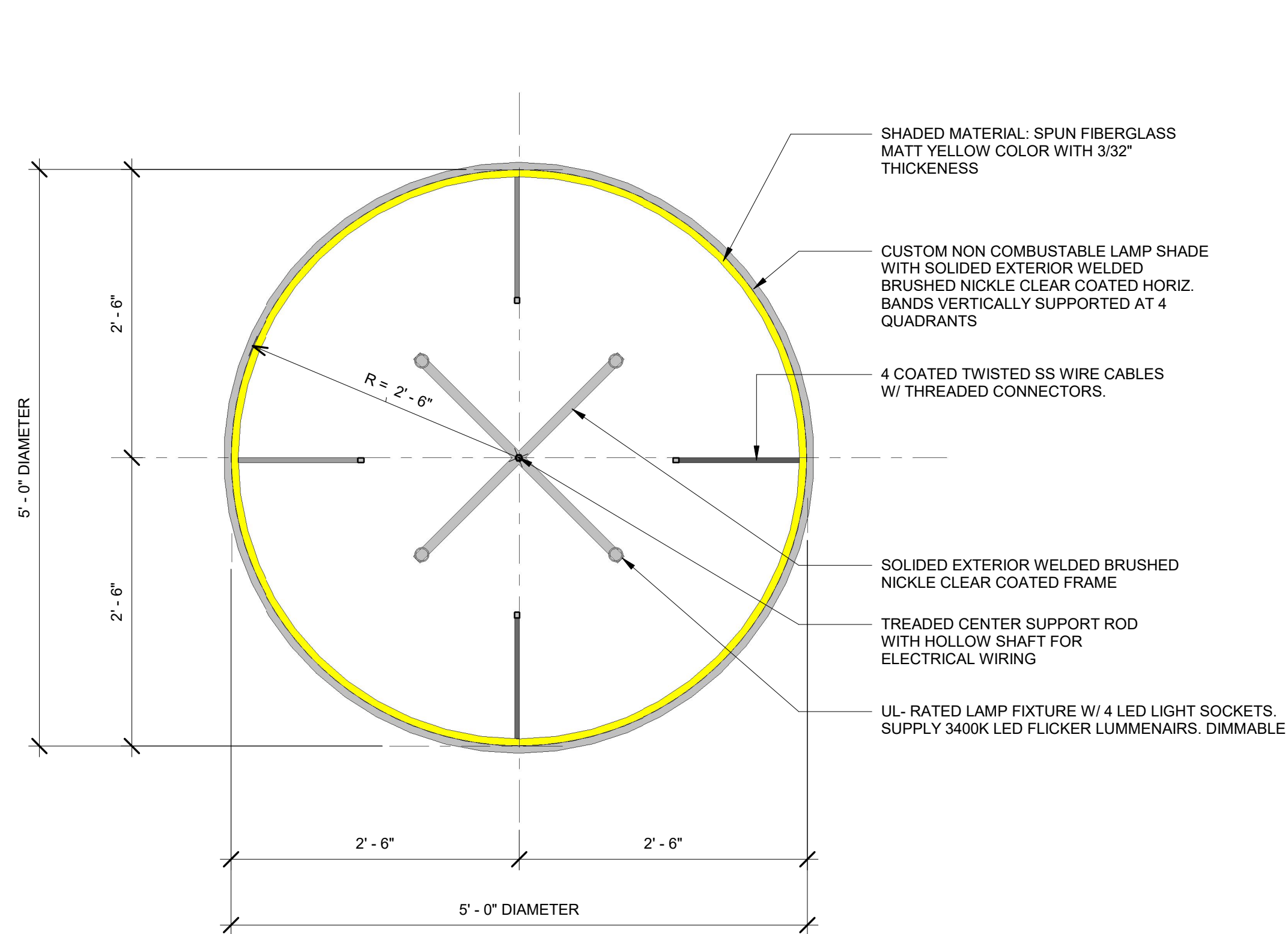
- 1、Patent owned design, fashion and beautiful appearance, adopt isolated two bodies design could have the separate heat dissipation fully ensure the stability and long lifespan of LED light.
- 2、With multiway rotate function of round support or "U" support available to meet the various occasions demands for outdoor projects.
- 3、Light body adopts high pressure die-casting aluminum, surface with electrostatic plastic coating. Lampshade adopts high strength toughened glass, resist the impact and friction.
- 4、Adopt American CREE original LED light source, high flus output, excellent consistency of light color; Constant current driver with PWM gray control installed inside, RGB gray level reaches to 65,536 degree equally, make the light result much beautiful.
- 5、Powerful DMX512 interface adopts high reliable bus connect, all has the function of automatic addressing.

Specification

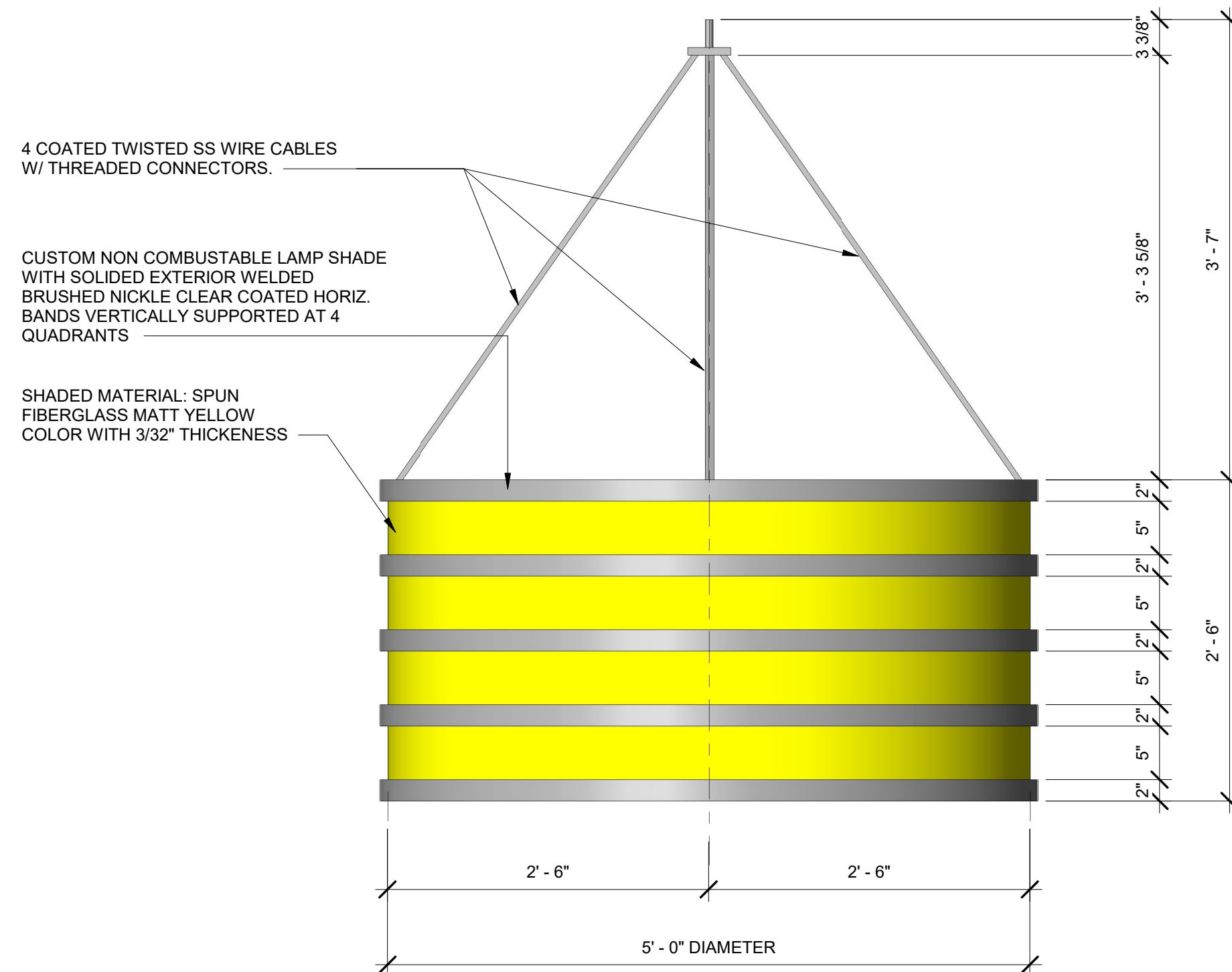
3000K

Product Code Led品牌/	SL1132FE-25	SL1132FD-25	SL1132FF-24	SL1132FC-72
Led Brand	CREE XP-L	CREE XP-G3	CREE RGBW 4 in1	CREE XP-E2
Led Quantity	25pcs	25pcs	24pcs	72pcs
Rared Power	120W	85W	150W/200W	150W
Input Voltage	AC100-305V	AC100-305V	DC36V / AC100-305V	
Frequency Range	50/60Hz	50/60Hz	50/60Hz	50/60Hz
Color	Single	Single	RGBW	RGB
Beam Rangle ±	2.6° 3.5° 12° 20° 30° 60° 10X70° 5X20		15° 20° 30° 15X60°	15° 10° 12.5° 15X60°
Control Mode	CC/DALI/0-10V	CC/DALI/0-10V	DMX512/RDM	DMX512/RDM
Life	50000H	50000H	50000H	50000H
Protection Grade	IP66	IP66	IP66	IP66
Ambient Temperature	-25℃~50℃	-25℃~50℃	-25℃~50℃	-25℃~50℃
Ambient Humidity	10%~90%	10%~90%	10%~90%	10%~90%



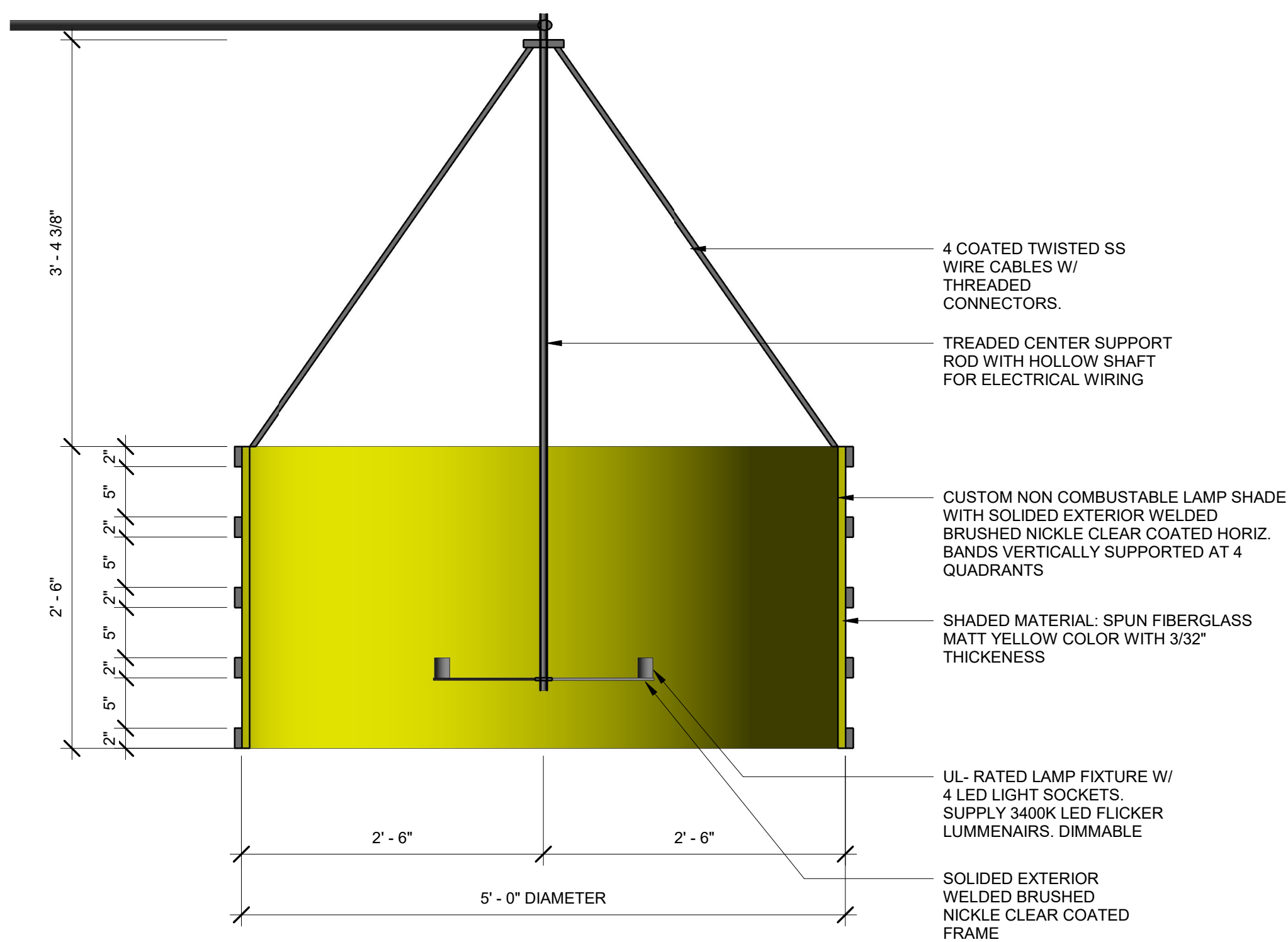


PLAN

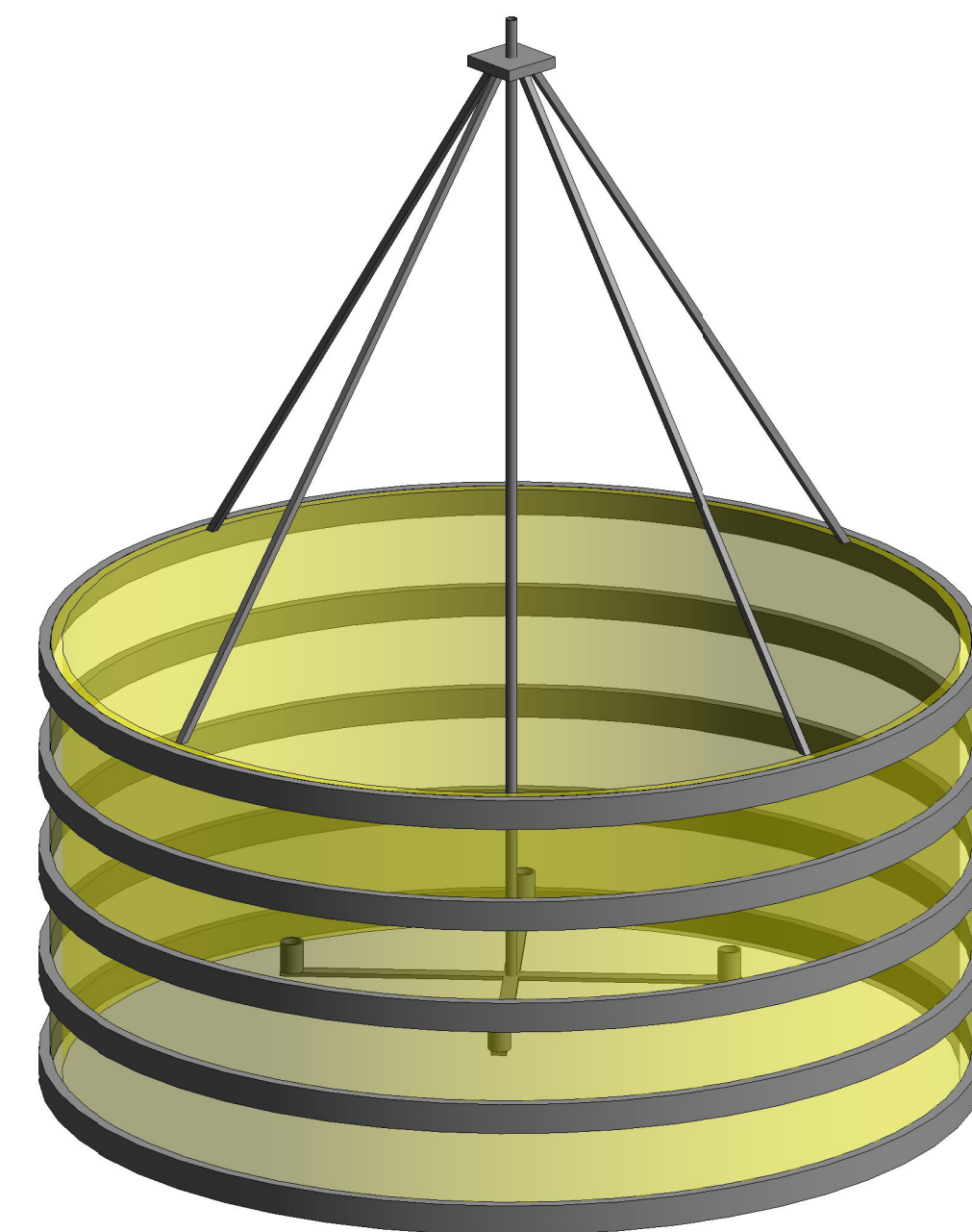


ELEVATION

LIGHT AND SHADE TO BE MANUFACTURED BY CRYSTAL LIGHTING, LLC



1 SECTION THRU LAMP SHADE
1" = 1'-0"



2 ISOMETRIC

David Martini - Plank

ARCHITECT

PROJECT TEAM:

ARCHITECT OF RECORD

David Martini - Plank, AIA
NC Registration : 5453
143 Village View Drive - Suite 203
Mooresville, NC 28117
704-777-4447
dmartiniplank@gmail.com

Architecture
Interiors
Master Planning
Development

GENERAL CONTRACTOR

Kearney Builders
Ryan Kearney
2915 Charlotte Highway
Mooresville, NC 28117
980-444-6510



PROJECT

DAVIDSON GATEWAY CENTER
635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

Seal:

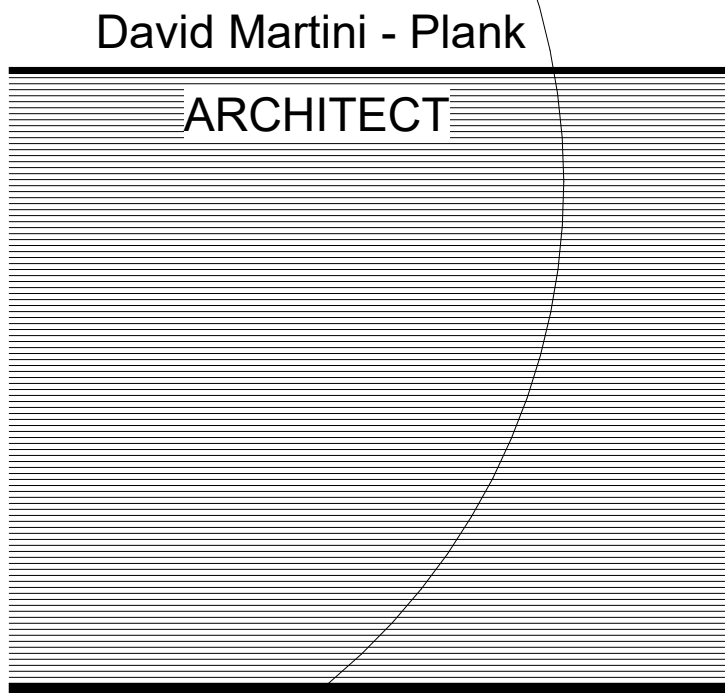
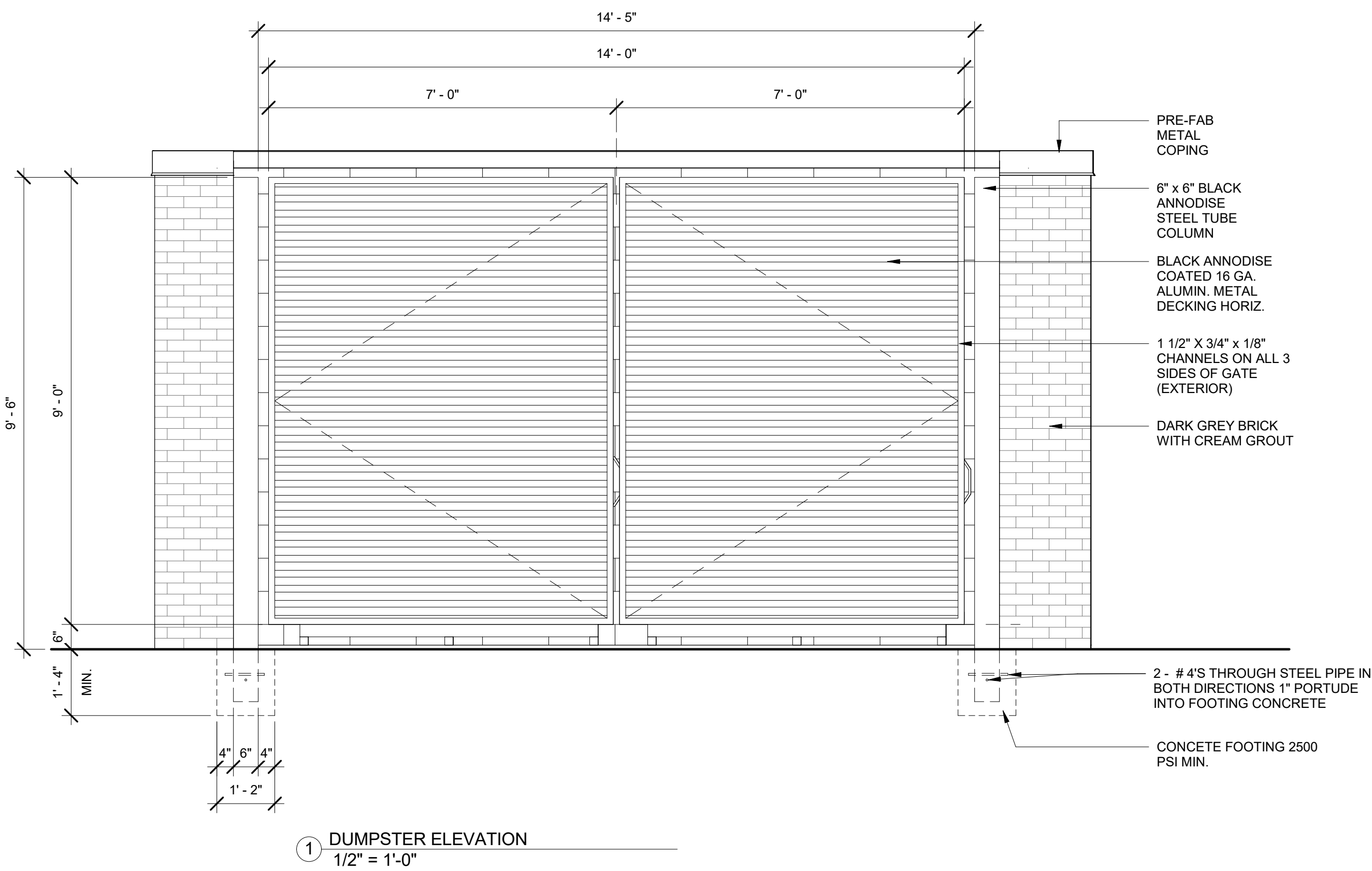
Issue Date:

08/12/19

GRAND PATIO LIGHT

LS-100.00

SHEET:



PROJECT TEAM:
ARCHITECT OF RECORD
David Martini - Plank, AIA
NC Registration : 5453
143 Village View Drive - Suite 203
Mooresville, NC 28117
704-777-4447
dmartiniplank@gmail.com
Architecture
Interiors
Master Planning
Development

GENERAL CONTRACTOR
Kearney Builders
Ryan Kearney
2915 Charlotte Highway
Mooresville, NC 28117
980-444-6510



PROJECT
DAVIDSON GATEWAY CENTER
635 DAVIDSON GATEWAY DRIVE
DAVIDSON NC 28036

Seal:
Issue Date: 08/12/19

DUMPSTER DETAILS
A-440-00
SHEET:

Davidson Gateway Building – Proposed Renderings 9/18/19

1. Proposed Building (front view)



2. Proposed Building (front/angled view)



3. Proposed Building (roof top view)



4. Patio Fireplace View





Agenda Title: Davidson Green School Addition FYI

Summary:

ATTACHMENTS:

Description	Upload Date	Type
□ Davidson Green School Addition	9/6/2019	Exhibit

Town of Davidson, NC
Design Review Board: Staff Analysis for FYI Review
September 18, 2019

Project: Davidson Green School Addition FYI
Location: 511 South Main Street (Parcel ID 00705101)
Applicant: Jennifer Jakubecy
Designer: Labella
Planning Area: Village Infill (Purple Overlay)

This project is being presented as an FYI. The applicant proposes an addition off the western side of the existing principle structure located at 511 South Main Street. The building addition will be used for classroom/storage space. The addition will include a basement (+/-777 SF), first floor (+/- 809 SF), and second floor (+/-694 SF). Design and colors of the addition will be in character with the principle structure and will mimic existing materials as much as possible. Materials include CMUs painted to match existing, hardi plank siding, stained wooden columns, and architectural shingles.

DAVIDSON PLANNING ORDINANCE:

Section 3.2.17 Elementary and Secondary School (Additional Requirements)

1. *All principal structures, whether new construction or adaptive reuse shall meet the standards for institutional buildings set forth in Section 4.*

Section 4.3.2 Guidelines for Development or Redevelopment in Existing Buildings

This section is intended to ensure the compatibility of infill development and redevelopment to surrounding neighborhoods and shall apply to new construction and the expansion of existing buildings. As a means to provide guidance for the design of buildings that integrate well into the context of Davidson, this section identifies the following key features necessary to ensure compatibility. When developing in the Village Infill Planning Area, in addition to the standards below, see Section 2 for development in the Village Infill Overlay District.

A. Street Frontage: *Street trees should be preserved*

B. Rhythm of Development along the Street: *Established building rhythms along street frontages should be continues. Larger buildings can be integrated into smaller-scale neighborhoods by creating repetitive bays with façade articulation.*

C. Building Orientation: *Main entrances, and other primary building façade elements should be oriented toward the street. Courtyard buildings should orient main entrances toward courtyards that open to the street and serve as a semi-public extension of the public realm.*

D. Front Setback Patterns: *Established building setback patterns should be continued as practical. Deep front setbacks can compromise the pedestrian realm.*

E. Building Form: Massing, proportion, scale, setbacks, spaces between buildings, and their relative positions should be used to integrate new development into existing streetscapes.

F. Density: Density should increase closer to mixed use and commercial nodes.

G. Building Design: Buildings should be designed to respect the existing built environment, but not be explicit reproduction of past historical styles.

Section 4.4.1 Design Standards

E. Materials

1. Materials shall be selected for suitability to the type of building and design for which they are used.
2. Piecemeal embellishment and frequent changes in material should be avoided.
3. All sides of the building should use materials consistent with those on the front if visible from public streets or neighboring properties, and should be carefully designed with similar detailing, comparable quality, and compatible materials.
4. Building materials and colors shall be:
 - a. Complementary to the materials already being used in the neighborhood, or
 - b. If dissimilar materials are being proposed, other characteristics such as scale, proportion, form, architectural detailing, color, and texture shall be used to ensure that the building relates to the rest of the neighborhood.

F. Architectural Details

1. Windows and door openings shall be arranged and proportioned so that vertical dimensions dominate horizontal dimensions. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.
6. The main entry to a building should be emphasized at the street level. Appropriate methods include, but are not limited to:
 - a. Recessing the door within a larger cased opening.
 - b. Flanking the door with columns, decorative fixtures or other details.
 - c. An awning or canopy, providing a sheltered transition to the interior

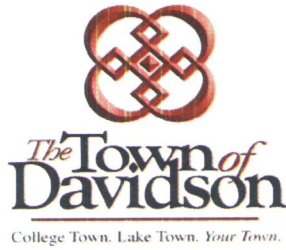
Section 4.5.1 Institutional Building Type

Institutional buildings are typically used for public or semi-public purposes. These buildings must be designed appropriately to fit within neighborhoods as integral parts of the community.

Institutional buildings serve as places of assembly. They have a sense of prominence within their respective neighborhoods. Their uses may include churches, libraries, post offices, and schools. All institutional buildings are subject to the Individual Building process and Design Review Board approval.

A. The scale and architectural sophistication of these buildings should support their civic importance and complement Davidson's existing civic buildings.

B. Complexes with multiple institutional buildings should arrange the buildings to front the streets or to frame common open space and amenities.



Design Review

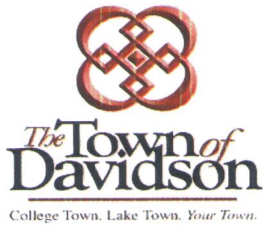
Davidson Green School Addition

(Name of Project)

Development Process

Date Completed	Outline of Steps & Checklist
_____	<input type="checkbox"/> 1. Initial Meeting
_____	<input type="checkbox"/> 2. Application and Fee
_____	<input type="checkbox"/> 3. Design Review Board Preliminary Review (Informational)
_____	<input type="checkbox"/> 4. Planning Director Site Schematic Design Review
_____	<input type="checkbox"/> 5. Design Review Board Approval
_____	<input type="checkbox"/> 6. Building Construction Documents
_____	<input type="checkbox"/> 7. Site and Landscape Construction Documents
_____	<input type="checkbox"/> 8. Architect's Letter of Verification (Construction Documents)
_____	<input type="checkbox"/> 9. Building Permit Approval
_____	<input type="checkbox"/> 10. CD Submittal with PDF of All Approved Documents <i>Required within 45 Days of Approval</i>
_____	<input type="checkbox"/> 11. Architect's Letter of Verification (Construction/As-Built)
_____	<input type="checkbox"/> 12. Certificate of Occupancy

** For further information see Davidson Planning Ordinance Sections 14.11 Individual Building - 14.12 Design Review. Note that the Town of Davidson encourages all paper submittals to be on 30% or greater recycled paper.*



Design Review


Davidson Green School Addition
(Name of Project)

Application Requirements

Date Received

- ☐ Application Fee per Town of Davidson Fee Schedule
- ☐ Contact Information
- ☐ General Statement of Intent
(Use, building type, approx. square footage, height, design features)
- ☐ Statement of Compliance with Section 2
- ☐ Master Plan or Conditional Planning Area
(Including all documents, plans, maps, and conditions of approval)
- ☐ Environmental Inventory in accordance with Section 14.15.1
(Including adjacent properties and buildings)
- ☐ General Description
(Including a description and color photographs to existing / adjacent site)
- ☐ Site Schematic Design in accordance with Section 14.15.7
- ☐ Building Schematic Design in accordance with Section 14.15.3
(Including rendered elevations of each façade per 14.15.3 C)
- ☐ Landscape Schematic Design in accordance with Section 14.15.5
- ☐ Building Perspective
- ☐ Building Materials/Colors
(Roofing, siding, doors, windows, etc.)

As the applicant, I hereby confirm that all the required materials for this application are authentic and have been submitted to the Town of Davidson Planning Department.



Applicant's Signature

8/14/19

Date



Design Review

Davidson Green School Addition
(Name of Project)

Contact Information

Applicant's Information

Name: Jennifer Jakubecy
E-Mail: Jennifer@Davidsongreenschool.org
Mailing Address: 511 S. Main Street
Davidson NC 28036
Business Phone: _____ Mobile Phone: 540-273-1000

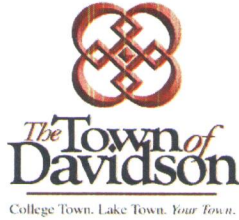
Property Owner's Information

(If Different from Applicant)

Name: Jennifer Jakubecy + Jill Jacobson
E-Mail: Jennifer@Davidsongreenschool.org
Mailing Address: 310 South Street
Davidson NC 28036
Business Phone: _____ Mobile Phone: 540-273-1000

Architect's Information

Name of Firm: LaBella
Architect's Name: David Strange
E-Mail: dstrange@labellapc.com
Mailing Address: 455 S. Main St.
Davidson, NC 28036
Business Phone: 704-941-2144 Mobile Phone: _____



Design Review

DGS Addition

(Name of Project)

Project Description

Application Date:

August 14, 2019

Project Location:

511 S. Main St., Davidson

Tax Parcel(s):

00705101

Planning Area:

Village Infill

Overlay District:

Purple

Master or Cond. Plan

(Attach Conditions of Approval)

Gen. Statement of
Intent:

See attached.

Project Details:

• Project Type:



Individual Bldg.



Master Plan



Conditional Planning Area



Sign

• Building Type:



Detached House



Townhouse



Attached House (Tri- or Quadplex)



Institutional



Live/Work



Multi-family (Apts., Condos, Flats)



Workplace



Storefront



Accessory Structure

• Use(s):

Education

• Height & Stories:

1 story

• Square Footage:

• Building Materials:

Architectural

Features:

Existing Site

Conditions:

See 14.12.2.D

DRB Application Narrative

Project name: Davidson Green School Addition

Project location: 511 S. Main Street, Davidson

General Statement of Intent:

The proposed project is to add an addition onto the principle structure. The building will be used for classroom and storage.

The project will provide space for our current activities and current number of students. We will not grow in student body. Because of our pedagogical approaches, we must maintain the small number of students and low student to teacher ratio. For example, we average 4 field trips per month, and upward of 7 overnight student trips per year. We also do the majority of our learning activities through hands-on projects. Growing in numbers would be detrimental to our mission as a school. The new structure would provide space for two of our current classes, and open up other space for a library, an art room, and makers'/engineering space.

General Description:

The addition will be in character with the principle structure as the design and colors mimics the principle structure as much as possible. More details will be in the architects' plans. Pictures of current building submitted.

We hope to start this project as soon as possible and finish before August 2020.

Statement of Compliance:

To the best of our knowledge, this project complies with the Town Ordinance in all applicable ways.

Town of Davidson

Post Office Box 579
Davidson, NC 28036
(704) 892-7591

20604

RECEIVED FROM Davidson Green Ctr. School DATE 3/25 2019
Four hundred & 00/100 DOLLARS
Design Review CHK. # 1262

Account Total \$ 400.00

Amount Paid \$ 400.00

Balance Due \$ 0

ALR



Principle Building

The proposed accessory building will use the same materials and colors as the principle building.



View from the driveway entrance off of Twin Oaks Road. The proposed building site cannot be seen from the public right of way.



View from the driveway exit off of S. Main Street. The proposed building site cannot be seen from the public right of way.



Current accessory building



Approximate location of proposed accessory building in relation to existing building.

8/20/2019 1:15:02 PM
C:\Users\jpcase\Documents\Revit Local Files\2191500 - Davidson Green School - ARCH - R19_dcase\7XWS.rvt

DAVIDSON GREEN SCHOOL

DAVIDSON, NC



NOT FOR CONSTRUCTION



© 2019 LaBella Associates



DAVIDSON GREEN SCHOOL

511 S. Main Street Davidson, North
Carolina 28036

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2191500

DRAWN BY: KRJ

REVIEWED BY: REL

ISSUED FOR: DAVIDSON REVIEW BOARD

DATE: 08.20.2019

DRAWING NAME:

COVER SHEET

DRAWING NUMBER:

G000

NOT FOR CONSTRUCTION



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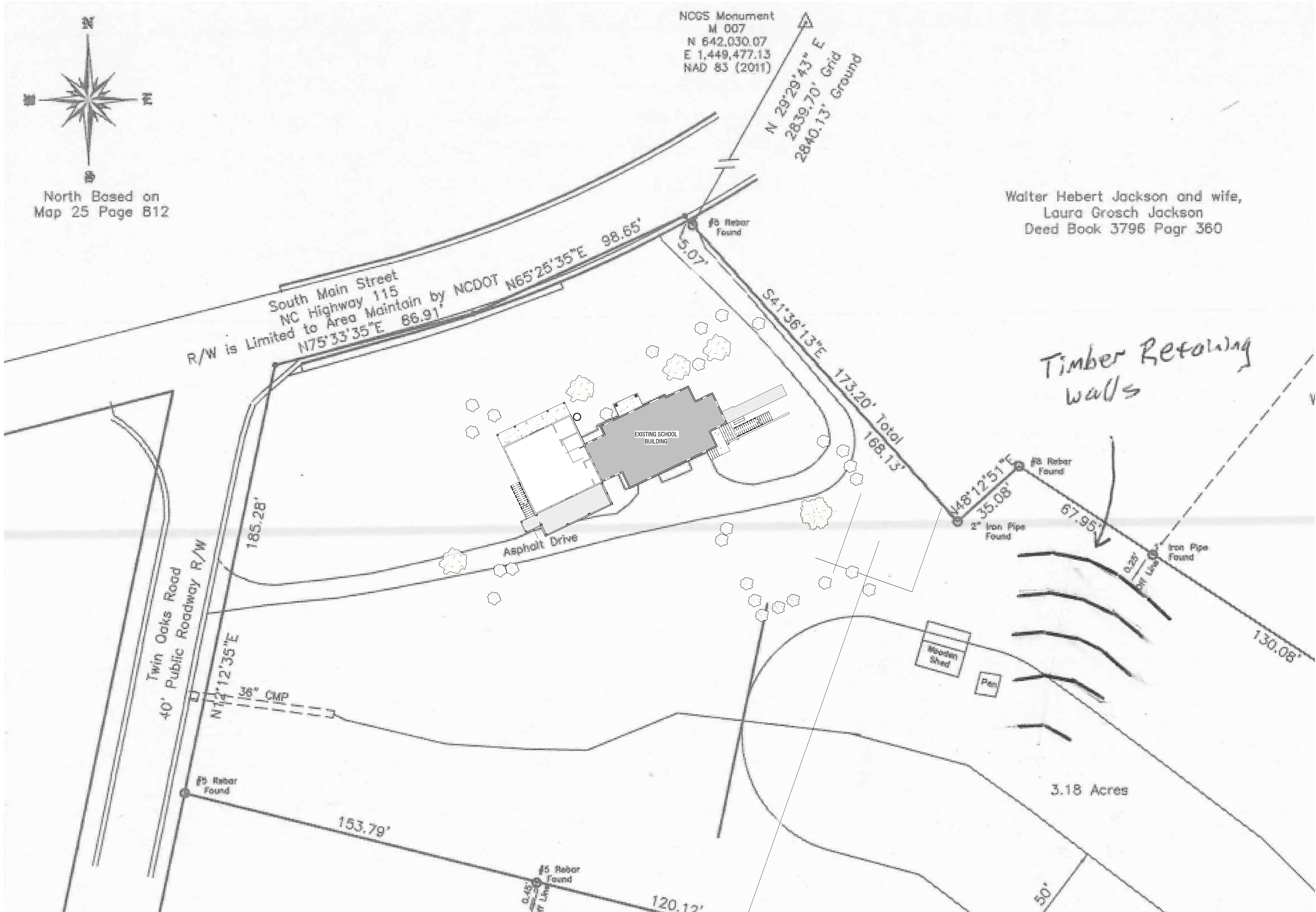
DAVIDSON GREEN SCHOOL
511 S. Main Street Davidson, North
Carolina 28036

NO.	DATE:	DESCRIPTION:
Revisions		
PROJECT NUMBER: 2191500		
DRAWN BY: PTC		
REVIEWED BY: REL		
ISSUED FOR: DAVIDSON REVIEW BOARD		
DATE: 08.20.2019		
DRAWING NAME:		

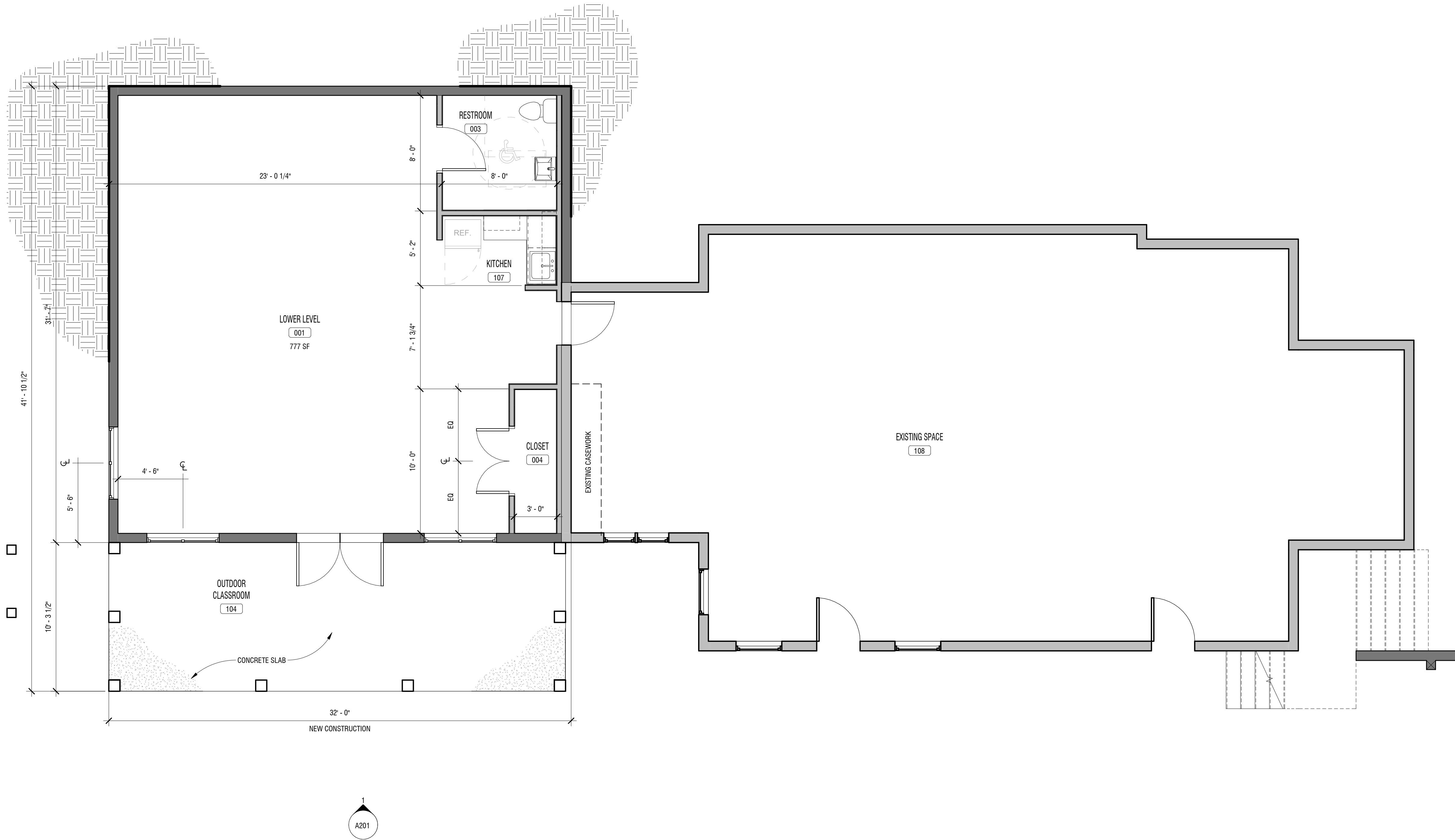
**ARCHITECTURAL SITE
PLAN**

DRAWING NUMBER:

A1.0



1 SITE PLAN
A1.0 SCALE: 1" = 20'-0"



1
A101 LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



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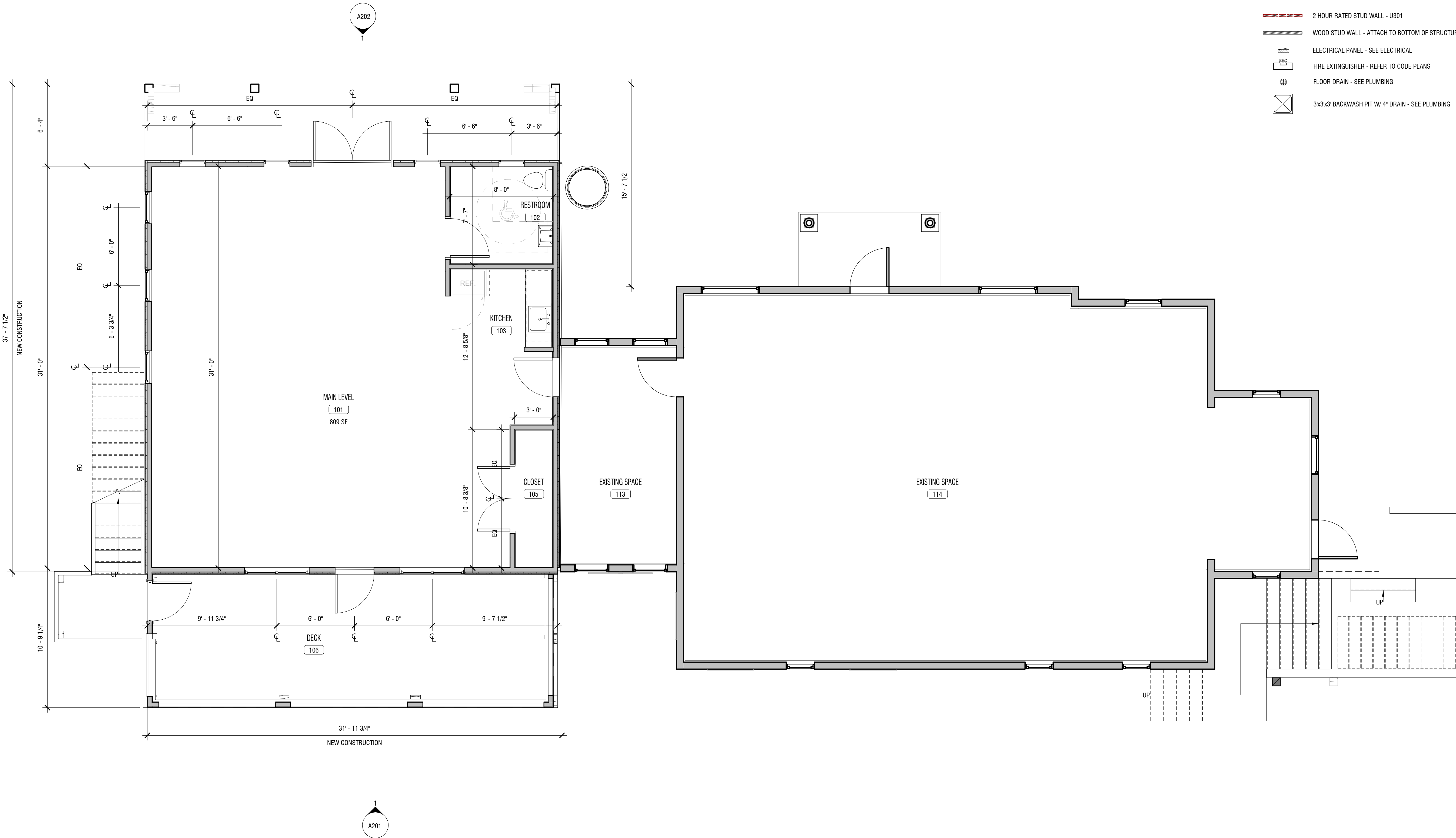
DAVIDSON GREEN SCHOOL
511 S. Main Street Davidson, North
Carolina 28036

NO.	DATE:	DESCRIPTION:
Revisions		
PROJECT NUMBER: 2191500		
DRAWN BY: BAW		
REVIEWED BY: REL		
ISSUED FOR: DAVIDSON REVIEW BOARD		
DATE: 08.20.2019		
DRAWING NAME:		

**LOWER LEVEL FLOOR
PLAN**

DRAWING NUMBER:

A101



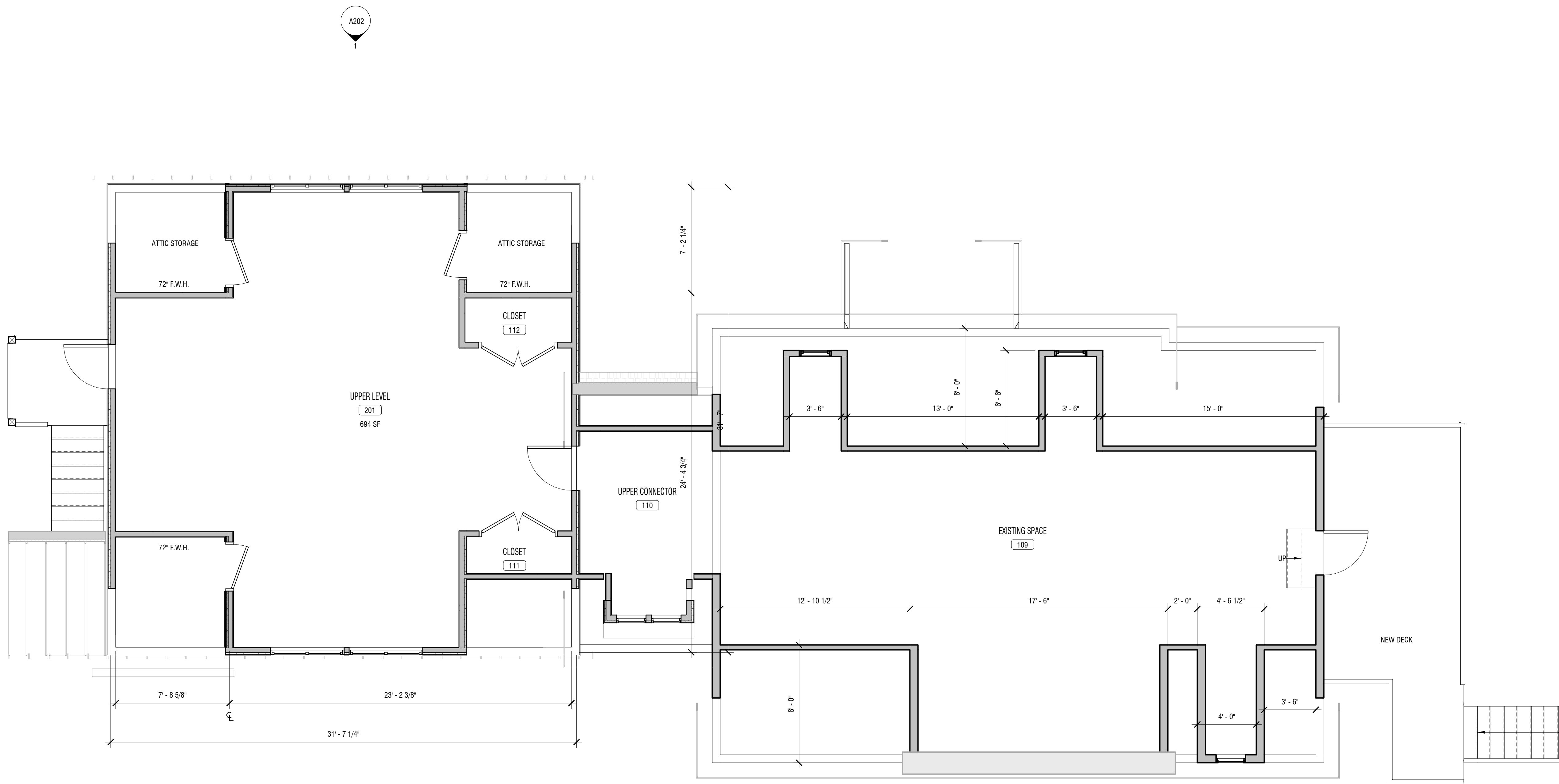
DAVIDSON GREEN SCHOOL
511 S. Main Street Davidson, North Carolina 28036

NO.	DATE:	DESCRIPTION:
Revisions		
PROJECT NUMBER: 2191500		
DRAWN BY: BAW		
REVIEWED BY: REL		
ISSUED FOR: DAVIDSON REVIEW BOARD		
DATE: 08.20.2019		
DRAWING NAME:		

MAIN LEVEL FLOOR PLAN

DRAWING NUMBER:

A102



1
A103 UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



© 2019 LaBella Associates



DAVIDSON GREEN SCHOOL
511 S. Main Street Davidson, North
Carolina 28036

NO.	DATE:	DESCRIPTION:
Revisions		
PROJECT NUMBER: 2191500		
DRAWN BY: BAW		
REVIEWED BY: REL		
ISSUED FOR: DAVIDSON REVIEW BOARD		
DATE: 08.20.2019		
DRAWING NAME:		

UPPER LEVEL FLOOR PLAN

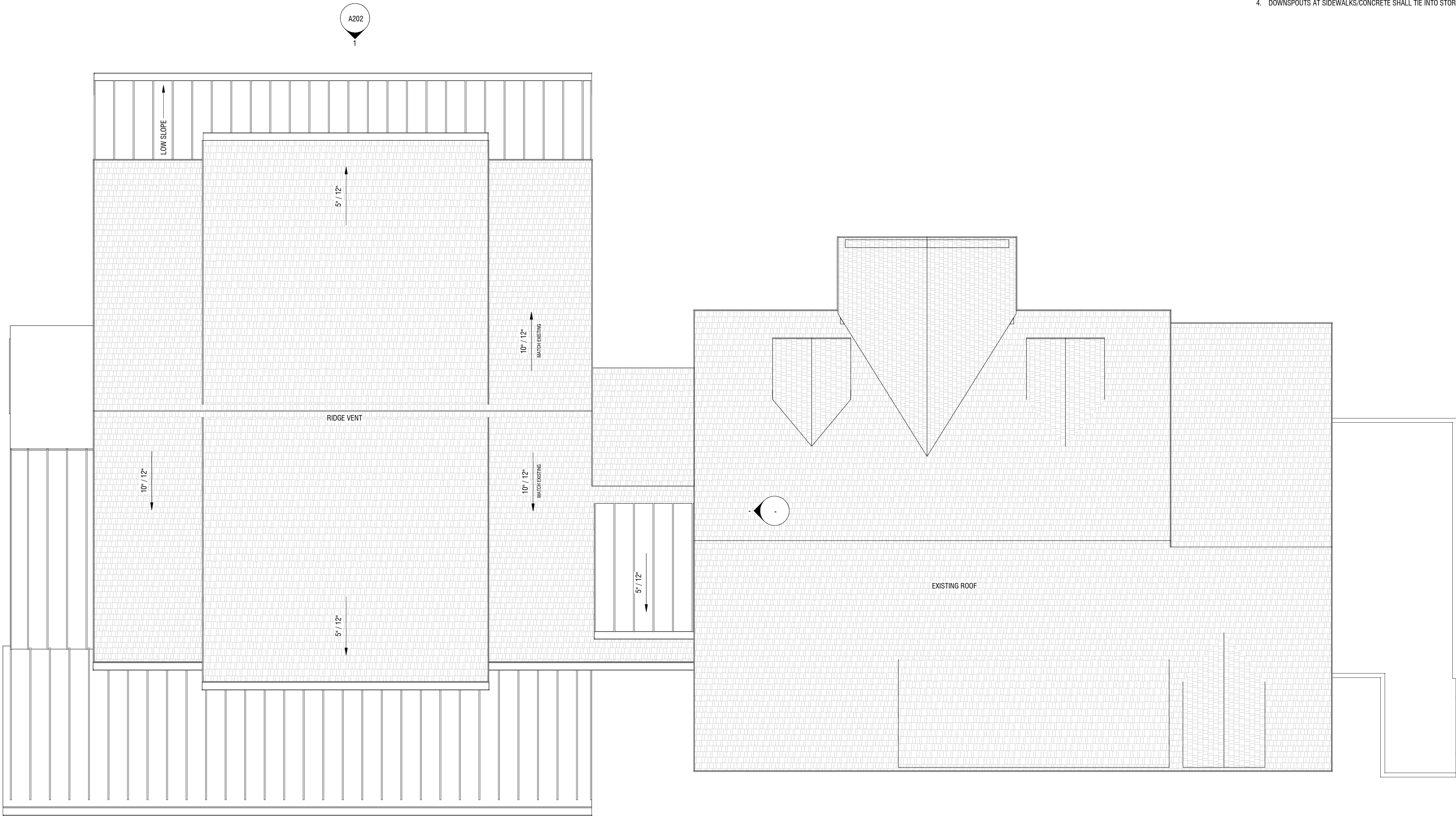
DRAWING NUMBER:

A103

1
A104

ROOF PLAN

SCALE: 1/4" = 1'-0"



ROOF GENERAL NOTES

1. ALL MANUFACTURER'S LISTED TO SERVE AS A BASIS OF DESIGN. G.C. TO PROVIDE EQUAL PRODUCT AT A COST SAVINGS WHERE APPLICABLE.
2. VERIFY ALL FINISHES WITH ARCHITECT AND OWNER PRIOR TO ORDERING.
3. G.C. TO PROVIDE MIN. 10'-0" CLEARANCE FROM ANY EXHAUST OR VENT TO FRESH AIR INTAKE.
4. DOWNSPOUTS AT SIDEWALKS/CONCRETE SHALL TIE INTO STORM SEWER SYSTEM.



400 S. Tryon Street, Suite 1300
Charlotte, NC 28285
704-376-6423
labellapc.com

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DAVIDSON GREEN SCHOOL
511 S. Main Street Davidson, North
Carolina 28036

NO.	DATE:	DESCRIPTION:
Revisions		
PROJECT NUMBER: 2191500		
DRAWN BY: BAW		
REVIEWED BY: REL		
ISSUED FOR: DAVIDSON REVIEW BOARD		
DATE: 08.20.2019		
DRAWING NAME:		

ROOF PLAN

DRAWING NUMBER:

A104

8/20/2019 1:44:07 PM
C:\Users\Tj\Documents\Revit Local Files\2191500 - Davidson Green School - ARCH - R19_dca7\XWB5.rvt

3
A201

SOUTH ELEVATION

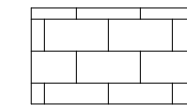
SCALE: 1/4" = 1'-0"

1
A201

EAST ELEVATION

SCALE: 1/4" = 1'-0"

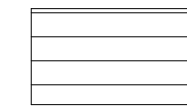
ELEVATION LEGEND



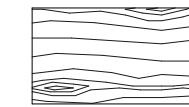
CMU - PAINTED TO MATCH EXISTING OR INTEGRAL COLOR



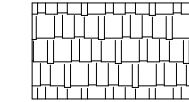
HARDIE PANEL WITH BOARD AND BATTEN - COLOR:



FIBER CEMENT BOARD - 6" REVEAL
-COLOR: TBD
-TRIM - 5/4 HARDIE TRIM SMOOTH - VERTICALS AND HORIZONTALS TO BE 1x4 TYP. & TOP BAND @ FRIEZE TO BE 1x10 TYP.



WOOD TRUSS / WOOD COLUMN - STAINED - TBD



30 YEAR ARCHITECTURAL SHINGLE - OWENS CORNING TEAK

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511 S. Main Street Davidson, North Carolina 28036

NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER: 2191500		
DRAWN BY: KRJ		
REVIEWED BY: REL		
ISSUED FOR: DAVIDSON REVIEW BOARD		
DATE: 08.20.2019		
DRAWING NAME:		

EXTERIOR ELEVATIONS

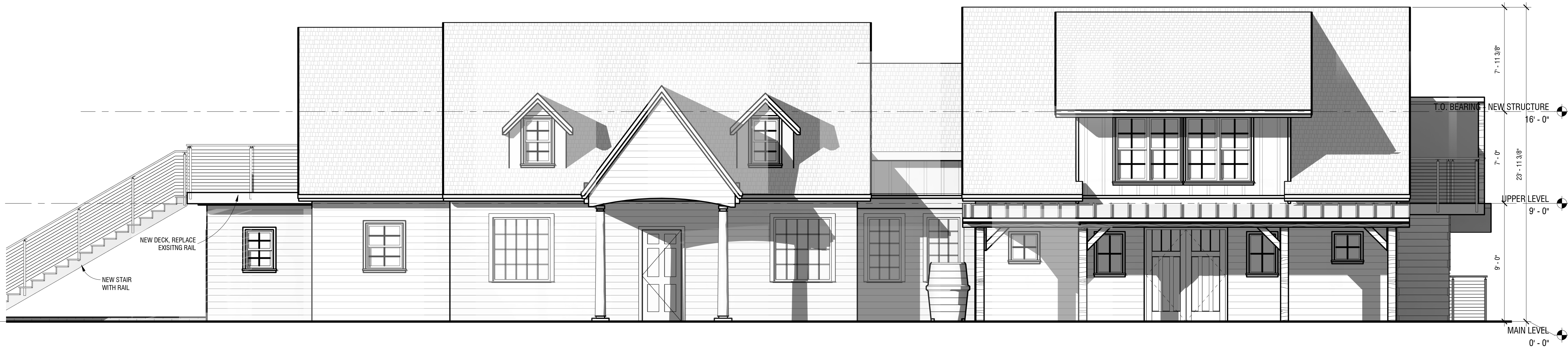
DRAWING NUMBER:

A201

8/20/2019 1:14:18 PM
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2 NORTH ELEVATION
A202 SCALE: 1/4" = 1'-0"



1 WEST ELEVATION - S. MAIN STREET
A202 SCALE: 1/4" = 1'-0"

ELEVATION LEGEND

	CMU - PAINTED TO MATCH EXISTING OR INTEGRAL COLOR		WOOD TRUSS / WOOD COLUMN - STAINED - TBD
	HARDIE PANEL WITH BOARD AND BATTEN - COLOR:		30 YEAR ARCHITECTURAL SHINGLE - OWENS CORNING TEAK
	FIBER CEMENT BOARD - 6" REVEAL -COLOR: TBD -TRIM - 5/4 HARDIE TRIM SMOOTH - VERTICALS AND HORIZONTALS TO BE 1x4 TYP. & TOP BAND @ FRIEZE TO BE 1x10 TYP.		

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DRAWING NAME:		

EXTERIOR ELEVATIONS

DRAWING NUMBER:

A202

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BAW		
REVIEWED BY:		
REL		
ISSUED FOR:		
DAVIDSON REVIEW BOARD		
DATE:		
08.20.2019		
DRAWING NAME:		

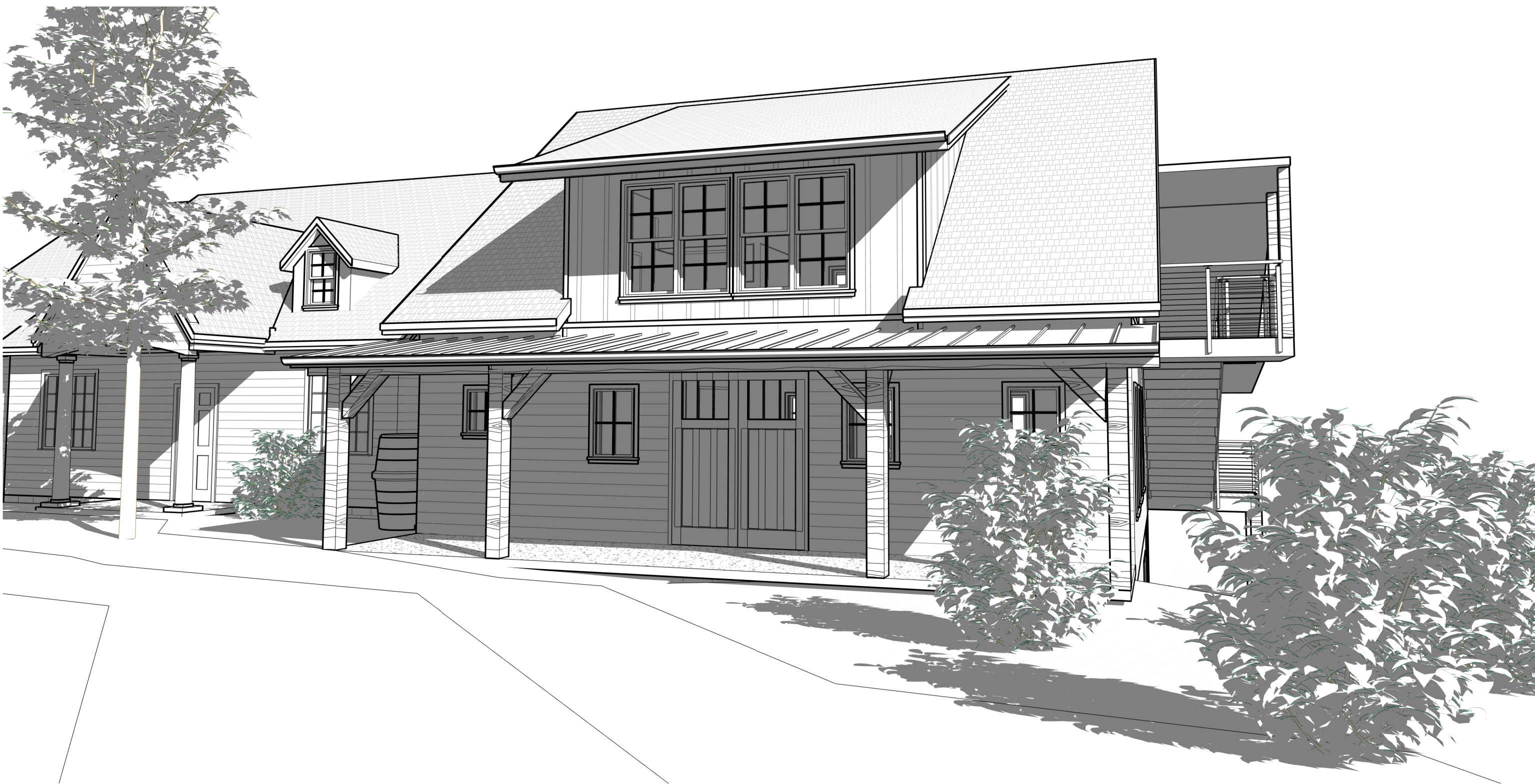
3D VIEWS

DRAWING NUMBER:

A900



CONTEXT



FRONT



REAR



NGS Monument
M 007
N 642,030.07
E 1,449,477.13
NAD 83 (2011)

Walter Hebert Jackson and wife,
Laura Grosch Jackson
Deed Book 3796 Page 360

Walter Hebert Jackson and wife,
Laura Grosch Jackson
Deed Book 3879 Page 843

Anne Griffith Cleary
Deed Book 7348 Page 874

William Rich
Deed Book 37

Lot 1 Block B
Terrace Acres
Map Book 10 Page 297

Lot 2 Block B
Terrace Acres
Map Book 10 Page 297

Lot 3 Block B
Terrace Acres
Map Book 10 Page 297

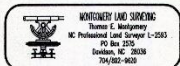
Lot 4 Block B
Terrace Acres
Map Book 10 Page 297

Lot 5 Block B
Terrace Acres
Map Book 10 Page 297

Lot 6 Block B
Terrace Acres
Map Book 10 Page 297

Topographic Survey
511 South Main Street
for the
Davidson Green School
The Property of
Leonard C. McRee and wife,
Beverly C. McRee
Deed Book 3846 Page 63
Town of Davidson, Mecklenburg County, NC
June 1, 2013 Scale 1" = 40'

0' 40' 80' 120'



Legend
• No Corner Found
or Set